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Pursuant to Clause 43.04 Schedule 3 of the Greater Dandenong Planning Scheme this is a copy of the Development Plan for the land defined as DPO3 on the planning scheme map and particularly as the Western Stage of the Precinct Plan shown in Clause 43.04 Schedule 3 of the Greater Dandenong Planning Scheme. This Development Plan has been prepared to the satisfaction of the Responsible Authority.

Signed  and dated 17th December 2007
by Manager Planning and Design,
City of Greater Dandenong

Colemans Rd West

DANDENONG



DECEMBER 2007

DEVELOPMENT PLAN

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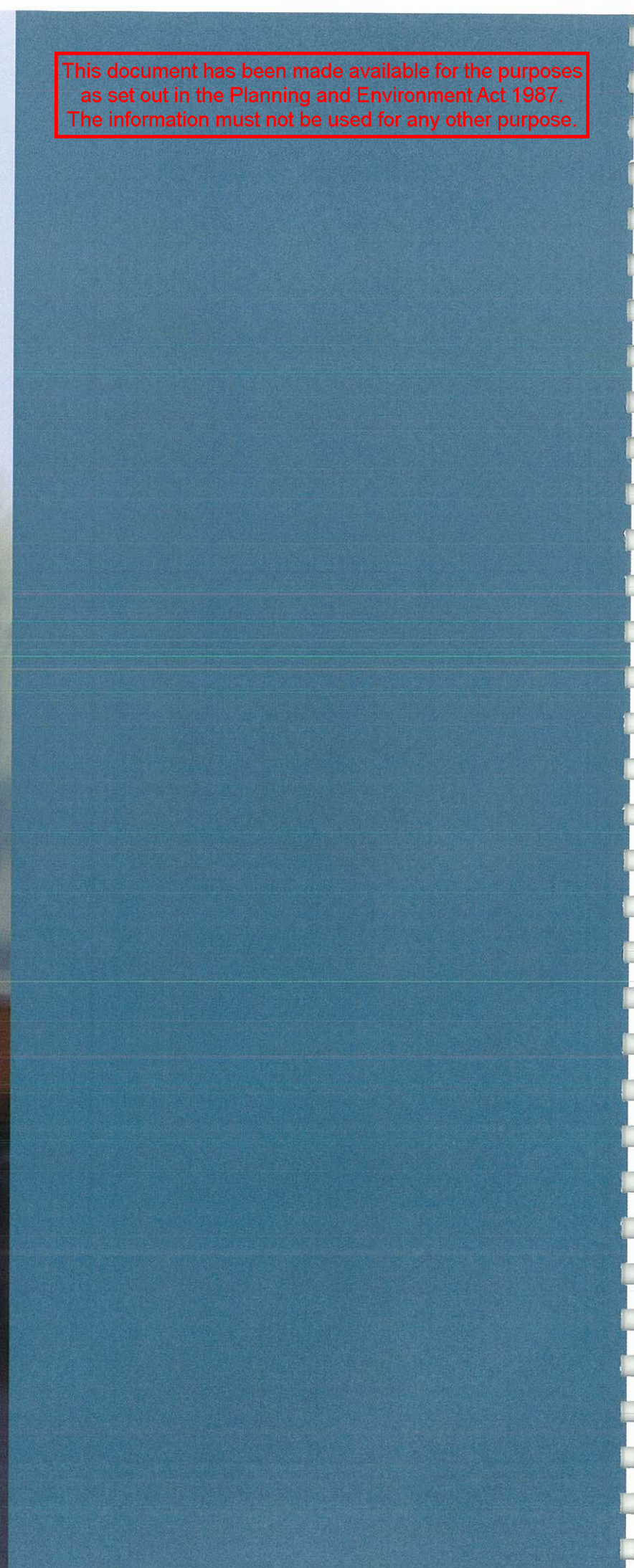
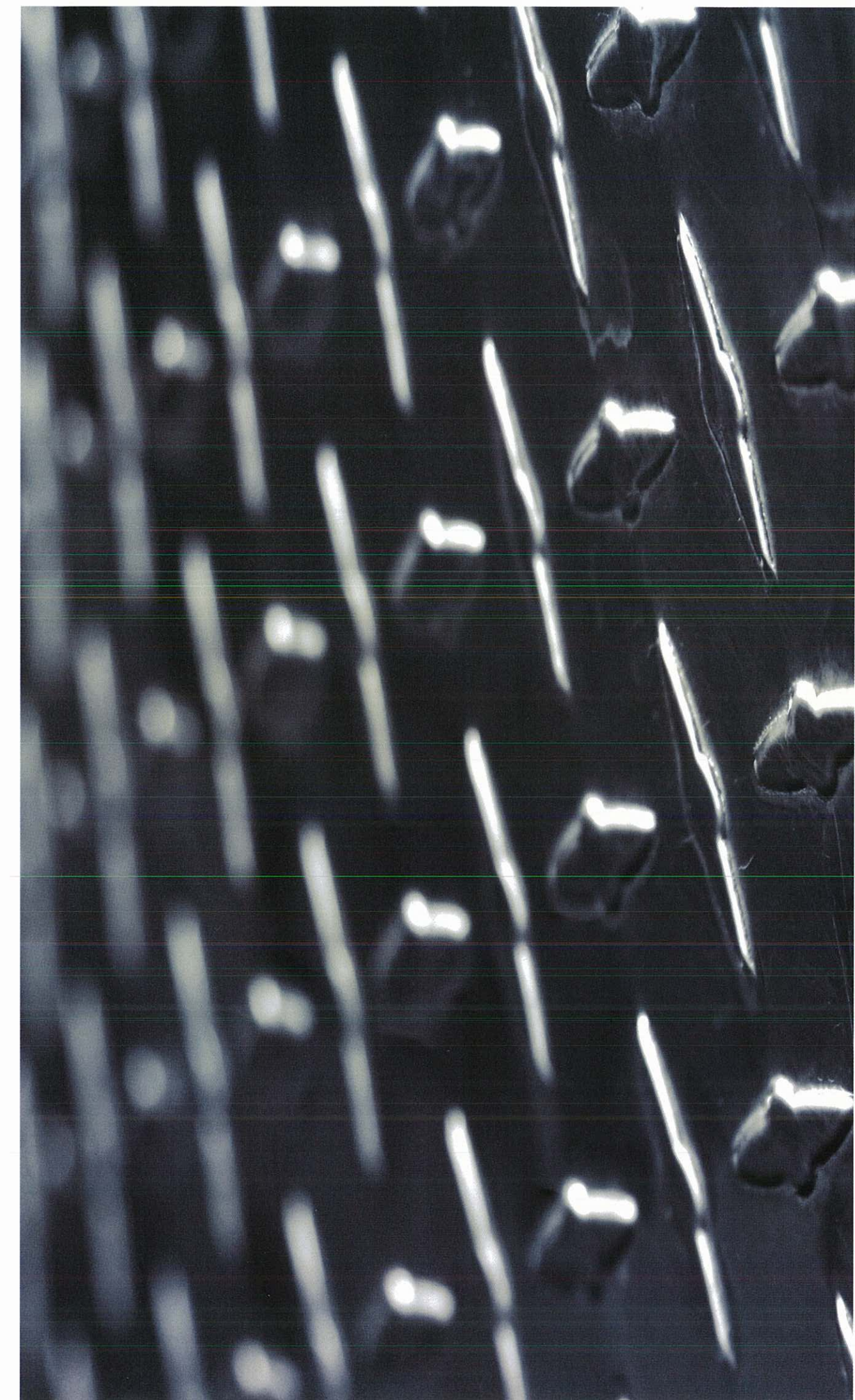


Table of Contents

1.	Introduction	4	5	Development Plan Components	17
1.1	About Abacus Property Group	5	5.1	Urban Design Guidelines	17
1.2	The Consultant Team	5	5.2	Engineering and Infrastructure Requirements	19
1.3	Key Physical Characteristics	6	5.3	Traffic	20
1.4	Aims of the Development Plan	7	5.4	Trees	24
1.5	Project Vision	7	5.5	Flora and Fauna and Biological Review	24
2	The Site	8	5.6	Heritage	28
2.1	Context Analysis	8	5.7	Geotechnical	32
2.2	Site Analysis	9	5.8	Landscape	32
3	Development Plan	10	6	Conclusion	33
3.1	The Colemans Road West Land	10			
3.2	Staging, Timing and Funding of Works	10			
3.3	Development Plan Requirements	10			
4	Planning Considerations	13			
4.1	Compliance with State Planning Policy Framework	13			
4.2	Compliance with Melbourne 2030	13			
4.3	Compliance with Municipal Strategic Statement	13			
4.4	Compliance with Local Planning Policies	14			
4.5	Compliance with South-Eastern Growth Area Plan	16			
4.6	Other Relevant Policies	16			

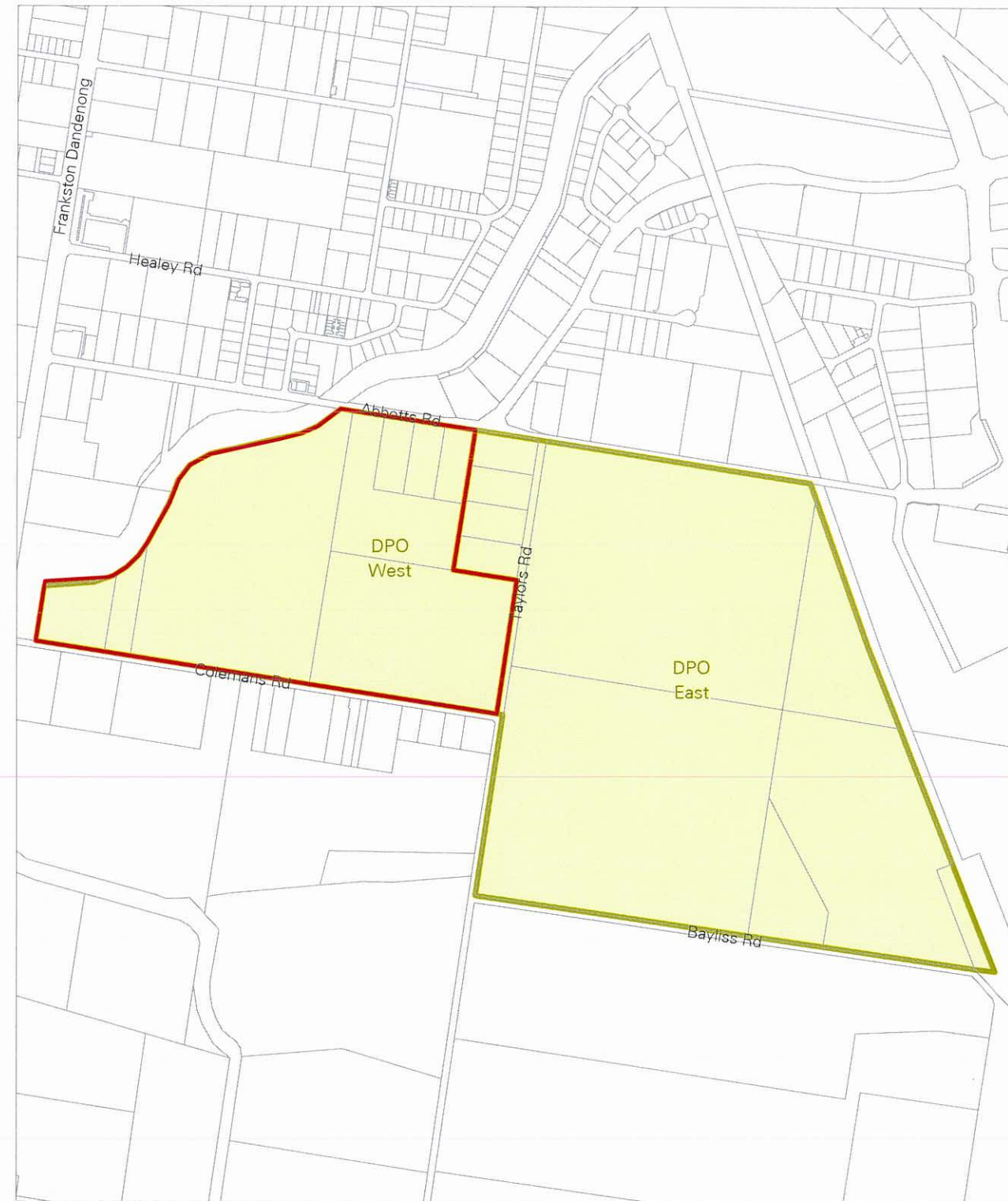
Introduction

The Colemans Road West Development Plan (CRWDP) has been prepared by Urbis Pty Ltd on behalf of Abacus Property Group and The Gillon Group of Companies in accordance with the requirements of Schedule 3 to the Development Plan Overlay (DPO) at Clause 43.04 of the City of Greater Dandenong Planning Scheme.

The Development Plan applies to land bound by Colemans Road to the south, Melbourne Water land (retarding basin) and the Eumemmerring Creek to the west, Abbotts Road to the north and Taylors Road (excluding the four properties fronting Taylors Road) to the east.

The CRWDP provides a broad strategic framework for the industrial development of this land as envisaged and informed by Schedule 3 to the Development Plan Overlay. The CRWDP also allows for an integrated response to the development of adjoining land. The CRWDP achieves the key objectives and strategic outcomes envisaged in the DPO, facilitating the strategic intent of the City of Greater Dandenong Planning Scheme.

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- Development Plan Area
- Other Property Boundary
- Development Plan Overlay (Schedule 3)

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 VicMap Planning, Dept Sustainability and Environment, June 2006.
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 Produced by: UrbisJHD Pty Ltd (September 2006)

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Metres



1.1 About Abacus Property Group and The Gillon Group of Companies

Abacus Property Group is a listed entity specialising in investing in property based assets and actively managing those assets to enhance income and capital growth. Abacus Property Group is made up of the Abacus Trust, Abacus Income Trust, Abacus Group Holdings Limited and Abacus Group Projects Limited. The Group has four core businesses being the investment property portfolio, funds management, finance and project investments. The great strength of the Abacus Property Group is its diversification of property based income streams.



The Gillon Group of Companies is a privately owned development and construction business with a broad range of associated businesses under its mantle. Owned and operated by Peter Gillon the company has more than \$1 billion of property development underway ranging from broad acre residential subdivision, industrial estates, luxury apartments and high-tech warehouses. Although the Company's main focus is property development with projects in all sectors, there are also a number of other businesses that the group has an association with.



1.2 The Consultant Team

To gain an understanding of the land capability, strategic context and broader site context of the Dandenong South Industrial Area, Abacus Project Group and the Gillon Group of Companies engaged a diverse team of independent consultants who specialise in urban planning, urban design, social planning, environmental research, agricultural and land capability research, arboricultural, traffic engineering, civil engineering and surveying. The expert consultant team can be seen as follows:

Urbis



Urbis has provided urban planning / design analysis and strategic analysis to understand the physical opportunities and constraints of the site and examine the urban and built form outcomes together with the social, economic and design imperatives that guide the development of sustainable communities. Urbis will continue to perform a central leadership role in guiding the project through all stages of its implementation.



Ground Control Pty Ltd – Landscape Architecture

groundcontrol

Ground Control has been involved in developing the design approach to the public realm of the development, including the extension of Remington Drive, within road reservations and the landscape setback to Eumemmerring Creek. Ground Control has worked closely with the Urbis to ensure an integrated approach was taken to defining the development form.

Earthtech Pty Ltd – Flora and Fauna



Earthtech was engaged by Abacus Project Group and the Gillon Group of Companies to undertake an environmental assessment of the flora and fauna and habitat significance of the development plan area. The findings of the investigations have guided the CRWDP response. Furthermore, Earthtech have worked in consultation with the City of Greater Dandenong and the Department of Sustainability and Environment (DSE) to prepare a Vegetation Retention Plan and a framework for the Environmental Management Plan.

GTA Consultants Pty Ltd Traffic Engineering



Development in Melbourne's growth areas is underpinned by the connection of and accessibility of services, facilities and employment. GTA Consultants have analysed the existing, proposed and possible future transport and access opportunities to allow the development area to be accessible to the wider region, local area and permeable within the community.

Heritage Insight Pty Ltd Cultural Heritage Assessment



Heritage Insight Pty Ltd provided appraisal of the areas of cultural heritage undertaking investigations of the Aboriginal and European historic cultural heritage values of the land that is subject to the CRWDP.

TreeLogic Pty Ltd Arboricultural Assessment



TreeLogic Pty Ltd undertook an arboricultural survey of all mature trees within the development plan area following the preparation of a survey plan accurately locating trees, canopy areas and drip lines.

Munn Consulting Pty Ltd Civil Engineering

Abacus Project Group and the Gillon Group of Companies engaged Munn Consulting Pty Ltd to assess the environmental condition and servicing of the development plan area to the CRWDP. In preparing the report, a water and sewerage servicing strategy has been prepared in consultation with Melbourne Water and the City of Greater Dandenong.

Head and Humphrey Pty Ltd Surveyors and Land Consultants



Head and Humphreys Pty Ltd has undertaken survey and land analysis of the development plan area providing a base for the physical analysis of the area contained within this and accompanying reports.

1.3 Key Physical Characteristics

The CRWDP sits within the context of the larger industrial precinct of Dandenong South and adjacent to the significant land holding known as Kelly Brothers.

The key physical elements influencing the site development are:

- The development plan area is located approximately 30 kilometres south-east of the Melbourne CBD.
- The development plan area has a relatively flat topography, with a gentle easterly incline.
- The development plan area is land bound by Colemans Road to the south, Melbourne Water land (retarding basin) and the Eumemmerring Creek to the west, Abbotts Road to the north and Taylors Road (excluding the four properties fronting Taylors Road) to the east.
- The development plan area contains a board variety of built form ranging from dwellings and outbuildings right through to large industry based warehousing and distribution facilities and a quarry.
- The development plan area is used predominantly for cattle grazing with two areas dedicated to vegetation production (formerly used by the Kelly Brothers) to the south of the development plan area, situated on either side of the dwelling.
- The development plan area is located within the Industrial 1 Zone of the Greater Dandenong Planning Scheme (the Scheme).
- The Melbourne Water land located on the corner of Colemans Road and Frankston-Dandenong Road is subject to Planning Scheme Amendment (C87) and is therefore exempt from the development plan area.
- The Swires Cold Storage Pty Ltd has a specific sites and exclusions, at Clause 52.03 of the Scheme (refer to Swire Cold Storage Pty Ltd, Lyndhurst, CDC Stage 2, November 2004). If the planning permit expires for Swires then the site will be required to comply with the Schedule 3 to the Development Plan Overlay (DPO2) at Clause 43.04 before any alternative development occurs.
- The quarry site located on the corner of Colemans Road and Taylors Road is currently zoned Rural (RUZ). Future development will have to have particular regard to the constraints of the site and a future rezoning to the satisfaction of Council would be required.
- The development plan area contains a rural landscape quality containing distinctive remnant trees, particularly River Red Gums.



1.4 Aims of the Development Plan

The aims underpinning the Development Plan are based upon:

- Providing a visual analysis of the development plan area and surrounds including aerial photographs, photomontages and survey information.
- Identify industrial allotments for future subdivision ensuring the provision of all necessary service and infrastructure requirements.
- Providing new facilities and opportunities to meet the industrial demand and needs for the surrounding area and improving the connectivity and public realm.
- Retaining and incorporating vegetation worthy of retention into the design response. Through consultation with the Department of Sustainability and Environment (DSE) and the City of Greater Dandenong prepare a Vegetation Retention Plan to their satisfaction.
- Enhancing the drainage, hydrology and infrastructure management of the development plan area to limit any impact on the surrounding infrastructure network.
- Preserving any archaeological artefacts identified and implementing appropriate practices to limit any potential impact on the development plan area.
- Creating an internal traffic and pedestrian network within the development plan area.
- Identifying and implementing environmentally sustainable design principles for the development plan area.
- Improving existing access, traffic volumes and car parking requirements for the development plan area.
- Enhancing the landscape character of the development plan area and Dandenong South.

Based on the above aims the Development Plan comprises:

- Contextual Analysis;
- A Concept Plan, Landscape Master Plan and other supporting plans;
- Supporting technical analysis; and
- Assessment of the Development Plan in terms of its compliance with the relevant strategic and statutory frameworks.

1.5 Project Vision

The Abacus Property Group and the Gillon Group of Companies envisage that future development will deliver a planning outcome that is based on economic prosperity, industrial planning, employment opportunities, sustainable development, urban design, vehicle access and infrastructure provision in Melbourne's premier industrial growth corridor.

The project vision adopted seeks to fulfil its potential through all aspects of the site design and satisfy the vision and objectives of the CRWDP requirements and Melbourne 2030 for better industrial outcomes and sustained growth.

The CRWDP must be flexible and robust to ensure that it can accommodate purchasers' requirements and respond to changing circumstances, market conditions, government initiatives, new ideas and unexpected circumstances as the project develops.

The development vision has secured ALDI Pty Ltd as a major tenant for a warehouse and distribution facility. This tenant has been a key driver in the project delivery and preparation of the CRWDP documentation. The development vision is expected to be achieved by mid 2008 and given that the implementation of the CRWDP is expected over this time, it is imperative that there is flexibility to improve and refine the plan over the life of the project in response to any unforeseen changes.

The future development opportunities within the development plan area are significant and any future development will require addressing the generally design and development principles identified in the CRWDP and seek the relevant approvals through the City of Greater Dandenong. The likely staging and timing of delivery is unknown and is subject to liaison with the relevant authorities to obtain the relevant approvals.

The Abacus Property Group and the Gillon Group of Companies reserves the right to seek Council approval for future modifications to the Development Plan as required over the life of the project.

2 The Site

2.1 Context Analysis

2.1.1 Regional Analysis

Greater Dandenong has approximately 2,150 hectares of industrially zoned land (this equates to one-sixth of the municipality) and has prime access to major transportation linkages being road and rail. Of the 2,150 hectares of industrially zoned land approximately 1,200 hectares of that land is currently vacant (including parcels within the development plan area). Industry ranges from small scale light industries in older established areas to newer, generally industrial estates, with large allotments and purpose built factories. Key industries include metal fabrication, automotive components, general engineering, medical production, electronics and scientific.

2.1.2 The Development Plan Area

The Development Plan area applies to land bound by Colemans Road to the south, Melbourne Water land (retarding basin) and the Eumemmerring Creek to the west, Abbotts Road to the north and Taylors Road (excluding the four properties fronting Taylors Road) to the east.

The site is situated on Colemans Road, Dandenong, approximately 30 kilometres south east of the Melbourne Central Business District (CBD). The subject site enjoys excellent access to Melbourne's principle transport linkages including the Monash Freeway, Princes Freeway, South Gippsland Highway and the soon to be completed Eastlink Freeway.

The development plan area includes:

100	Abbotts Road	Swire Cold Storage Pty Ltd (exempt from the development plan area)
125	Colemans Road	Thomas C Greensmith
75-90	Colemans Road	Abacus Property Group and The Gillon Group of Companies
35	Colemans Road	Rockhaulage Pty Ltd
15	Colemans Road	Mrs Jean A Parkinson & Mr Michael Parkinson
3 & 9	Colemans Road	Melbourne Water Corporation (exempt from the development plan area, subject to Amendment C87)

The development plan area is relatively flat with no substantial change in level evident. There is a variety of vegetation within the development plan area that varies in size, maturity and health.

The development plan area has historically been, and is currently, utilised for agricultural purposes particularly horse and cattle grazing and subsequently is highly modified. On-site infrastructure includes houses, associated outbuildings, namely sheds and timber structures.

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2.1.3 Local Context

2.1.3.1 North

The northern boundary of the development plan area is to Abbots Roads. The northern side of Abbots Road is characterised by large allotments generally utilised for logistics and warehousing. Remington Drive is to the north-east of the subject site with the Remington Industrial Estate located along this portion of Remington Drive.

Abbots Road functions as a Collector Road and is aligned in the east-west direction. Abbots Road is a two-way road configured with a two-lane, 8.5 metre carriageway with unsealed shoulders set within a 23 metre road reservation.

2.1.3.2 South

The southern boundary of the development plan area is to Colemans Road. Colemans Road is a two way undersealed carriage way running in an east-west direction between Taylors Road and Dandenong-Frankston Road. The southern side of Colemans Road is characterised by a significant parcel of land. This land is currently subject to Amendment C87 to the City of Greater Dandenong Planning Scheme.

Colemans Road functions as a local street and is aligned in east-west direction. Colemans Road is a two-way road configured with a 6.0 metre carriageway set within a 20 metre road reservation. Colemans Road is unsealed for the first 900 metres from Dandenong-Frankston Road with the remaining 600 metres to Taylors Road being sealed.

2.1.3.3 East

The eastern boundary of the development plan area is Taylors Road (adjacent to the quarry boundary) and the eastern boundary of the Swires Cold Storage Pty Ltd facility. The first parcel is located on the corner of Colemans Road and Taylors Road and used for the purposes of extractive industries. The second parcel is located on Abbots Road and occupied by Swire's Cole Storage.

2.1.3.4 West

The western boundary of the development plan area is approximately 900 metres in length and adjoins Eumemmerring Creek. To the south-west of the development plan area are two parcels of land currently owned by Melbourne Water and used for the purposes of a retarding basin. These properties are currently subject to Amendment C87 to the City of Greater Dandenong Planning Scheme.

Further west is Dandenong-Frankston Road, this road functions as a primary arterial road and is aligned in the north-south direction. Dandenong-Frankston Road is a two-way road configured with a 4 lane divided carriageway.

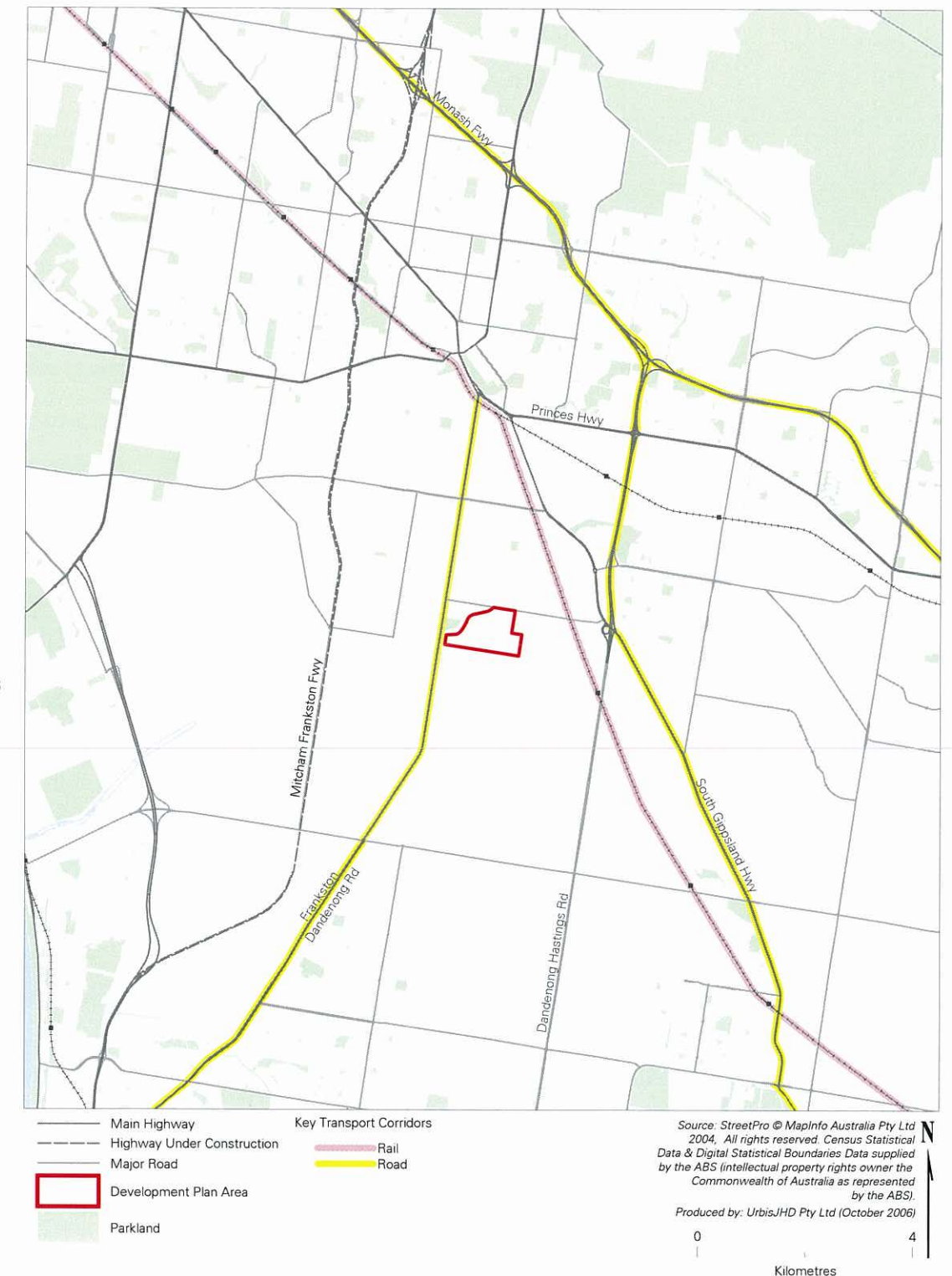
2.2 Site Analysis

An integral part of the CRWDP process has been the preparation of a detailed site analysis. This analysis identifies the opportunities and constraints for the development plan area that forms the basis for identifying future physical growth opportunities and development.

The opportunities and constraints are larger driven by the strategic implications of the DPO3 requirements and a translation of this response is through the development plan itself.

In addition to the site analysis responding to the physical characteristics of the development plan area, it must also be appreciative of the industrial, physical, operational and social opportunities and constraints. The site analysis is undertaken in context of its surrounds with particular regard to the immediate interfaces and should be read in conjunction with the Development Plan.

Key Transport Corridors Plan



3 Development Plan

3.1 The Colemans Road West Area

The Colemans Road West Development Plan applies to land in the ownership of Abacus Property Group and The Gillon Group of Companies. The landholding comprises the following property, 75-90 Colemans Road, Dandenong (more particularly described as Certificate of Title Volume 5520 and Folio 865).

Furthermore, the following properties are also subject to the Colemans Road West Development Plan:

100	Abbotts Road	Swire Cold Storage Pty Ltd (exempt from the development plan area)
125	Colemans Road	Thomas C Greensmith
75-90	Colemans Road	Abacus Property Group and The Gillon Group of Companies
35	Colemans Road	Rockhaulage Pty Ltd
15	Colemans Road	Mrs Jean A Parkinson & Mr Michael Parkinson
3 & 9	Colemans Road	Melbourne Water Corporation (exempt from the development plan area, subject to Amendment C87)

3.2 Staging, Timing and Funding of works

The staging and timing of future development within the CRWDP area is uncertain. The CRWDP primarily focuses on the landholding of 75-90 Colemans Road, although extensive analysis and assessment has been undertaken for the entire CRWDP area.

The staging and timing will largely be driven by the relevant approvals necessary for future use and development within the CRWDP area. As such, Aldi Pty Ltd have highlighted the desire to facilitate development on 75-90 Colemans Road. This is expected to be completed and in operation by late 2008.

Future development of the remaining landholdings will be subject to compliance with the CRWDP and the relevant approvals. Further, consultant input may be required in relation to heritage, vegetation, flora and fauna, traffic and engineering.

Abacus and the Gillon Group commit to the following funding of works:

- A 34 metre wide arterial road through the development plan area to be designed in accordance with the relevant standards.
- The arterial road will link Abbotts Road (to the north) to Colemans Road (to the south).
- The arterial road will ultimately be developed as a divided carriageway, with two traffic lanes in each direction and associated tuning lanes. As a preliminary design step the road will be constructed as a single carriageway terminating as a court bowl until such time the Remington Drive and/or Bangholme Road Bridge is constructed. The connecting of the arterial road by the construction of the Abbotts Road intersection and the remainder of the divided carriageway will be undertaken by the controlling road authority.
- Upgrading the intersection at Colemans Road and Frankston-Dandenong Road to the satisfaction of the relevant authorities. The associated costs would be funded by the developer. The developer may be eligible for part reimbursement should a development contributions plan be applied to land to the south of Colemans Road.
- Upgrading Colemans Road from the entry to the development plan area to connect with Frankston-Dandenong Road. The associated costs would be funded by the developer. The developer may be eligible for part reimbursement should a development contributions plan be applied to land to the south of Colemans Road.
- Provision of providing an intersection at the extension of Remington Drive (the arterial road through the development plan area) and Colemans Road. This intersection would be constructed at a limited capacity at the expense of the developer but have the ultimate road reservation designated for future expansion.
- The intersection is being purposely designed to connect directly to the designated access point to the Kelly Brothers land to the south. This intersection would be wholly funded by the developer. This is on the basis that future intersection works on Abbotts Road (if required) would be wholly funded by the controlling road authority.

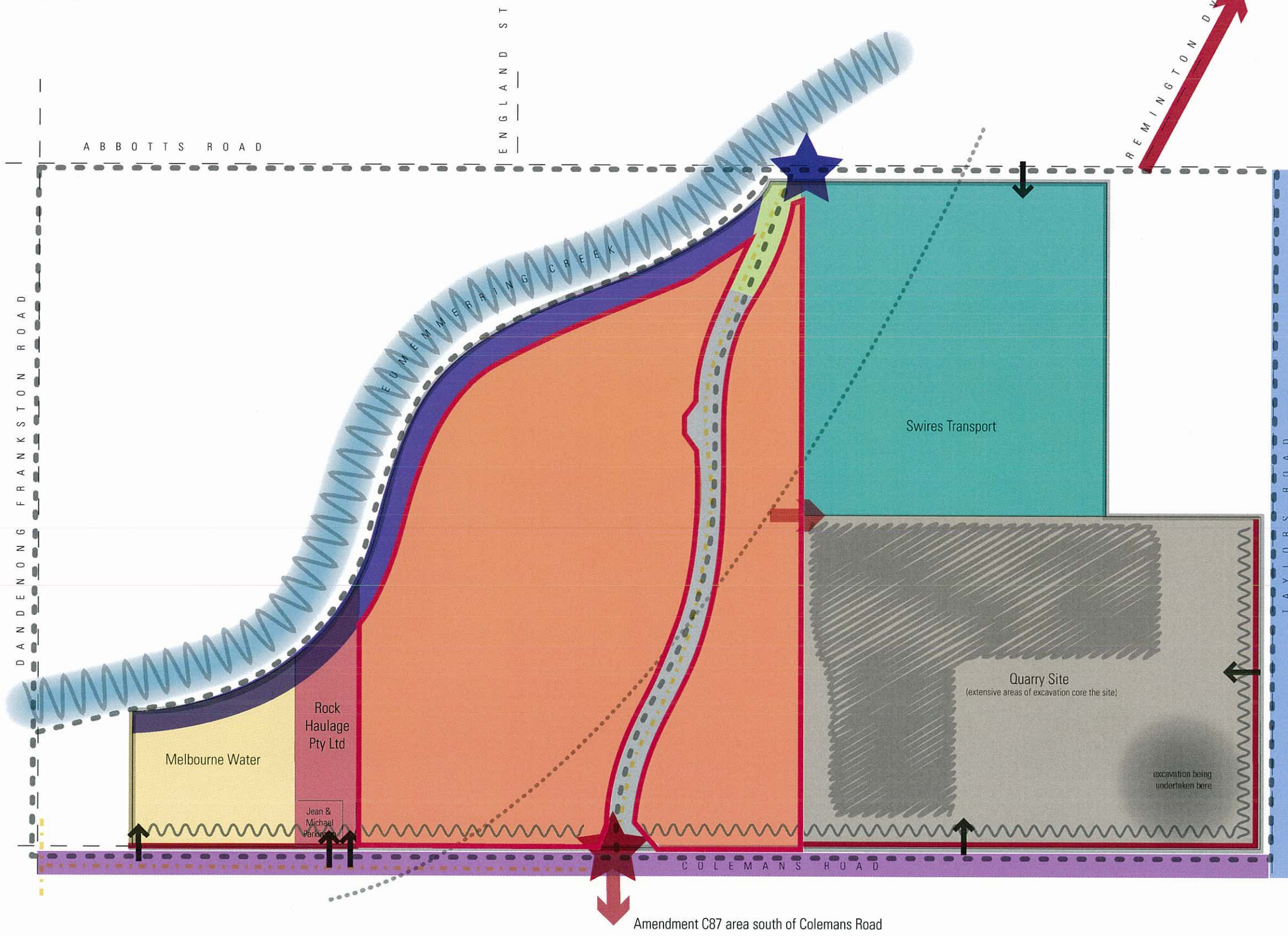
- Provision of land to be vested in a future road reservation to ensure (if required) a future connection can be provided to Abbotts Road.
- Any future intersection and bridge widening required as a connection would be funded by Council and VicRoads and the developer would ensure the required land is available for use.

3.3 Development Plan Requirements

According to Schedule 3 to the Development Plan Overlay the CRWDP must be exhibited to the public for a period of four weeks before the responsible authority considers the plan for approval. Other key requirements of the Schedule 3 to the DPO that impact on the landholding include:

- The Development Plan must be prepared in no more than two stages as shown on Figure 1 of Schedule 3 to the DPO.
- Provision of an arterial road linking Remington Drive and Colemans Road at a standard equal to that of Remington Drive north of Abbotts Road and to the requirements of Council and the Roads Corporation.
- Appropriate road alignment and treatment to prevent the use of Colemans, Taylors and Bayliss Roads as through routes from Dandenong-Frankston Road to the Westernport Highway or vice versa.
- Appropriate treatment of the non-urban interface incorporating landscape setbacks.
- Appropriate treatment and buffering of the interfaces between existing tipping areas, open spaces, areas of environmental significance and the railway line incorporating active frontages to these where possible.
- Building setbacks consistent with those in the Remington Drive estate.
- The Development Plan must show the potential open space network and linkages to other existing or proposed open space areas. The public open space areas must:
 - Be linked through the provision of walking and cycle trails and rights of way.
 - Be integrated with open space contributions from abutting subdivisions.
 - Incorporate, where possible, links between major parks and activity areas, along waterways and natural drainage corridors, connecting places of natural and cultural interest, as well as maintaining public accessibility on public land immediately adjoining waterways.
 - The development plan must be consistent with best practice environmental management of urban stormwater.
 - Identification and measures for the conservation of remnant River Red Gums and other locally indigenous vegetation, including environmental assessment of significant sites by a suitable qualified consultant to the satisfaction of the responsible authority and Department of Sustainability and Environment.

Development Plan



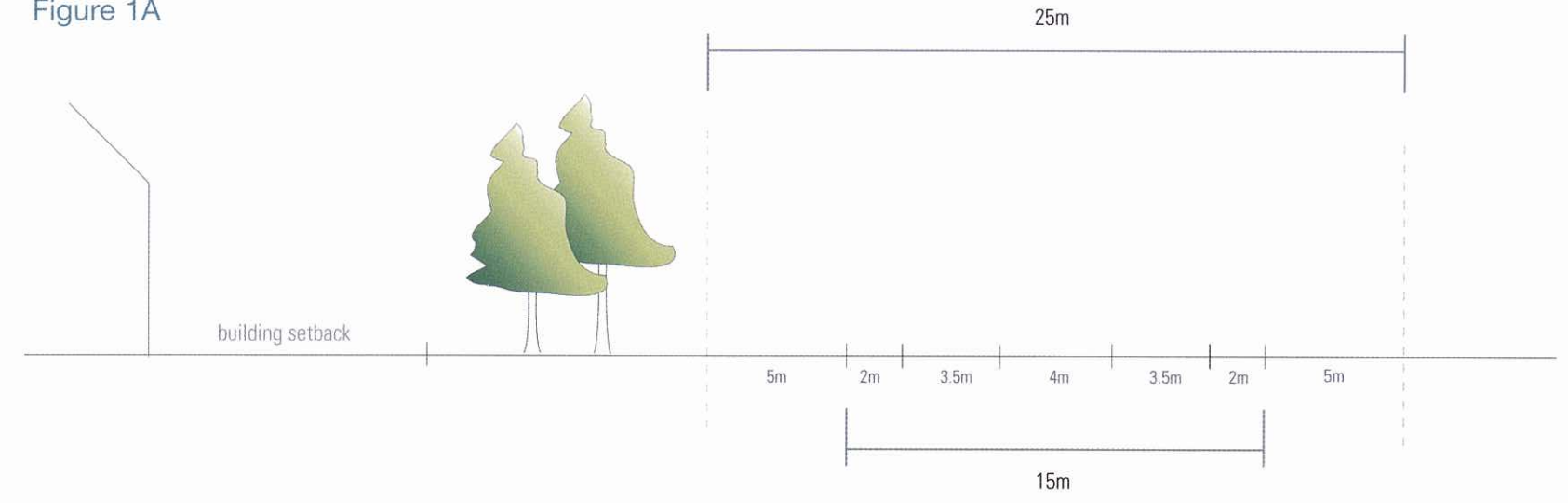
- Eumemerring Creek
- Future road
- Building setback incorporating landscaping (refer figure 1A of Development Plan document)
- Landscaping buffers (refer figure 1A of Development Plan document)
- Future intersection to be consistent with proposed development to the south and satisfaction of R.A
- Retarding basin as required by Melbourne Water detailed design to be developed to satisfaction of Melbourne Water
- Future road link (refer figure 1A of Development Plan document showing council standard road profile)
- Subject to future planning application
- Essential services including gas, water and electricity to be extended from Frankston-Dandenong Road. Servicing agreements to be made with relevant authorities
- Melbourne Water allotment subject to amendment c87 (still included in DPOWEST)
- Significant drainage line
- Bicycle/pedestrian accessibility
- Future link opportunity
- Extensive areas of excavation on site
- Existing access points
- Intersectional requirements to the satisfaction of the responsible authority.
- Taylors Road upgraded to a sealed two-way configured road constructed to the satisfaction of the responsible authority (refer figure 1A of Development Plan document)
- Colemans road upgraded to a 4 lane road to the west of the 'future road' and a two lane collector Road to the east of the 'future road' to Taylors Road constructed to the satisfaction of the responsible authority (refer figure 1A of Development Plan document)
- Specific sites and exclusions clause 52.03 refer to swire cold storage pty ltd, lyndhurst CDC stage 2, November 2004. If the permit for Swires expires then the site will be required to comply with DP03 before alternative development occurs
- Currently zoned rural. Future development will have to have particular regard to the constraints of the site. Future rezoning to satisfaction of the responsible authority

Amendment C87 area south of Coleman's Road

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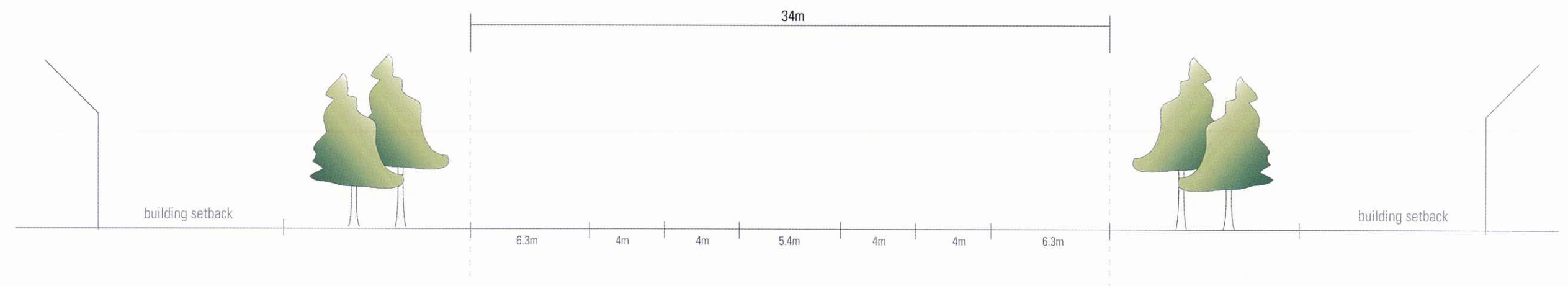
Figure 1A



COLLECTOR ROADS

The majority of Collector Roads need only to be two lane. The cross section for a collector Road is shown at figure 1A above. This cross section is adopted by both the City of Greater Dandenong and VicRoads.

- landscaping setback 10m
- building setback 10m (can include car parking)
- total setbacks 20m



ARTERIAL ROADS

The arterial road proposed through the subject property is generally in accordance with the DPO requirement. The cross section for an arterial road is shown in figure 1A above. This cross section is adopted by both the City of Greater Dandenong and VicRoads

- landscaping setback 10m
- building setback 10m (can include car parking)
- total setbacks 20m

4 Planning Considerations

4.1 Compliance with State Planning Policy Framework

The State Planning Policy Framework (SPPF) contains the general principles for land use and development planning in Victoria.

The objective of the State policy on Industry (Clause 17.03 of the Victorian Planning Provisions) is, "to ensure availability of land for industry and to facilitate the sustainable development and operation of industry and research and development activity". The policy recognises Dandenong South in the City of Greater Dandenong as an industrial area of State significance.

The CRWDP will facilitate the sustainable development and operation of industry on the land through facilitating additional industrial investment and employment in the area in line with the above objective.

Issues of relevance in the general implementation of the abovementioned policy:

- The planning authorities should zone land for industrial development in urban growth areas where good access for employees and freight transport is available and where appropriate buffer areas can be provided between the proposed industrial land and nearby sensitive land uses.
- Industrial activity in industrial zones should be protected from the encroachment of unplanned commercial, residential and other sensitive uses which would adversely affect industrial viability.

The CRWDP will facilitate additional industrial investment and employment in the Lyndhurst area within close proximity to key transport infrastructure; in particular, Dandenong-Frankston Road and Westernport Highway.

The CRWDP is considered to have protected any encroachment of unplanned commercial/industrial activity given the land is zoned for industrial purposes and where necessary appropriate landscape buffers can be provided.

4.2 Compliance with Melbourne 2030

In October 2002 the State Government released Melbourne 2030 as a major platform of State Policy. The broad thrust of Melbourne 2030 is to consolidate the metropolitan area of Melbourne to accommodate more efficient use of land within a now defined growth belt. This approach is based on achieving overarching sustainability objectives for the future growth and development of Melbourne for the next 30 years.

Melbourne 2030 sets out nine directions for achieving sustainable growth and there are three of particular relevance to the Development Plan:

- Direction 2 – Better management of metropolitan growth
To provide better management of urban expansion, an urban growth boundary has been set around the perimeter of metropolitan Melbourne. The subject land is located within the Urban Growth Boundary and has been earmarked by local and State Government for the purpose of providing additional industrial land supply in Dandenong South.
- Direction 4 – A more prosperous city
It is recognized in Policy 4.1 of Melbourne 2030 that provision of sufficient industrial land is a key competitive strength. The Development Plan will maintain access to an adequate supply of well-located land for industry.
- Direction 8 – Better transport links
The State Government has shown a commitment to a sustainable transport system in its policies including Policy 8.3 to plan urban development to improve accessibility of jobs. The subject land is located close to Dandenong-Frankston Road and is well located to take advantage of existing road infrastructure.

4.3 Compliance with Municipal Strategic Statement

The Municipal Strategic Statement (MSS) outlines principal characteristics of the municipality with regard to demographic composition, heritage and culture, visions, goals and objectives, strategies and implementation plans. For Greater Dandenong, the objectives for industry are set out in Clause 21.04-2.

The objectives of this clause that are relevant to the Development Plan are:

- To provide certainty and direction for on-going private sector investment in the provision of a wide variety of industries which individually and collectively contribute to the economic and environmental sustainability of the municipality, region and state.
- To provide a wide range of employment opportunities in the industrial sector of the municipal economy.
- To increase the rate of industrial growth and provide a range of lot sizes.

These objectives are to be achieved by (inter alia):

- Providing a diversity of locational opportunities for all types of industrial activity, including those enterprises which combine manufacturing with general office activities, and bulky goods outlets.
- Protecting areas suitable for industries requiring extensive buffer distances from residential and other sensitive uses.

The CRWDP will have positive economic effects by facilitating additional industrial investment and employment in the local community and the broader area. The development plan area is well separated from residential properties and there is no abutting public open space reserve.

4.4 Compliance with Local Planning Policies

Of the local planning policies within the Greater Dandenong Planning Scheme Clause 22.03 – Urban Design in Commercial and Industrial Areas is considered to be of the most relevance to the development plan area. This policy is concerned with improving the appearance of all commercial and industrial areas. In considering an application to use or develop land, including the subdivision of land, it is policy that Council take the following matters into account:

- Context and setting for new estates;
- Estate and road layout;
- Lot size, shape and orientation;
- Interface with other uses;
- Engineering services;
- Built form;
- Setbacks;
- Storage areas;
- Fencing;
- Landscaping;
- Buildings at gateways and on main roads;
- Built form of buildings along main roads;
- Landscaping and frontage setbacks along main roads;
- Buildings and works setback and landscaping design standards

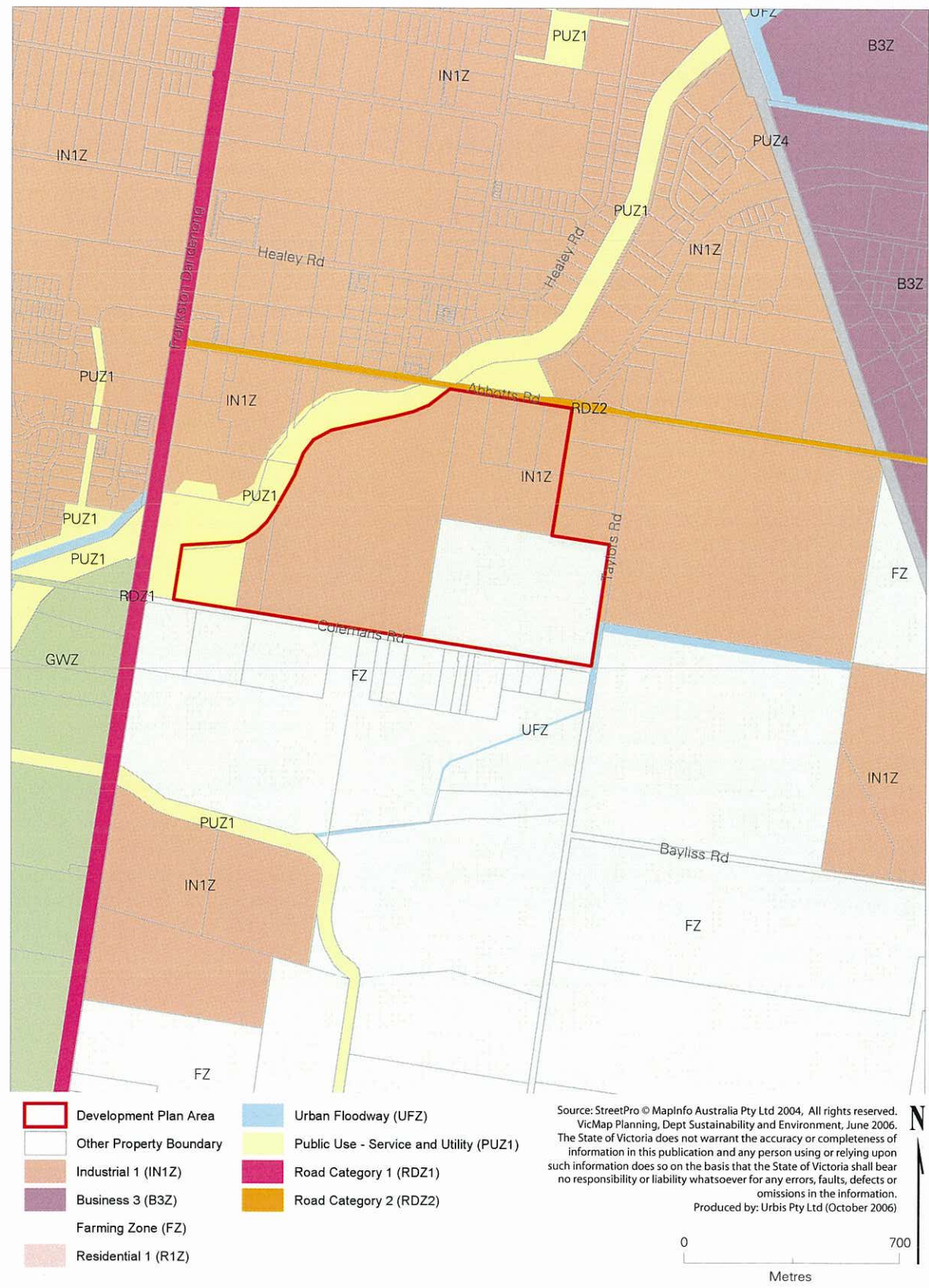
This CRWDP and associated appendices demonstrate how future development proposals should responds to and achieves the above policy considerations.

4.4.1 Zoning

The development plan area is included in the Industrial 1 Zone. The proposed development of the land for industrial purposes is consistent with the zone provisions.

The areas of Public Use (PUZ1) and Farming Zone (FZ) are not subject to the same controls.

Zoning Plan



4.4.2 Development Plan Overlay

The Development Plan Overlay has been prepared as a result of the requirements of Schedule 3 to the DPO. Schedule 3 to the DPO requires a Development Plan to be prepared to show the form and conditions of future use and development within the development plan area.

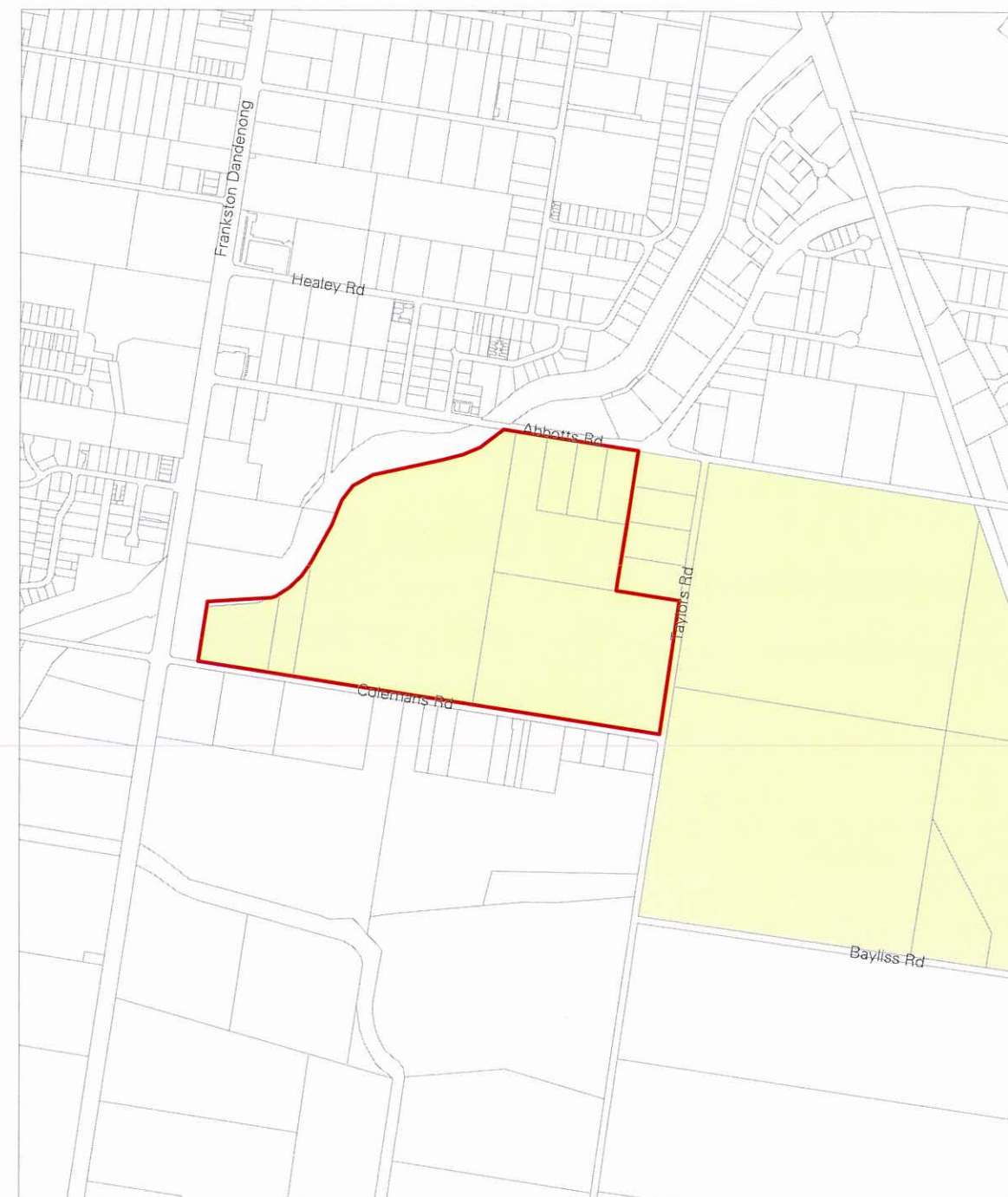
The CRWDP must describe:

- The land to which the plan applies.
- The proposed use and development of each part of the land.
- Any other requirement specified for the plan in a schedule to this overlay.

The CRWDP has been assessed against the requirements of Schedule 3 to the DPO and has been found to comply. The CRWDP:

- Ensures that the Development Plan will be developed in no more than two stages as outlined in the DPO.
- Provides for an arterial road linking Abbots Road and Colemans Road with the extension of Remington Drive (south). The road would terminate at the north most point with the remainder of the road placed in a 'future road reservation'.
- Is consistent with the road alignment and treatment outlined in the DPO.
- Is consistent with the requirements requiring appropriate interfaces with landscaped setbacks to Colemans Road and boulevard treatment for the proposed Remington Drive extension.
- Provides appropriate setbacks from non-urban interfaces with landscape setbacks.
- Provides appropriate vegetation retention and additional landscaping.
- Provides building setbacks consistent with those in Remington Drive estate to the north.
- Is consistent with the objectives and strategies outlined in the South-Eastern Growth Areas Plan.
- Identified integrated transportation measures and a unified strategy.
- Provides appropriate infrastructure provisions and treatment.

Overlay Plan



- Development Plan Area
- Other Property Boundary
- Development Plan Overlay (Schedule 3)

Source: StreetPro © MapInfo Australia Pty Ltd 2004. All rights reserved.
 VicMap Planning, Dept Sustainability and Environment, June 2006.
 The State of Victoria does not warrant the accuracy or completeness of information in this publication and any person using or relying upon such information does so on the basis that the State of Victoria shall bear no responsibility or liability whatsoever for any errors, faults, defects or omissions in the information.
 Produced by: UrbisJHD Pty Ltd (September 2006)

0 700
 Metres

4.5 Compliance with South-Eastern Growth Area Plan

The CRWDP must be generally consistent with the requirements of the South-Eastern Growth Area Plan. The Growth Area Plan was adopted in 1990. The purpose of the plan, and subsequent Minister's direction, is to ensure the comprehensive planning of the South-Eastern Growth Area occurs in a manner which efficiently produces a safe, attractive living and working environment.

The development plan area is identified as a 'future employment' area on the Growth Area Plan map in Part 6 (Employment) of the Growth Area Plan. Employment is a critical factor in the Growth Area Plan. The key objectives to which the Development Plan must respond to are:

- To provide sufficient and well-located land for commercial, industrial and other employment activities to cater for the needs of local residents and the wider community.
- To establish a hierarchy of highly accessible employment centres by reinforcing the transport network.
- To protect future employment centres from non-industrial land activities.

The CRWDP is considered to be highly consistent with the policy intent and key design objectives of the Growth Area Plan through supporting a new employment area for the local and wider community by improving the supply of industrial land. The development plan area is well located with respect to the primary arterial road network; in particular, Dandenong-Frankston Road and Westernport Highway.

Part 9 (Development Contributions) of the Growth Area Plan outlines requirements for the provision of works, facilities or services requiring a financial contribution. The payments are triggered by a Planning Permit application for use, subdivision or development.

The Growth Area Plan establishes that in determining a financial contribution a needs and nexus relationship between the works, services and facilities and the proposal must be established and that the following matters must be agreed upon:

- The purpose or purposes for which the contribution is to be used;

- That a contribution is the appropriate way to assist in providing the service taking into account the likely staging of development;
- That the contribution will not be used for any other purpose;
- That the service is reasonably associated with the land to be developed;
- Fair apportionment of sharing of costs; and
- Timing and management of the receipt, holding and expenditure of the financial contribution.

The developer will be making financial contributions to a number of necessary infrastructure projects.

Although the South-Eastern Growth Areas Plan was revoked on 14 November 2005 the policy intent and objectives are still relevant to the consideration of the development plan area.

4.6 Other Relevant Policies

4.6.1 Lyndhurst Strategic Land Use Study

The Lyndhurst Strategic Land Use Study was jointly developed by the Department of Natural Resources and Environment (DNRE) in January 2003, through Agriculture Victoria Services Pty Ltd (AVS), and the City of Greater Dandenong.

The study "provides a foundation for strategic, long-term planning and sets up the basis for the assessment of land use and development proposals in the area. The study focuses on the natural resources and environment of Lyndhurst in order to increase its environmental sustainability and its social and economic viability".

The land is identified within the Rural Enhancement Management Area in the study. The Rural Enhancement Management Area comprises land identified as having environmental risks and is only of moderate or lower suitability for agriculture. Land uses in this management area should recognise the Aboriginal cultural heritage in the form of scarred trees and aboriginal artefacts.

4.6.2 City of Greater Dandenong Aboriginal Heritage Study

The City of Greater Dandenong commissioned Terra Culture Pty Ltd to prepare the Dandenong Aboriginal Heritage Study in August 2001.

The study "provides information on the location of existing pre-contact Aboriginal archaeological sites and areas of archaeological sensitivity for pre-contact Aboriginal archaeological sites within the City of Greater Dandenong".

The study recommends measures for protecting the remaining elements of the pre-contact Aboriginal environment within the City of Greater Dandenong by amendments to the Planning Scheme.

Specifically, this would be achieved by:

- Adoption of Clauses in the MSS which set out strategic planning, land use and development objectives to protect pre-contact Aboriginal Heritage values.
- Providing for protection of pre-contact Aboriginal heritage values by applying the Environmental Significance Overlay with an appropriate schedule.

The development plan area is identified within Archaeological Survey Area 16 (bounded by Abbots Road Dandenong-Hastings Road, Thompson's Road and Dandenong-Frankston Road), which was surveyed for scarred trees. Although the study recommends measures for protecting Aboriginal culture Council does still not have a local planning policy for indigenous cultural heritage.

4.6.3 Aboriginal Heritage Act 2006 and Regulations 2007

Blanket protection for all Aboriginal cultural heritage in Victoria is provided by the Aboriginal Heritage Act 2006. Under Section 27 (1) and 27 (3) of the Act, a person is guilty of an offence for knowingly causing harm to Aboriginal cultural heritage. Under Section 32 of the Act, a person may apply to the Secretary for the Department of Victorian Communities, to carry out an Act which will harm Aboriginal cultural heritage. Under Section 38 of the Act, the Secretary must refer the permit application to the relevant Registered Aboriginal Party (RAP), if one has been appointed. The RAP has up to 30 days to indicate to the Secretary whether or not they agree to the issue of a Permit.

In this case, developers will be required to apply to the Secretary for a Permit to harm Aboriginal cultural heritage prior to the development within the CRWDP area.

5 Development Plan Components

The Development Plan (including Figure 1A) should be read in conjunction with the Urban Design Guidelines outlined below:

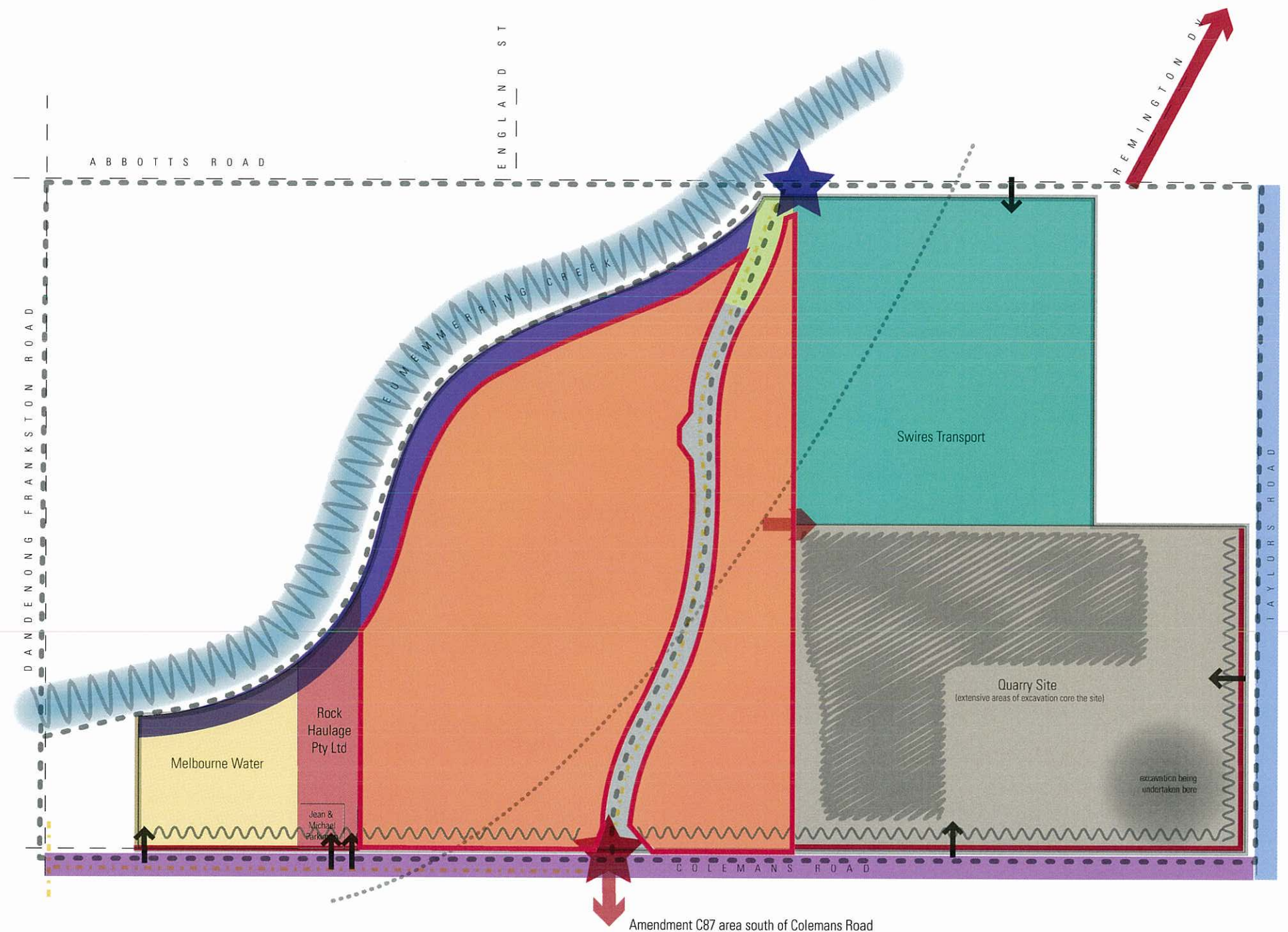
5.1 Urban Design Guidelines

5.1.1 Land Use and Built Form

The industrial types of uses predicted include general manufacturing and assembling, research and development, warehouse, self storage and transport and distribution. The broadening skill set of the population, the establishment of a "new economy" including business information technology, research and development and communications is encouraged.

The design and siting of new buildings within the development plan area should ensure:

- Excellent standards of design quality and building appearance in visible locations.
- Environmentally sustainable building design with regards to materials and finishes and building operations.
- Expansive blank walls of a single colour or material should be avoided in visible locations.
- Common themes in design, materials and colours.
- The use of low-maintenance external materials.
- The avoidance of highly reflective roof and wall materials.
- The screening of service equipment from view in highly visible locations.



5.1.2 Lot Layout and Setbacks

The development plan area has the provision for a flexible range of lot sizes including lots ranging from approximately 20 hectares right down to 0.5 hectares. These allocations are nominal and in terms the final development of the area (subject to Council approval) they may vary. In general terms, the potential distribution of these types of industrial development are highlighted on the Development Plan.

A large lot is shown on the west side of the proposed arterial road (extension of Remington Drive) with access directly from this road. This lot is being designed with the major tenant (ALDI Pty Ltd) in mind as the end user. Medium sized lots are to be located on the eastern boundary of the Development Plan so that they can include a landscape buffer (to the quarry site) and create an attractive interface to Colemans Road and Remington Drive. The aim of this is to offer a high quality address for smaller sized lots and maximise their visual aspect and access to the extension of Remington Drive.

Building setbacks are to be consistent with those in the Remington Drive estate with larger setbacks to Coleman Road to allow for an appropriate landscape buffers. These setbacks have been delineated on the Development Plan and further reference included in Figure 1A.

5.1.3 Edges and Interfaces

The treatment of interfaces within the development plan area should ensure:

- The presentation to the Coleman Road includes an appropriate landscape buffer.
- The eastern interface (between the industrial area and future industrial development areas) and north-western interface (between the industrial precinct and the drainage reserve) should comprise appropriate landscaping treatments to screen back-of-house areas.
- The landscape buffer and landscape setbacks will be designed and constructed in consultation with the City of Greater Dandenong to ensure the appropriateness of the vegetation and landscape quality to be provided.

5.1.4 Open Space and Landscaping

The development along the northern side of Colemans Road and on both sides of the proposed Remington Drive extension will incorporate generous landscaped front setbacks of approximately 10 metres. These setbacks have been delineated on the Development Plan and further reference included in Figure 1A. These areas can be used for passive recreation purposes. Other areas will provide generous landscaped surrounds which will contribute to the visual amenity of any future development within the development plan area.

Landscaping within the development plan area should ensure:

- The creation of attractive landscaping treatments in visible locations including Colemans Road and the Remington Drive extension.
- Good visibility for reasons of public safety and security.
- The screening and softening of car park areas.
- Provision of landscaping to be provided in consultation with the City of Greater Dandenong.

Key elements of the landscape concept plan include:

- Street tree selection will be informed by the City of Greater Dandenong's 'Leafy Legacy' Policy, utilising species of appropriate scale in the available nature strip width.
- Street tree planting may be enhanced in selected locations with a range of species selected from indigenous (locally native), native and exotic shrubs and groundcovers to the approval of the relevant authorities.
- Exotic grass species selection to nature strips and reserve areas will be in accordance with the City of Greater Dandenong's warm-season grass policy.
- The future road link at the northern extent of Remington Drive will be stabilised and provision made for future landscape treatment pending the road connection and applicable design.
- Landscape treatment to Remington Drive will be designed to make provision for duplication, including median and two additional lanes.
- A setback is proposed typically within each allotment to provide an appropriate area for landscape screening.

- Pedestrian / cycle accessibility will be provided along all roads within the subdivision in accordance with the City of Greater Dandenong's Schedule 3 to the Development Plan Overlay. Accessibility may also be provided adjacent to Eumemmerring Creek, subject to Melbourne Water and City of Greater Dandenong approval and agreement regarding development and maintenance responsibilities. This will be determined further with the relevant authorities at the time of a planning permit application being sort.
- Protection zones for any indigenous vegetation retained on site will be addressed within the vegetation retention plan and consideration sort from the recommendation of the arboricultural report with specific reference to the tree protection areas.
- Environmentally significant areas will be protected using landscape buffer zones to the satisfaction of relevant authorities.
- Fencing around significant environmental features to be incorporated as protection where required by the responsible authority. Furthermore, this would be generally consistent with the vegetation retention plan.
- Existing native vegetation of Eumemmerring Creek will be further enhanced by weed removal, soil stabilisation and additional planting in the proposed reserve adjoining the creek. Enhancement will be in accordance with the requirements of Melbourne Water, the City of Greater Dandenong and any other relevant authorities.

The following components of this document considered in detail in specialist reports forming appendices to the Development Plan.

5.2 Engineering and Infrastructure Requirements

Munn Consulting Pty Ltd reviewed the infrastructure requirements to service the development plan area within the Development Plan. The report concludes that infrastructure can be provided to facilitate future development of the development plan area.

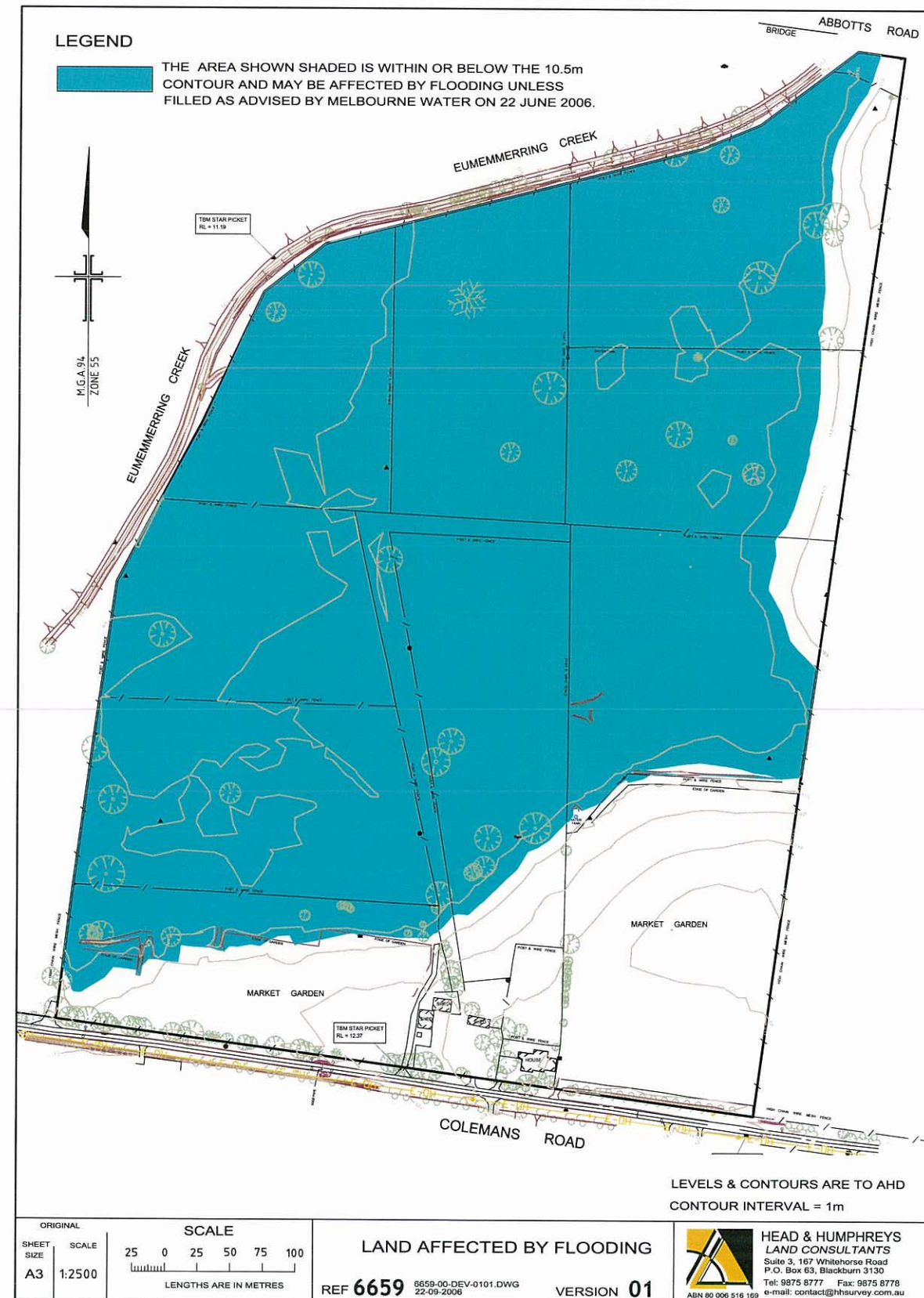
Provision of the following infrastructure was assessed:

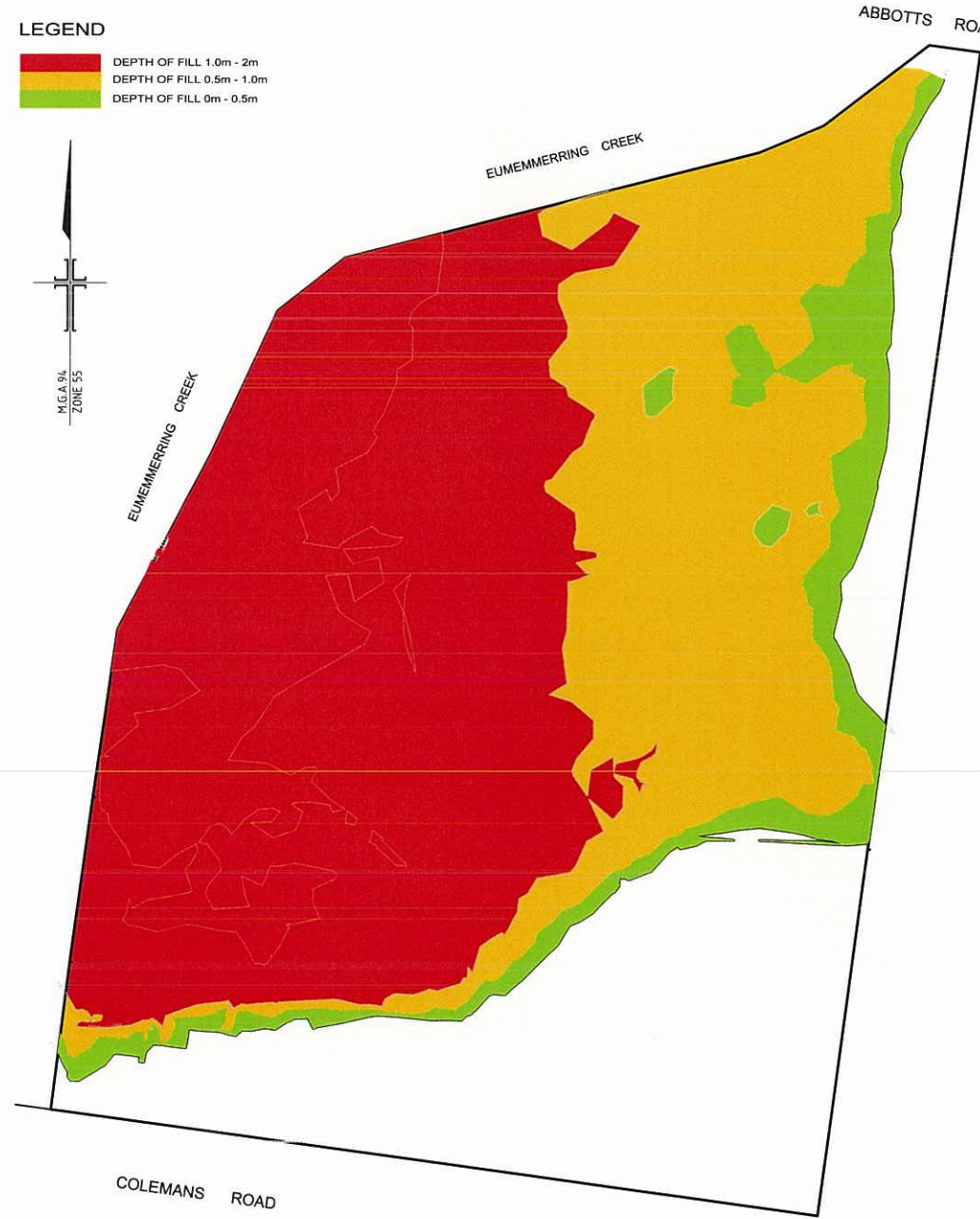
- Stormwater drainage;
- Sewerage facilities;
- Water supply;
- Telecommunications;
- Electricity; and
- Gas.

In consultation with Melbourne Water it has been identified that a portion of the development plan area requires filling prior to any use or development commencing. The fill levels to be achieved have been designated at a minimum level of 10.0 metres AHD to be clear of the 100 year flood level.

Melbourne Water advises that a retarding basin is required although the length of the Eumemmerring Creek to control the discharge rate. The retarding basin is to be contained within a 20 metre setback from Eumemmerring Creek. In consultation with Melbourne Water it is proposed to include water-sensitive urban design treatments as part of any future development. These areas will allow first flush flows from roads and car park pavements to be treated prior to entering the Melbourne Water drainage system. Further discussions are being undertaken with Melbourne Water to resolve the design of these retarding basins, at the time of a planning permit application the most appropriate design will be implemented.

Construction of a water main extension for the Jayco site (to the south) located on the Frankston-Dandenong Road south of Colemans Road is scheduled to be completed by April or May 2007. The impact on the road side vegetation will be minimised through the construction of this water main. South East Water requires extension of this proposed main along Colemans Road to service the development plan area.





5.3 Traffic

A traffic report has been prepared to address the transportation and traffic engineering issues outlined in Schedule 3 to the Development Plan Overlay. GTA Consultants Pty Ltd provided an assessment of future traffic volumes proposed intersection forms and recommended street types in the development plan area.

In summary, GTA Consultant's report establishes and identifies that:

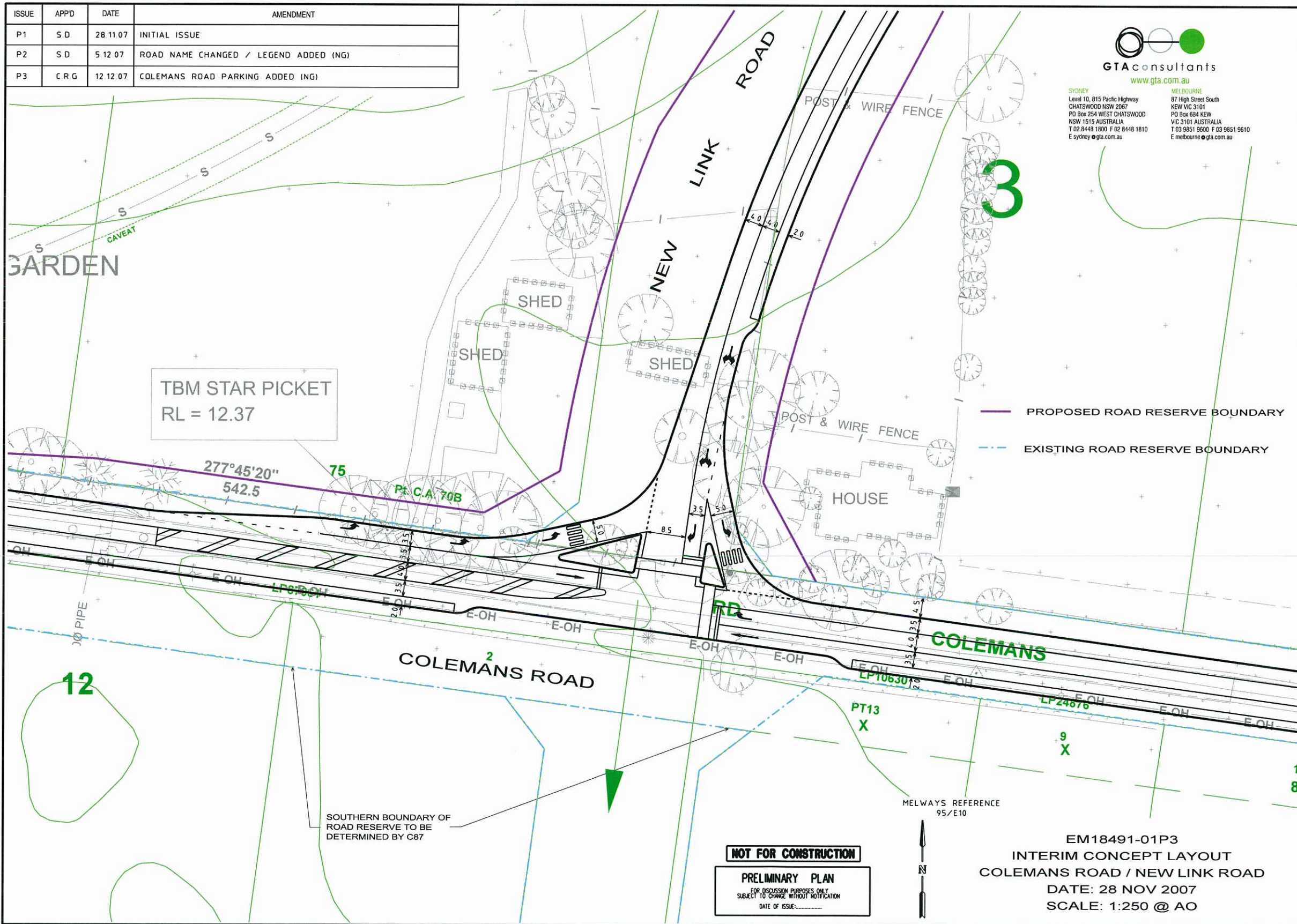
- The Development Plan provides for a 34 metre road reserve for the proposed link road through the development plan area that will run between Abbots Road and Colemans Road.
- Ultimately, the proposed link road is to consist of a road reserve of 34 metre which will be capable of accommodating a 4 lane divided arterial road comprising two 8 metre carriageways and a 5.4 metre central median. Prior to any future connection to Abbots Road, the internal road is proposed to comprise a single two-way carriageway which will ultimately form southbound carriageway of the future duplication. Interim conceptual functional layout plans have been prepared and any future development applications should be generally in accordance with the functional plans.
- Due to the timing uncertainty regarding the future duplication of the road, it has been agreed with City of Greater Dandenong that the Stage 1 carriageway will be constructed as a 10 metre carriageway comprising two 4 metre traffic lanes and a 2 metre parking lane on the eastern side of the road. It was not deemed necessary to provide a parking lane on the western side of the road given that land fronting the western side comprises 1 lot with controlled vehicle access and no need for on-street parking. It is proposed that the western kerb of the interim single carriageway road will ultimately remain the western kerb southbound carriageway following duplication.
- Provision has been made for a temporary court bowl at the northern end of the proposed link road to enable vehicles to turn around until such time as the road connects to Abbots Road. The temporary court bowl is to be designed and constructed to Council's standard industrial court bowl specification and ensure that trucks (such as B-doubles) can efficiently ingress and egress the court bowl.
- The Development Plan provides for access from individual lots to Colemans Road, west of the proposed link road. Ingress and egress should be limited to a single access point of an appropriate width to accommodate industrial vehicles, to be positioned an appropriate distance from the proposed intersection and to the satisfaction of VicRoads and the Responsible Authority.

- In the interim, Colemans Road is to be constructed as a two lane road and is proposed to be ultimately constructed in accordance with the currently exhibited Amendment C87 between the subject site and Dandenong-Frankston Road. The vegetation within the road reservation has been appropriately considered by arborists and ecologists. Interim road concepts and functional layouts have been prepared and any further development applications should be generally in accordance with the functional plans.
- Provision has been made for the signalisation of the intersections of the intersection of the proposed link road/Colemans Road and Colemans Road/Dandenong-Frankston Road. The ultimate design of the Colemans Road/proposed link road should be generally in accordance with the currently exhibited concept plan documented in Amendment C87.
- Following construction of the ultimate road configuration (duplication of Colemans Road and the proposed new link), ingress and egress to individual lots will be restricted to left in/left out only manoeuvres with the exception of sites located opposite median breaks. Variations may only be considered at the time of duplication and are to be in accordance with VicRoads requirements.
- Ingress and egress to individual lots from Colemans Road and the Proposed Link Road will comprise of forward entry and exit manoeuvres only. All future planning applications must take this into consideration.
- All pavement design must comply with Council's standards for road pavement.
- It will be a requirement of any future planning application for works, use or subdivision of land, for the subject applicant to prepare a Construction Management Plan (CMP). The CMP must address access during and after construction until such time that Colemans Road East is upgraded as part of Planning Scheme Amendment C87.

The following items are to be considered and/or dealt with at the time of any subsequent permit application for subdivision:

- The location of median breaks, which are to be in accordance with VicRoads requirements.
- In order to ensure future traffic movement is not comprised in the future, consideration is to be given to the establishment of 1 metre tree reservations on title for all frontages to Colemans Road and the proposed link road, apart from agreed crossover locations. Consideration should also be given to utilising a Section 173 Agreement to achieve the same outcome or a requirement that no access may be created without the written consent of the Responsible Authority or VicRoads.
- The relevant proponent to further consider the provision of a connection to land to the east, as identified on the proposed Development Plan as 'future link opportunity'.

ISSUE	APPD	DATE	AMENDMENT
P1	S D	28 11 07	INITIAL ISSUE
P2	S D	5 12 07	ROAD NAME CHANGED / LEGEND ADDED (NG)
P3	C.R.G	12 12 07	COLEMANS ROAD PARKING ADDED (NG)



GTA consultants
www.gta.com.au

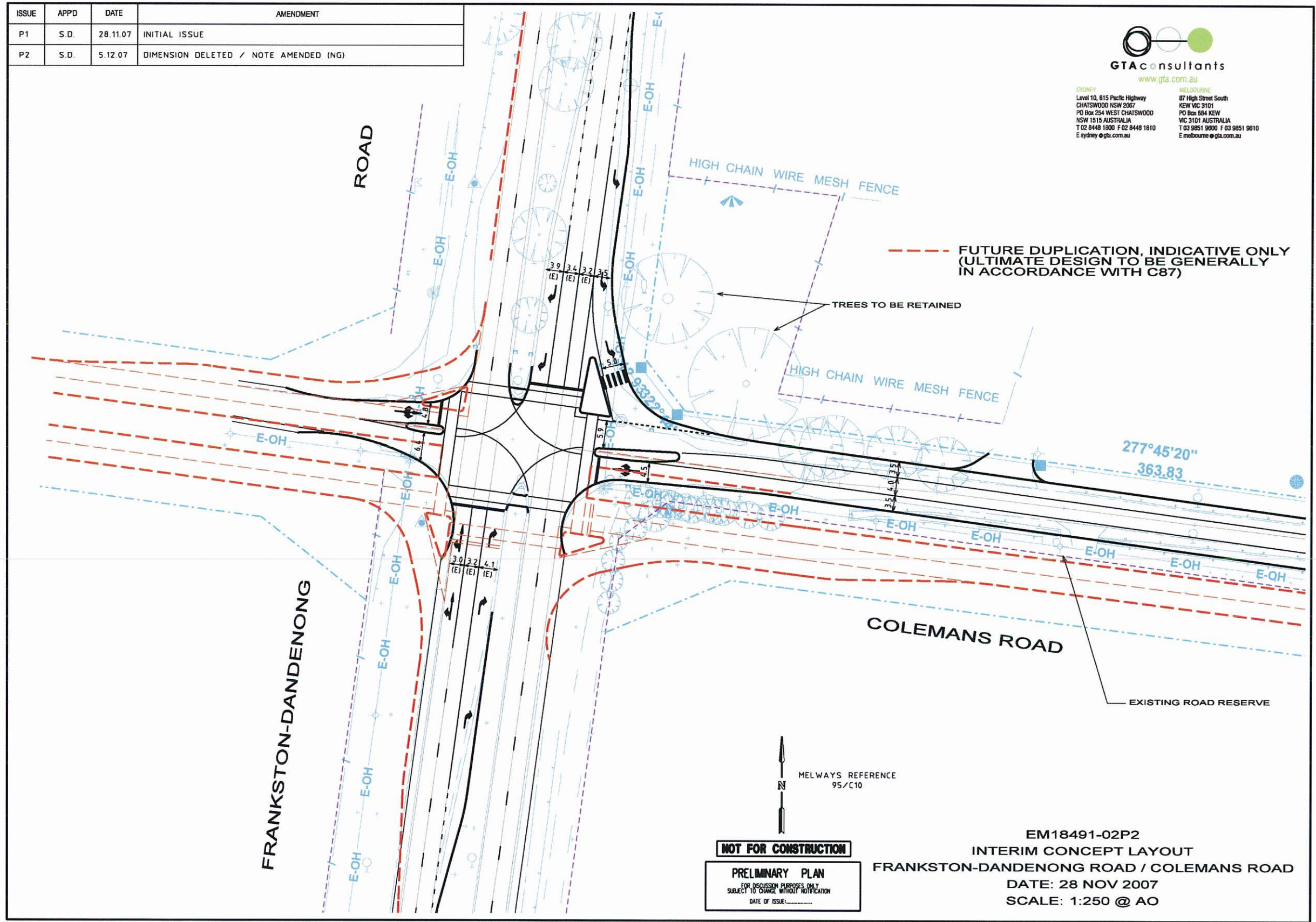
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— PROPOSED ROAD RESERVE BOUNDARY
- - - EXISTING ROAD RESERVE BOUNDARY

NOT FOR CONSTRUCTION
PRELIMINARY PLAN
FOR DISCUSSION PURPOSES ONLY
SUBJECT TO CHANGE WITHOUT NOTIFICATION
DATE OF ISSUE: _____

EM18491-01P3
INTERIM CONCEPT LAYOUT
COLEMANS ROAD / NEW LINK ROAD
DATE: 28 NOV 2007
SCALE: 1:250 @ AO



5.4 Trees

The report compiled by TreeLogic Pty Ltd provides:

- An assessment of the identified trees located within the development plan area with respect to their condition, structure and safety.
- An assessment of the suitability of the trees for preservation in a general context and in relation to any proposed future development of the development plan area.
- Guidelines for tree retention and tree protection zones where applicable.

The report concludes that the greater part of the development plan area is characterized by an aging population of remnant River Red Gums predominantly to the north of the flood plain and numerous planted trees to the south of the development plan area concentrated around existing buildings. Approximately 70% of the trees within the development plan area were identified as having low retention value on the basis of health or structural deficiencies or small stature. The majority of the maturing River Red Gum trees inspected have structure or health deficiencies, which could ultimately lead to branch/ catastrophic tree failure or premature death.

The site designs must plan to avoid potential damage to persons and property arising from the continued deterioration and must be acknowledged if these trees are to be preserved.

The development plan area to the Development Plan contained approximately 191 trees and two groups of trees, which included 115 River Red Gums and approximately 76 trees of mixed species. A small percentage of trees were identified that could be considered as landscape components within any development proposal. The report identifies the following recommendations:

- 4 trees were identified with a high arboricultural rating – 2 River Red Gums and two trees from the 'Other Species' population.
- 46 trees, including 29 semi-mature and 8 maturing River Red Gums had moderate arboricultural ratings.
- 93 individual trees and two tree groups, including 71 River Red Gums and two groups each attracting low arboricultural ratings.
- The provision of sufficient space surrounding River Red Gums is preferable and where opportunity exists these trees should be preserved in large areas of open space.

- Each River Red Gum being retained requires a tree protection zone to be established.
- Trees to be removed will be done so in accordance with an offset plan (to the satisfaction of the responsible authority and the Department of Sustainability and Environment).
- The trees within the Colemans Road road reservation at the intersection of Frankston-Dandenong Road have been assessed with the provisions of the future road reservations in mind. The vegetation within the road reservation has limited arboricultural rating and will not be directly affected by any future road reservations.
- Trees that require offsets will be provided for in accordance with *Victoria's Native Vegetation Management - A Framework for Action*.

5.5 Flora and Fauna and Biological Review

EarthTech Pty Ltd conducted biological review across all properties within the DPO West area, identifying the location and extent of biological assets and values within CRWDP.

A detailed flora and fauna assessment, including targeted fauna searches and quality assessments on flora was conducted on the landholding located on 75-90 Colemans Road.

The aim of these studies was to identify biological assets and values contained within the CRWDP area, and to develop a Vegetation Retention Strategy and framework for a future Environmental Management Plans (EMPs).

CRWDP Flora overview

The biological review found that all four properties located within the development plan area have been subject to long-term disturbance through either agricultural or commercial use.

The vegetation within CRWDP area can be broadly categorised into;

- Remnant trees, largely consisting of River Red Gum and Coast Manna Gum individuals;
- Planted exotic trees, such as Monterey Cypress, Radiata Pine and Pepper trees;
- Planted native trees, such as Sugar Gum, and;
- Patches of immature River Red Gum regeneration and Heathy Woodland habitat.

Planted exotic and native trees are present as either shelter-belts along property boundaries or in garden setting near residences. Similarly, road reserve areas consist of linear strips of planted native and exotic trees, mature native trees and patches of remnant vegetation.

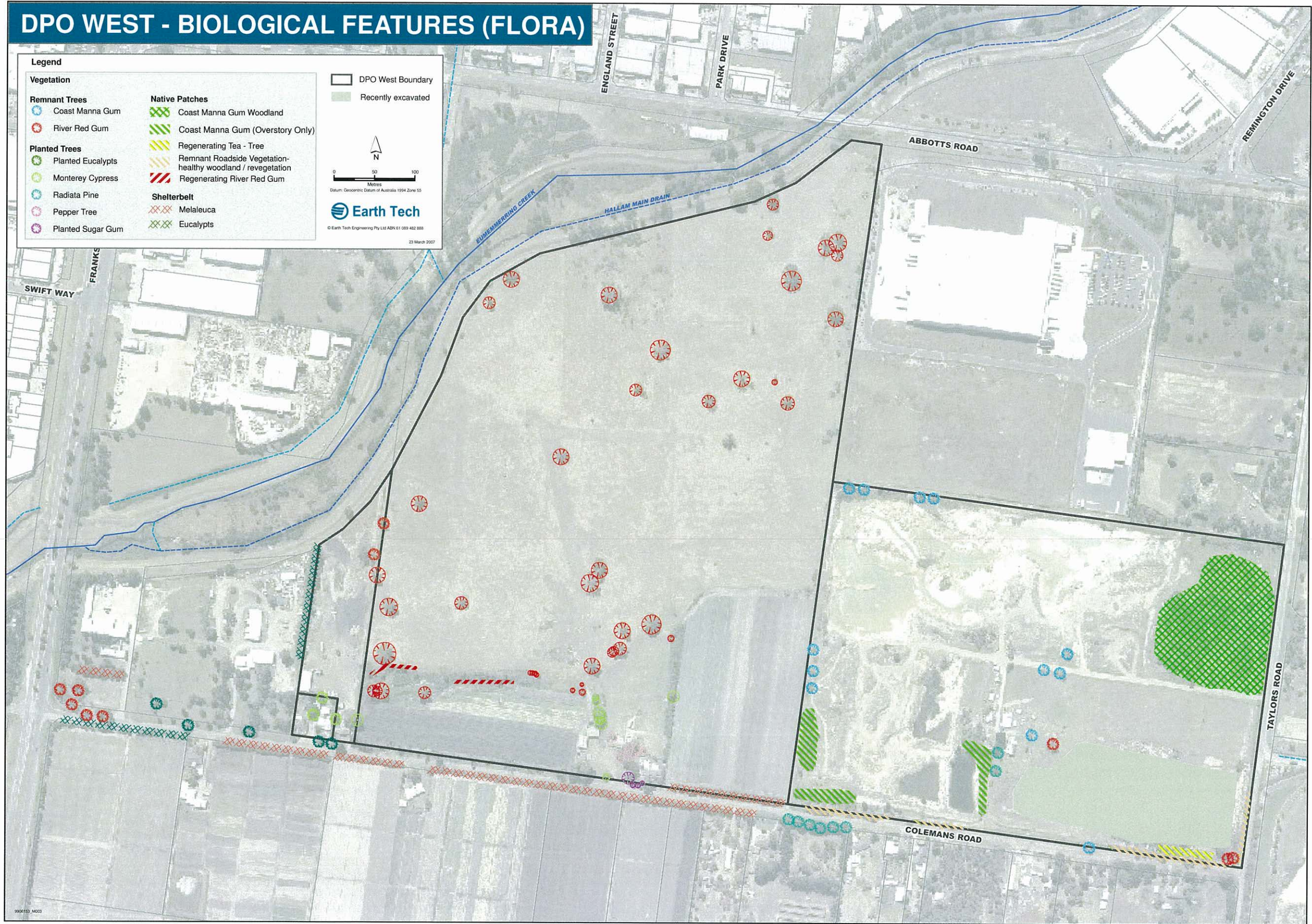
The understorey vegetation across the development plan area (including road reserves) is dominated by exotic groundcover.

Properties 35 and 125 Colemans Road are currently used for commercial purposes (Rock Haulage Pty Ltd and Quarrying). On-site vegetation is highly modified as a direct result of past and present commercial pressures. The vegetation is represented by scattered individuals of River Red Gum trees, Coast Manna Gum trees and patches of Heathy Woodland vegetation in varying quality.

The property at 75-90 Colemans Road has historically been, and is currently, used for agricultural purposes including horse and cattle grazing. The on-site vegetation largely consists of numerous remnant River Red Gums. The understorey vegetation on this landholding is modified and only a single patch of native understorey vegetation (regenerating River Red Gums) exists.

The property at 15 Colemans Road is a residential property. Vegetation in this area consists of planted exotic trees and garden beds.

Detailed descriptions of the location and extent of flora values within the development plan area are provided in supporting documentation to the CRWDP, and outlined below in the Biological Features Plan below.



Vegetation Retention and Net Gain

As identified during the biological reviews of the properties, three of the four landholdings within the development plan area contain native vegetation; 15 Colemans Road consists of planted exotic trees and garden beds. Due to the depleted nature of native vegetation within the local area, individual trees and patches of remnant vegetation were identified as areas that should be retained and incorporated in conceptual design. In particular, River Red Gum trees have been identified as containing high conservation significance within the landscape.

Areas containing clusters of trees and patches of remnant vegetation may offer higher ecological potential and efforts to conserve these areas should be made.

A vegetation retention plan (to the satisfaction of the responsible authority and the Department of Sustainability and Environment) must be prepared prior to the commencement of any development, and/or prior to an application for a planning permit for works, use or subdivision of the land - which ever comes first.

Planning Policy

Under Clause 15 (Section 15.09) of the State Planning Policy Framework, planning authorities must have regard to Victoria's Native Vegetation Management – A Framework for Action. Within the State Planning Policy Framework a strategic approach to native vegetation management and the three step approach of avoid, minimise and offset is required. This strategic approach enables significant native vegetation to be identified and planned for in the regional planning process.

Clusters of trees and patches of remnant vegetation communities within CRWDP are potential areas for offsetting any vegetation removal considered during future development of land, allowing ecological values to be retained and enhanced within the local landscape.

Prior to any future approval for subdivision or buildings and works within the development plan area, a Vegetation Retention Plan will need to be developed to the satisfaction of Council and the Department of Sustainability and Environment.

The Vegetation Retention Plan will need to consider the principles of Victoria's Native Vegetation Framework of avoidance and minimisation, including the conservation significance of vegetation. The Vegetation Retention Plan shall include;

- A summary of relevant legislation pertaining to vegetation applicable to the site, such as State Planning Policy, Local Planning Policy, Zones and Overlays;

- A map of flora values within the proposed subdivision, development area;
- An outline of proposed subdivision and or development, including footprints where appropriate; and
- A table which outlines each flora value on the site and the intention for retention or removal. This table must include the conservation significance of the flora value and a comprehensive rationale as to the efforts made to retain the flora value in line with State Planning Policy (compliance with the three step approach of avoidance, minimisation and offset).

The Vegetation Retention Plan will be required as supporting documentation for permit applications to remove native vegetation. Council and DSE will consider the application as per the decision guidelines outlined in Clause 52.17-5, and any other provisions in the planning scheme that require a permit for the removal or destruction of vegetation that triggered the referral.

Prior to any approval for subdivision or buildings and works of landholdings within CRWDP, the level of offsets to achieve Net Gain must be approved by Council and DSE. A comprehensive Net Gain assessment will be required as part of the Vegetation Retention Plan, or as a supporting documentation.

Once an application to remove native vegetation has been lodged, under Section 56 of the Planning and Environment Act 1987, the referral authority may respond in one of three ways;

- It does not object to an application;
- It does not object to the granting of a permit providing that certain conditions are included on the permit, or that certain matters are done to its (or another authority's) satisfaction; and
- It objects to the granting of a permit on specified grounds.

If the referral authorities do not object to the granting of a permit, a condition may be that no vegetation removal or destruction works are to commence until an Offset plan has been submitted, and is to the satisfaction of the referral authority.

In 2006, Port Phillip and Westernport Catchment Management Authority released updated responses and offset requirements for clearing applications for remnant vegetation and scattered trees. The requirements impose a system that ensures that native vegetation losses are compensated for by protecting and planting other native vegetation. The offset requirements vary according to the conservation, age, size and growth rates of the remnant vegetation or scattered trees to be cleared.

A Vegetation Retention Plan has been developed under these guidelines for 75-90 Colemans Road, and is supplied in the supporting documentation to the CRWDP.

Environmental Management Plan

Environmental Management Plans (EMPs) endeavour to achieve their primary objective of protecting the environment by a number of means. This includes integrating environmental, economic and social considerations into decision making and promoting a shared responsibility for the environment and the principles of ecologically sustainable development (Environment ACT 2004).

To promote ecologically sustainable development and protection of environmental values within the DPO West area, each landholding will be required to develop an Environmental Management Plan (EMP) to the satisfaction of Council prior to any approval for development and / or subdivision.

The objective of the EMP is to describe the area proposed for development, identify environmental values and outline management and mitigation strategies. An appropriate EMP will also include an offset plan detailing specific information regarding the offset targets required to counter the proposed removal of native vegetation.

An offset plan must include the following:

- A description of the offset targets required to counter any native vegetation removal, as guided by Victorian legislation and the appropriate regional Native Vegetation Management Plan.
- A description of the location/s of where specified offset targets will be achieved is to be included in the offset plan. The location/s of offset areas will be determined through consultations involving both Council and DSE.
- Locations and extent of the proposed offset areas will be clearly illustrated using appropriate mapping and/or aerial photography.
- A clear description of how the required offset targets will be achieved. This will include a combination of management, maintenance, and revegetation or enhancement plantings or natural regeneration activities. The following will be considered:
 - Site preparation works, weed control, fencing, access and grazing.
 - Species selection, planting densities, guarding and protection.
 - Ongoing management including weed and pest control
- Ongoing monitoring to ensure targets and works are achieved.
- A commitment that offset works will commence as soon as possible, and definitely within 12 months, following native vegetation removal.

- A schedule of works outlining the required timelines for both immediate and ongoing works throughout the 10 year management period.
- Details of who is responsible for undertaking any works and the completion of each stage.
- Details of who, whether it be the proponent or other management authorities, will be responsible for the management and maintenance of the offset area/s.
- Specify how any proposed offset areas will be protected from future impacts and development. The protection of the offset sites will vary on a site-by-site basis however it may involve a Section 173 Agreement or covenant.

Management and mitigation strategies are required to ensure that environmental values and factors are appropriately protected. The EMP will need to establish environmental monitoring and reporting procedures for the landholding. Environmental monitoring and reporting determine whether management and mitigation strategies are effective and allow refinement.

If onsite offsets are proposed to achieve Net Gain for vegetation removal, then the EMP will need to outline management responsibilities for these areas.

The structure / framework required for EMPs for landholdings within the CRWDP area is outlined below;

1. Introduction
 - Site description
 - Environmental values
2. Proposed works
 - Proposed activities (including timelines necessary for development)
 - Schedule of proposed works
3. Offset requirements - Plan
4. Potential environmental impacts
5. Environmental management safeguards
 - Management and Mitigation strategies
 - (An outline of safeguards required to ensure environmental values are adequately protected during and after construction. This section will also include long term management and ownership intentions for environmental values within the landholding)*

- Design (appropriate design methods will need to be considered to ensure long term viability of vegetation (i.e. in areas that require filling).
- Contractor awareness
- Vegetation protection
- Habitat disturbance
- General tree protection
- Tree trimming
- Fauna management during works
- Weed and pest management
- Vehicles and equipment storage and movement
- Storage of stockpiles
- Soil and erosion management
- Dust suppression
- Air
- Noise
- Water management
- Landscaping
- Schedule for management
- Site management

6. Environmental monitoring and reporting

Establish environmental monitoring and reporting requirements to determine whether the impacts associated with any proposed works are mitigated and that safeguards put in place are effective.

An outline of management and mitigation measures per environmental factor is presented below in Error! Reference source not found..

Environmental factors

EMPs should focus on environmental factors which are site specific and relevant to the proposed development. Error! Reference source not found. below outlines environmental factors that will need to be addressed when constructing EMPs for sites within the DPO West management area. Additional items specific to the proposal may also need to be addressed.

Environmental Factors	Management and Mitigation strategies ¹ to address:
Contractor awareness	- site induction
Vegetation	- maximisation of trees to be retained - exclusion fencing/ buffer zones for significant areas - parking areas for vehicles and earthmoving equipment - equipment and material storage areas
Habitat Disturbance	- temporary exclusion fencing around any areas of habitat - timing of works
General Tree Protection	- protection zones during and after works - work in or near drip lines
Tree Trimming	- trimming, lopping or damaging native trees
Design	Protection of vegetation by design (i.e. water sensitive urban design principles)
Fauna Management during works	- critical seasons/periods for fauna species - hollow bearing trees and logs - field inspections/monitoring by an ecologist
Weed Management	- vehicle wash down - noxious weeds - weed control
Pest Control	- pest control and monitoring
Vehicles and Equipment	- material and equipment storage - parking vehicles and machinery - vehicle movements
Storage of stockpiles	- stockpiles should be located in areas containing exotic vegetation or gravel, not in areas of native vegetation
Soil and Erosion Management	- stabilisation of banks and erosion
Dust Suppression	- cover stockpiles - water highly trafficked areas - covering truck cargoes
Air	- potential air pollutants
Noise	- noise associated with proposed developments
Water Management	- wastewater (protection of waterway during construction)
Landscaping	- use of local provenance plants, and appropriate species selection (non-indigenous plants should not be planted) -landscape plan prepared by a suitably qualified designer, and construction undertaken in accordance with those plans shall be approved by council prior to completion or occupation of the buildings
Management responsibilities	Management responsibility and time frame for handover of responsibilities
Reporting	Reporting requirements

An Environmental Management Plan (EMP) must be prepared prior to the commencement of any development and/or prior to an application for a planning permit for works, use or subdivision of land (whichever comes first). The EMP must be to the satisfaction of the Responsible Authority and the Department of Sustainability and Environment.

5.6 Heritage

The report compiled by Heritage Insight Pty Ltd establishes and identifies the key recommendations regarding the appropriate cultural heritage management in relation to the impact of industrial development within the development plan area. The recommendations contained in the Cultural Heritage Management Plan (CHMP) are reproduced below:

Mapping of Indigenous Site locations

Any excavation works within the areas defined as sites AAV 7921/0809-0815 (Kelly 1-5 and Colemans Road Scarred Trees 1 and 2) in this document have the potential to impact on indigenous archaeological remains. This includes excavation for services, soil borrow areas, construction of buildings, drainage and waterways. It is strongly recommended that the location of these archaeological sites be shown on all construction plans and / or the Environmental Management Plan for the development (Location and AAV site number), and referenced to the specific recommendation. A summary of the management requirements and statutory legislation protecting Indigenous sites should be available to all project staff to ensure the awareness of the need for statutory compliance in relation to the sites.

Site Specific Recommendations

These specifically apply to each individual site and have been formulated based on the sub-surface testing results, community consultation, preliminary design plans and statutory requirements.

Identification of Heritage Constraints on Property Titles at AAV 7921-0809

Caveats should be added to the titles of allotments which are placed over site AAV 7921/0809 (see recommendations below), which clearly set out the heritage constraints incumbent on any future purchasers of these allotments.

Andrew Duggan on behalf of Abacus Property Group has stated that a Covenant or Caveat cannot be placed on the property titles covering the potential Pleistocene site in the lower unit of AAV 7921-809, until the extent of protection is known. Abacus will undertake to place a Covenant or Caveat on the site when and if there is a requirement to do so on completion of works under the conditions of the Permit to Disturb. Any restrictions or conditions will pass on to the registered proprietors of the blocks in the future.

This condition and the associated management recommendations below should be included in any Permit to harm Aboriginal cultural heritage which is issued by AAV.

Thermoluminescence dating of the Lower Unit of AAV 7921-0809

A sample of the sand from the same stratigraphic context as the charcoal used to obtain the previous radiocarbon date (see Barker 2006), should be collected and dated using thermoluminescence dating.

If this date is not consistent with the radiocarbon date of 7806±50BP then a second date should not be obtained from the deposit.

If the TL date is consistent with the previous radiocarbon date then a second TL date should be obtained from the base of the sand dune in the same stratigraphic layer as the potential Pleistocene site (700-1100mm). This date will determine when the sand surrounding the stone tool assemblage was last exposed to sunlight. This will therefore determine a likely timeframe of when the stone tool assemblage entered the archaeological record.

AAV 7921-0809 (Kelly 1)

AAV 7921-0809 (Kelly 1) consists of the upper and lower units of the east market garden. The upper unit comprises large, disturbed scatter of stone artefacts in area measuring approximately 200m x 175m, over which there are stone artefacts dispersed through the soil between depths of 0-500mm. The estimated extent of the lower unit has been approximated the data from the current investigation, contour lines and depth of the sand to cover an area contained by the 13.4m contour (see Figure 7). This contour covers the crest of the dune and centres on the locations of Transects 1 and 2 (2006 Excavation), and Test Pit 3 (2007 Excavation).

If sand from the disturbed ploughzone of site AAV 7921-0809 is to be stripped, the developer must apply for a permit from the Secretary of the Department for Victorian Communities to do so. The lower unit of the site below the ploughzone, should remain as undisturbed as possible (see Recommendation 1 below).

If the Secretary for the Department of Victorian Communities in consultation with the Indigenous communities agrees to issue a Permit to harm Aboriginal cultural heritage the development of the site should involve the use of a construction technique which involves minimal disturbance to the lower unit of site AAV 7921-0809.

Therefore, in the event that the developer applies for and is issued with a Permit to Disturb site 7921-0809, including parts of the lower unit of the site which is potentially Pleistocene in age, the following actions are recommended:

- 1) The lower unit of this archaeological site, below the ploughzone (approximately 500mm below the surface) should not be excavated or disturbed for any construction purpose, apart from works which may be necessary to construct low-impact buildings (see Recommendation 2 below) and services.

- 2) A low impact construction technique should be employed to minimise disturbance to the archaeological site. Construction techniques that involve building on concrete rafts supported by piles driven through to the bedrock should be explored by building contractors. If these techniques are feasible they should be part of any conditions attached to the title of the Allotments on which the lower unit of site AAV 7921-0809 is located.
- 3) Any excavation within AAV 7921-0809 (piles, access roads, ancillary services etc.) should be monitored by Indigenous community representatives from the Bunurong and Boonerwung.
- 4) All sand excavated from AAV 7921-0809 should be sieved using 5mm fine mesh. Indigenous community monitors from the Bunurong and Boonerwung should be allowed to salvage artefacts from the sieve.
- 5) If a significant feature, such as an intact and in situ archaeological deposit is located during stripping, mechanical excavation work should cease in the immediate area where the feature is located. A qualified archaeologist should be contacted by either Indigenous community representatives or the project manager and arrangements made for the archaeologist to visit the site and assess the feature. The archaeologist should provide recommendations to the Indigenous communities and Abacus Property Group Pty. Ltd. about the best treatment for the feature. All cultural materials salvaged can be reburied at the agreed location by Indigenous cultural representatives.
- 6) The archaeologist should produce a detailed report on the results of the monitoring and any additional controlled excavation, which includes analysis of all cultural materials located, dating of the site (if possible), and a detailed interpretation of past Indigenous land use of the property.
- 7) The remainder of the sand dune outside the boundary of the lower unit of site 7921-0809 (see above), comprises a disturbed surface and sub-surface scatter located in the ploughzone of the east market garden (upper 500mm). If this area is to be stripped to the basal layer, and if the Secretary for the Department of Victorian Communities in consultation with the Indigenous communities agrees to issue a Permit to harm Aboriginal cultural heritage the following should be undertaken:
 - Indigenous community representatives should be present from the Bunurong and Boonerwung to monitor the works.
 - The balance of the site outside the boundary of the lower unit of site 7921-0809 should be stripped using a backhoe with a 600mm flat edged mud bucket. The deposits should be placed in a mechanical sieve to recover artefacts. The extent of monitoring works covers the area of site AAV 7921-0809.
 - If a significant feature, such as an intact and in situ archaeological deposit is located during stripping, mechanical excavation work should cease in the immediate area where the feature is located. A qualified archaeologist should be contacted by either Indigenous community representatives or the project manager and arrangements made for the archaeologist to visit the site and assess the feature.

The archaeologist should provide recommendations to the Indigenous communities and Abacus Property Group Pty. Ltd. about the best treatment for the feature. All cultural materials salvaged can be reburied at the agreed location by Indigenous cultural representatives.

- The archaeologist should produce a detailed report on the results of the monitoring and any additional controlled excavation, which includes analysis of all cultural materials located, dating of the site (if possible), and a detailed interpretation of past Indigenous land use of the property.

AAV 7921-0810 (Kelly 2)

A preliminary design plan for the western half of 75-90 Colemans Road indicates that a loading bay and carparks will be constructed on this site (Figure 1). If the Secretary for the Department of Victorian Communities in consultation with the Indigenous communities agrees to issue a Permit to harm Aboriginal cultural heritage for its removal, the following actions are recommended for site AAV 7921-0810 (Kelly 2):

1. The sand dunes across the market gardens which contain stone artefacts and which have been ploughed down to the depth of the underlying coffee rock, should be carefully stripped with a soil excavator, using a mud bucket. The sand should be stripped down to the depth of the coffee rock, as the current project has demonstrated that stone artefacts are present throughout the ploughzone to the depth of the coffee rock.
2. The soil stripping should be monitored by representatives of the Indigenous communities.
3. All sand stripped from the market gardens should be passed through a mechanical sieve. Indigenous community monitors should be allowed to salvage artefacts from the sieve.
4. If a significant feature, such as an intact and in situ archaeological deposit is located during stripping, mechanical excavation work should cease in the immediate area where the feature is located. A qualified archaeologist should be contacted by either Indigenous community representatives or the project manager and arrangements made for the archaeologist to visit the site and assess the feature. The archaeologist should provide recommendations to the Indigenous communities and Abacus Property Group Pty. Ltd. about the best treatment for the feature. All cultural materials salvaged can be reburied at the agreed location by Indigenous cultural representatives.
5. The archaeologist should produce a detailed report on the results of the monitoring and any additional controlled excavation, which includes analysis of all cultural materials located, dating of the site (if possible), and a detailed interpretation of past Indigenous land use of the property.

AAV 7921-0811 (Kelly 3)

A preliminary design plan for the western half of 75-90 Colemans Road indicates that the new link road and access roads will be constructed on this site (Figure 1). Two further test pits were excavated at the location of AAV 7921-0811 (Kelly 3) during June 2007. The results indicated that 7921-0811 (Kelly 3) consists of an in-situ isolated artefact and sub-surface artefact scatter each measuring 10 x 10m, in which there are stone artefacts dispersed through the soil between depths of 100-900mm.

The archaeological site is an in situ deposit of stone artefacts which is derived from a past Indigenous campsite on the margins of the Eumemmerring Creek floodplain. Much of the area surrounding the creek has been developed, and there are few sites of this type remaining. The site is likely to contain physical evidence of the recent use of the floodplain and its environment by Indigenous people.

If the Secretary for the Department of Victorian Communities in consultation with the Indigenous communities agrees to issue a Permit to harm Aboriginal cultural heritage the archaeological site, the following actions should be taken:

1. AAV 7921-0811 will be stripped to the basal clay layer and covered by up to 1 m of fill. As the site is of high cultural significance to the Indigenous community, a salvage excavation be undertaken to provide additional information about the stratigraphy and cultural materials present at the site, and, if possible obtain radiocarbon dates.
2. This testing should be in the form of a 4m x 4m hand excavation adjacent to the location of Test Pit 2 (2006 Excavation). The excavation should be carried out by a qualified archaeologist in association with Indigenous community representatives. A permit for the excavation must be obtained from Aboriginal Affairs Victoria. The archaeologist should produce a detailed report on the results of the excavation, which includes analysis of all cultural materials located, dating of the site (if possible). All cultural materials excavated should be reburied in the agreed location by Indigenous community representatives.
3. The remainder of the in situ isolated artefact (Test Pit 1 – 2006 excavation) and sub-surface scatter (Test Pit 2 – 2006 excavation) that comprise AAV 7921-0812 should be carefully stripped across this area using an excavator with a mud bucket.
 - a. The extent of the area to be stripped is 20 square metres from the location of Test Pit 1 and 2 (2006 excavation).
 - b. The grass layer should first be stripped from across this area, by an excavator using a mud bucket. Because the area where the archaeological site is contained has not previously been ploughed as part of the market gardens, it would be preferable to strip the soil carefully, in increments of 200mm depth.

- c. Sand stripping should be monitored by a qualified archaeologist and Indigenous community representatives.
- d. All sand stripped from the area of site AAV 7921-0811 should be passed through a mechanical sieve. Indigenous community monitors should be allowed to salvage artefacts from the sieve.
- e. If a significant feature, such as an intact and in situ archaeological deposit is located during stripping, mechanical excavation work should cease in the immediate area where the feature is located. A qualified archaeologist should be contacted by either Indigenous community representatives or the project manager and arrangements made for the archaeologist to visit the site and assess the feature. The archaeologist should provide recommendations to the Indigenous communities and Abacus Property Group Pty. Ltd. about the best treatment for the feature. All cultural materials salvaged can be reburied at the agreed location by Indigenous cultural representatives.
- f. The archaeologist should produce a detailed report on the results of the monitoring and any additional controlled excavation, which includes analysis of all cultural materials located, dating of the site (if possible), and a detailed interpretation of past Indigenous land use of the property.

AAV 7921-0812 (Kelly 4)

A preliminary design plan for the western half of 75-90 Colemans Road indicates that a carpark and offices will be constructed on this site (see Figure 14).

Two further test pits were excavated at the location of AAV 7921-0812 (Kelly 4) during June 2007 to investigate the extent of site. AAV 7921-0812 (Kelly 4) consists of two small sandy rises above the alluvial plain in the centre of 75-90 Colemans Road each measuring approximately 10m x 10m over which there are stone artefacts dispersed through the soil between depths of 100-400mm (see Figure 7).

The archaeological site is an in situ deposit of stone artefacts which is derived from a past Indigenous campsite on the floodplain of Eumemmerring Creek. Much of the area surrounding the creek has been developed, and there are few sites of this type remaining. The site is likely to contain physical evidence of the recent use of the floodplain and its environment by Indigenous people.

If the Secretary for the Department of Victorian Communities in consultation with the Indigenous communities agrees to issue a Permit to harm Aboriginal cultural heritage the archaeological site, the following actions should be taken:

1. AAV 7921-0812 will be stripped to the basal clay layer and covered by up to 1 m of fill. As the site is of high cultural significance to the Indigenous community, a salvage excavation be undertaken to provide additional information about the stratigraphy and cultural materials present at the site, and, if possible obtain radiocarbon dates.
2. This testing should be in the form of a 4m x 4m hand excavation on the crest of the low rise adjacent to the location of Test Pit 3 (2006 Excavation), and a 2m x 2m hand excavation on the low rise adjacent to the location of Test Pit 4 (2006 Excavation). The excavation should be carried out by a qualified archaeologist in association with Indigenous community representatives. A permit for the excavation must be obtained from Aboriginal Affairs Victoria. The archaeologist should produce a detailed report on the results of the excavation, which includes analysis of all cultural materials located, dating of the site (if possible). All cultural materials excavated should be reburied in the agreed location by Indigenous community representatives.
3. The remainder of the two in situ sub-surface scatters that comprise AAV 7921-0812 should be carefully stripped across this area using an excavator with a mud bucket.
 - g. The extent of the area to be stripped is 20 square metres from the location of Test Pit 3 and 4 (2006 excavation).
 - h. The grass layer should first be stripped from across this area, by an excavator using a mud bucket. Because the area where the archaeological site is contained has not previously been ploughed, it would be preferable to strip the soil carefully, in increments of 200mm depth.
 - i. Sand stripping should be monitored by a qualified archaeologist and Indigenous community representatives.
 - j. All sand stripped from the area of site AAV 7921-0812 should be passed through a mechanical sieve. Indigenous community monitors should be allowed to salvage artefacts from the sieve.
 - k. If a significant feature, such as an intact and in situ archaeological deposit is located during stripping, mechanical excavation work should cease in the immediate area where the feature is located. A qualified archaeologist should be contacted by either Indigenous community representatives or the project manager and arrangements made for the archaeologist to visit the site and assess the feature. The archaeologist should provide recommendations to the Indigenous communities and Abacus Property Group Pty. Ltd. about the best treatment for the feature. All cultural materials salvaged can be reburied at the agreed location by Indigenous cultural representatives.
 - l. The archaeologist should produce a detailed report on the results of the monitoring and any additional controlled excavation, which includes analysis of all cultural materials located, dating of the site (if possible), and a detailed interpretation of past Indigenous land use of the property.

AAV 7921-0813 (Kelly 5)

A sub-division plan for 75-90 Colemans Road indicates that the new link road and small blocks will be situated at the location of this site. **If the Secretary for the Department of Victorian Communities in consultation with the Indigenous communities agrees to issue a Permit to harm Aboriginal cultural heritage** for its removal, the following work should occur at site AAV 7921-0813 (Kelly 5):

1. The extent of monitoring works at site 7921-0813 covers the area bounded by the disturbed northern section of the sand dune and the undisturbed southern section of the sand dune along the eastern boundary fence (see Figure 7). The grass layer should first be stripped from across this area, by an excavator using a mud bucket. Sand should then be carefully stripped across this area using an excavator with a mud bucket. Because the area where the archaeological site is contained has not previously been ploughed as part of the market gardens, it would be preferable to strip the soil carefully, in increments of 200mm depth.
2. Sand stripping should be monitored by a qualified archaeologist and Indigenous community representatives.
3. All sand stripped from the area of site AAV 7921-0813 should be passed through a mechanical sieve. Indigenous community monitors should be allowed to salvage artefacts from the sieve.
4. If a significant feature, such as an intact and in situ archaeological deposit is located during stripping, mechanical excavation work should cease in the immediate area where the feature is located. A qualified archaeologist should be contacted by either Indigenous community representatives or the project manager and arrangements made for the archaeologist to visit the site and assess the feature. The archaeologist should provide recommendations to the Indigenous communities and Abacus Property Group Pty. Ltd. about the best treatment for the feature. All cultural materials salvaged can be reburied at the agreed location by Indigenous cultural representatives.
5. The archaeologist should produce a detailed report on the results of the monitoring and any additional controlled excavation, which includes analysis of all cultural materials located, dating of the site (if possible), and a detailed interpretation of past Indigenous land use of the property.

AAV 7921-0814 (Colemans Road Scarred Tree 1)

AAV 7921-0814 (Colemans Road Scarred Tree 1) is to be preserved within a roadside reserve. The health and hydrology of the tree has been assessed by a James Martens-Mullaly, a qualified arborist from Tree Logic. The recommendations made in the Tree Management Plan (see Appendix 7) must be:

- Strictly adhered to by all contractors and construction workers on the Colemans Road site.

- Included in all site plans.

The City of Greater Dandenong should be responsible for the long-term maintenance and health of the tree.

AAV 7921-0815 (Colemans Road Scarred Tree 2)

Re-examination of AAV 7921-0815 has indicated that there are two scarred trees present at this location, comprising a living red gum with a possible scar on the upper surface of the tree branch. There is a separate fallen and dead tree next to it with a definite scar on it.

Both trees will be left in-situ will be retained within a drainage reserve along the western boundary of the property.

The health and hydrology of the tree has been assessed by a James Martens-Mullaly, a qualified arborist from Tree Logic. The recommendations made in the Tree Management Plan (see Appendix 7) must be:

- Strictly adhered to by all contractors and construction workers on the Colemans Road site.
- Included in all site plans.

Cultural Heritage Reserve

It is recommended that a Cultural Heritage Reserve be established/maintained on the 75-90 Colemans Road property;

- At a location agreed on by Abacus and the Indigenous communities.
- The development should be given an Aboriginal name (as per Bunganyan). The name for the waterholes (Barnban/Bunganyan) was a word meaning 'bandicoot' or 'bandicoot house' in the Bunurong language.
- The Cultural Heritage reserve should be clearly identified as a place of significance that contains cultural heritage values on the Management Plan.
- Native plants sourced from the area should be used for revegetation work.
- Abacus Property Group should produce an interpretation pamphlet about the site that could be used by Council and purchasers of the land, including some text about the history, archaeology and culture of the place and a range of images.

The cultural heritage management plan for the reserve should be developed in consultation with the Boon wurrung communities.

The heritage assessment provides an extensive list of archaeological sites and the site types found are listed in detail in the Heritage Report. The investigations to date have involved sub-surface testing of different landforms across the entire property and extensive consultation with the Bunruong Land Council and the Victorian Boonerwung Elders Land Council Aboriginal Corporation. The recommendations made above have been

implemented in the form of consent to disturb applications to the Minister for Aboriginal Affairs Victoria. Any future development within the development plan area will need to comply with the requirements of Aboriginal Affairs Victoria.

General Principles

The following general principles should be applied to works carried out on the site:

Artefact Relocation

A suitable location should be agreed on for the relocation of Aboriginal artefacts, preferably in a location that will not be disturbed. The location of this site should be recorded by GPS and included on any future plans of the site. The party or parties responsible for the future protection and maintenance of the site should be agreed by the developer and Indigenous communities.

The Bunurong Land Council have requested that the Aboriginal artefacts salvaged during construction be analysed by a qualified archaeologist and reburied at a suitable location on site, either within a cultural heritage reserve or within the 20m environmental buffer zone parallel to Colemans Road.

The Boonerwung have requested that the Aboriginal artefacts be salvaged and that the artefacts are analysed by a qualified archaeologist.

Site Protection

As an interim protection measure it is recommended that the area around all of the archaeological sites which are to be retained, be fenced off with orange plastic webbing prior to any construction works commencing on site. Archaeological sites which are fenced should be identified with appropriate signage notifying any contractors on site to avoid working in the fenced area. The erection of fencing should be done in consultation with an archaeologist and the Indigenous communities.

Indigenous Heritage Inductions

It is strongly recommended that representatives of the Bunurong Land Council Aboriginal Corporation and the Victorian Boonerwung Elders be invited to present an Indigenous heritage induction to all contractors involved with the development. The community representatives may wish to explain the importance and value of Indigenous cultural heritage and the procedures to be followed in the event that Indigenous archaeological sites are located during any monitoring works.

Communication

The project manager and any personnel involved with supervision of construction must read the management recommendations contained in this report, copies of any Permit to Disturb archaeological sites which may be issued by AAV, and be aware of the locations of all Indigenous heritage sites on the property. The project manager (or other relevant supervisory staff) must be responsible for implementing any conditions contained in the Permit to Disturb Indigenous archaeological sites. The project manager must also ensure that none of the archaeological sites which are to be retained are disturbed in any way by construction.

The project manager should set in place internal processes of communication, which ensures that they are notified prior to any contractors conducting works (including archaeological contractors) at any of the archaeological sites on the property.

Human Remains

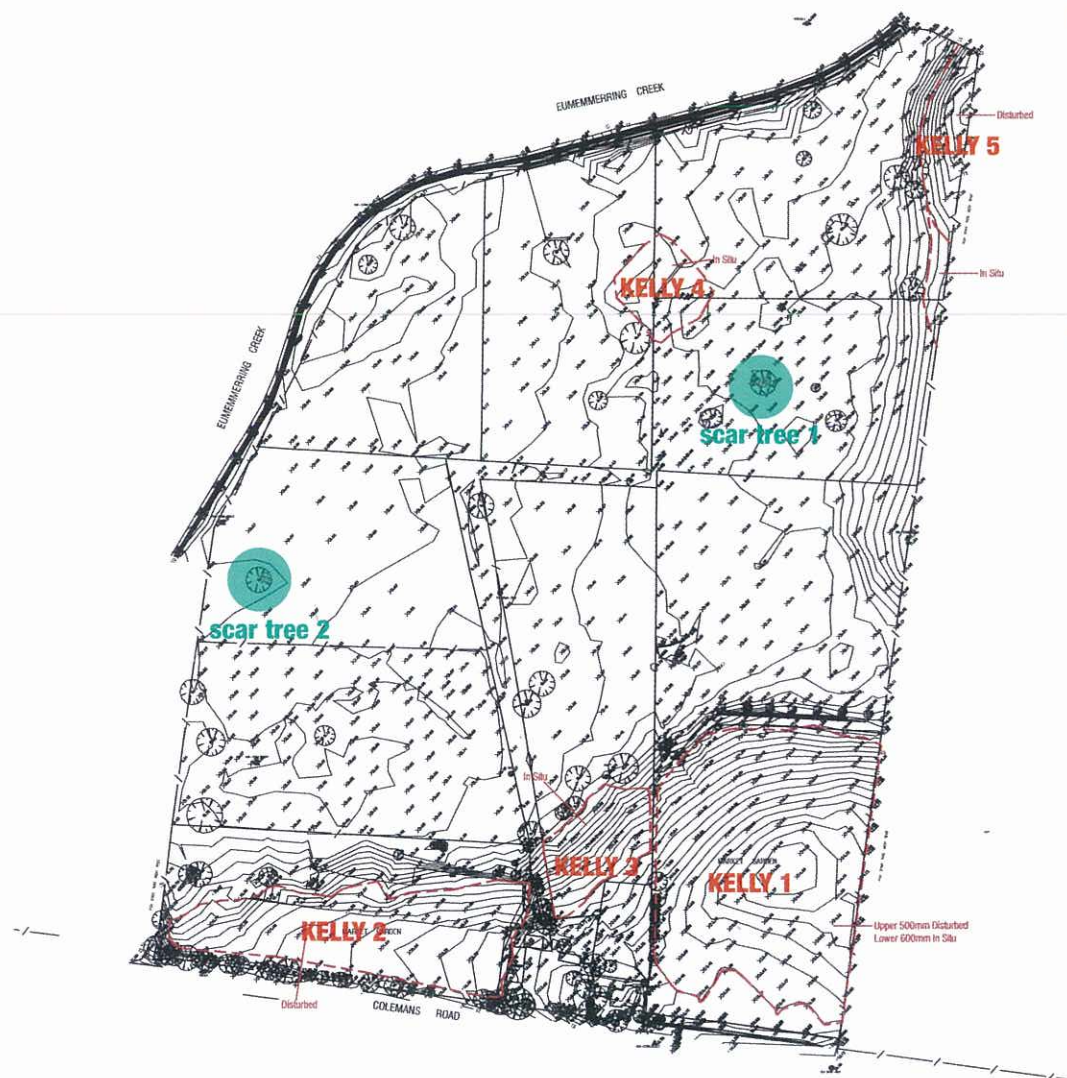
It is possible that human burials will be found during the construction. This is because the soils that comprise AAV 7921-0809, 0810 and 0811 are deep dune deposits, which would have been suitable for human burials. In the event that a suspected human burial is found during construction of the road, the following should occur:

- All work must cease immediately in the areas where the human remains are found. The discovery should be reported immediately to the Project Manager by the person or persons who find the suspected remains.
- The remains should be left in place, and protected from harm or damage. The suspected human remains should be immediately fenced with orange plastic webbing and no other interference to the location should occur.
- The DSE Emergency Co-ordination Centre must be notified of the discovery immediately on 1300 888 544.
- All details of the location and nature of the human remains must be provided to the relevant authorities.

Future planning application requirements within CRWDP Area.

As part of any subsequent application for works on any area of land covered by this Development Plan and where a detailed archaeological survey and heritage assessment has not already been undertaken, it will be a requirement for the applicant to engage a qualified archaeologist to prepare and submit to Council a 'desk-top' archaeological survey and heritage assessment. The 'desk-top' assessment should include an initial review of the potential cultural sensitivity of the land especially any significant individual sites and recommendations for the subsequent actions that must be undertaken in order to satisfy the requirements of Aboriginal Heritage Act 2006 and Aboriginal Heritage Regulations 2007. Any 'desk-top' assessment must involve consultation with the Boon wurrung people (whose descendants are currently represented by the Bunurong Land Council Aboriginal Corporation and Victorian Boonerwung Elders Land Council Aboriginal Corporation) and have regard to the previous investigations undertaken for the remainder of the site by Heritage Insight (2007).

Moreover, if a significant feature, such as an intact and in situ archaeological deposit is located during any future development works, all construction activity must cease in the immediate area where the feature is located. A qualified archaeologist is to be contacted and arrangements made for the archaeologist to visit the site and assess the feature. The archaeologist should provide recommendations to AAV and the relevant Indigenous communities about the best treatment for the feature.



5.7 Geotechnical

The report compiled by Coffey Geosciences Pty Ltd undertook a geotechnical investigation to evaluate the subsurface conditions of the development plan area to determine the stability of the soil.

The report concluded that the development plan area is generally considered to be suitable for a lightweight industrial development. The findings of the report suggest that further investigation would be required for large or heavily loaded structures and if excavations deeper than 2.5 metres are proposed.

It was concluded that the layer of silt (between 0.25 metres and 0.4 metres thick) encountered over most of the development plan area may need to be stripped or stabilised for pavements and industrial floor slab construction and the underlying clays may also require stabilization or a bridging layer.

Pedestrian/cycle accessibility will be provided along all roads within the subdivision in accordance with the City of Greater Dandenong's Schedule 3 to the Development Plan Overlay. Accessibility may also be provided adjacent Eumemmerring Creek, subject to Melbourne Water & City of Greater Dandenong approval and agreement regarding development and maintenance responsibilities.

Eumemmerring Creek / Reserve

Existing native vegetation of Eumemmerring Creek will be further enhanced by weed removal, soil stabilisation and additional planting in the proposed reserve adjoining the creek. Enhancements will be in accordance with the requirements of Melbourne Water, the City of Greater Dandenong and any other relevant authority. Further landscape treatment of the Eumemmerring

Creek & adjoining reserve is pending resolution of the drainage scheme by Melbourne Water. Any landscape treatment in either area is likely to utilise predominantly indigenous vegetation and incorporate opportunities for recreation where appropriate.

Environmentally significant areas will be protected using landscape buffer zones to the satisfaction of relevant authorities. Fencing around significant environmental features may be incorporated as protection where required by the responsible authority.

5.8 Landscape

The landscape assessment and landscape concept undertaken by Ground Controls Landscape Architecture Pty Ltd provides:

Road Reserve Treatment

Street tree selection will be informed by the City of Greater Dandenong's 'Leafy Legacy' Policy, utilising species of appropriate scale in the available nature strip width. Street tree planting may be enhanced in selected locations with a range of species selected from indigenous (locally native), native and exotic shrubs and groundcovers to the approval of relevant authorities. Exotic grass species selection to nature strips and reserve areas will be in accordance with the City of Greater Dandenong's warm-season grass policy.

Future Road Link

The future road link at the northern extent of Remington Drive will be stabilised and provision made for future landscape treatment pending the road connection.

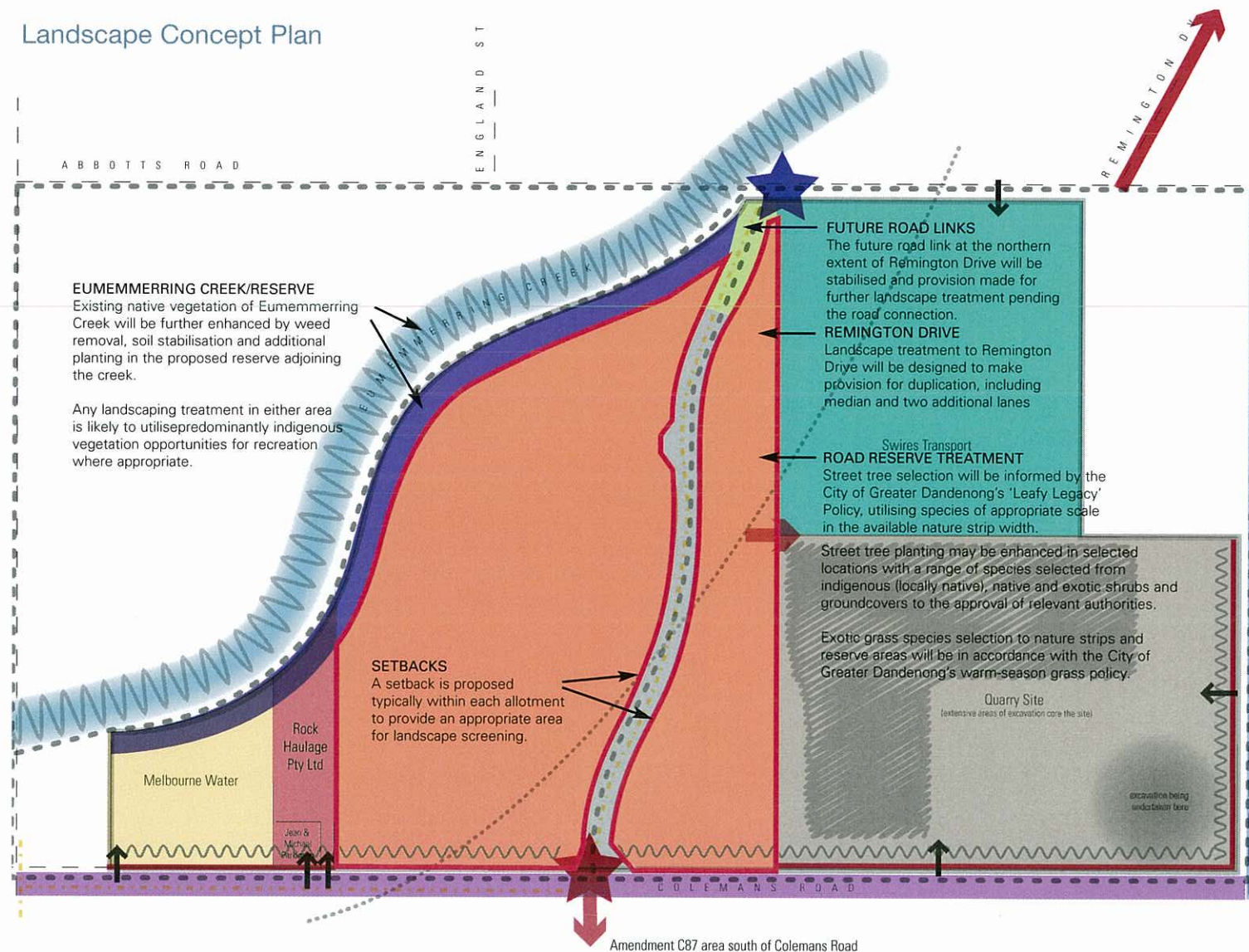
Remington Drive

Landscape treatment to Remington Drive will be designed to make provision for duplication, including median and two additional lanes.

Setbacks

A setback is proposed typically within each allotment to provide an appropriate area for landscape screening. The relevant setbacks have been delineated on Figure 1A of the Development Plan.

Landscape Concept Plan



6. Conclusion

The Colemans Road West Development Plan has been prepared in accordance with the requirements of Schedule 3 to the Development Plan Overlay.

The project vision adopted seeks to fulfil its potential through all aspects of site design, as such the Development Plan adequately satisfies the overarching requirements. Any future development must be generally in accordance with this Development Plan.

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