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DEVELOPMENT PLAN

90 – 120 Colemans Road,
Dandenong South



Pursuant to Clause 43.04 Schedule 6 of the Greater Dandenong Planning Scheme this is a copy of the Development Plan for part of the land defined as DPO6 and particularly with reference to the Lyndhurst Precinct. This Dandenong South Industrial Site Development Plan (No. 7) has been prepared to the satisfaction of the Responsible Authority. Once the Development Plan has been approved by Council, Council retains the sole right to amend the Development Plan.

Signed: Rochellum Date: 05 December 2012

By Manager Planning and Design
City of Greater Dandenong

Prepared by



for



Version 3, August 2012

Document Control

Date Prepared	Version Number	Author	Checked
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20/08/2012	3	J. Jackson	A. Goodall

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Disclaimer

The plans within this report were prepared specifically for the purpose of this Development Plan and should not be removed used for any other intent or purpose. Any features or services shown have been based on supplied data and therefore are subject to ground proofing prior to any design and development of the site. The existence of services has not been determined in the preparation of these plans. Prior to any demolition, excavation or construction on the land herein, the relevant authority should be contacted for detailed location of all underground services. Title boundaries have not been re-established.

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1.0 Introduction

1.1 Requirement for a Development Plan

This development plan (DP) is required pursuant to Clause 43.04, Schedule 6 of the Development Plan Overlay within the Greater Dandenong Planning Scheme. Schedule 6 outlines a range of requirements and matters to be considered within this DP. DPO Schedule 6 has been provided in Appendix 1 of this document.

1.2 Matters to be Considered

Schedule 6 to DPO sets out matters to be considered within this DP, a copy of which has been provided in Appendix D.

It is noted at this point that not all of the requirements of the Schedule are relevant for the subject land and the preparation of this DP. These matters are as follows:

- Landscape concept plan
- Site works plan (fill and excavation)
- Staging Plan
- Heritage Assessment
- Environmental Management Plan
- Integrated Transport Plan
- Stormwater Management Plan.

More detailed design and consideration of these matters should be undertaken on a site specific basis as part of a planning application to use and/or develop land.

Specific documents which this DP is to consider include:

- *Dandenong South Industrial Area Extension Structure Plan*, January 2009
- *Dandenong South Native Vegetation Precinct Plan*, January 2009
- *Innovation Park Development Plan*, June 2010
- *80 Colemans Road Development Plan*, May 2010

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1.3 Objective

The aim of this DP is to facilitate the development and potential subdivision of the subject land ensuring the provision of well-serviced industrial infrastructure, and consideration of landscape and environmental issues.

1.4 Development Plan Area

The DP area comprises five (5) individual, adjacent land titles on the southern side of Colemans Road, Dandenong South. The land titles and plans have been included within Appendix E.

The street address of the subject land is 90 – 120 Colemans Road, Dandenong South, described as follows:

Street No.	LOT No.	LP/PS No.	AREA (ha)
90	2	LP23609	2.4
100	1	LP74063	1.0
104	2	LP74063	0.6
110	1	TP544755	0.4
120	4	LP23609	2.0



Aerial Photograph: 90 – 120 Colemans Road, Dandenong South

2.0 The Site and Development

2.1 The Development Plan

The Development Plan has been prepared to address the considerations of the DPO6 (see Appendix D) and the site specific context and surrounds.

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The development plan has identified the following site considerations for any future development or land use proposals:

- The native vegetation to be protected as identified in the NVPP;
- Existing rural residential dwellings;
- The future bicycle path; and
- The rear interface with Innovation Park Industrial Estate.

All proposed development layout and industrial land use are to accord with the Development Plan to the satisfaction of the Responsible Authority. A copy of the Development Plan is included in Appendix A.

2.2 Site Specific Context and Surrounds

2.2.1 Subject Land

The key features of the subject land are:

- Five (5) landowners;
- Partially developed and used for rural residential and industrial purposes;
- No. 120 is heavily vegetated;
- A slight slope from northwest to southeast; and
- A 320 metre frontage to Colemans Road.

No easements affect the subject land.

A Site Specific Context Plan is included in Appendix B.

2.2.2 Adjoining Land

80 Colemans Road and Innovation Park Industrial Estate remain vacant and cleared in preparation for future industrial subdivision and development, in accordance with the previously approved Development Plans.

Subdivision permits are in place to progress subdivision of Innovation Park Industrial Estate in accordance with the adopted DP. Several lots within East Stage 1 of the DP have already been registered, and construction is underway to develop various lots for industrial use.

The land directly opposite Colemans Road is a current sand mining lease, with remnant quarry landforms and associated plant.

The properties directly to the east at 130-150 Colemans Road are currently used for rural-residential purposes and are covered by the Innovation Park Development Plan.

An existing waterway / drainage channel exists to the southeast of the subject land, which connects to the Eastern Contour Drain to the southwest. This channel is to be redirected further south as part of the future subdivision stages of the Innovation Park Industrial Estate.

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2.2.3 Nearest Sensitive Receptors

Surrounding sensitive uses include the following:

- Willow Lodge aged care accommodation is 900 metres to the west;
- Big 4 Dandenong Tourist Park is 950 metres to the northwest; and
- Lynbrook Residential Estate is 2 kilometres to the east.

Existing rural residences are also located on all properties within the subject land, as well as on land parcels along the south side of Colemans Road to the east of the subject land.

2.2.4 Broader Context

The broader site context is:

- East – SITA Lyndhurst Landfill on the eastern side of Taylors Road;
- South – Innovation Park Industrial Estate, with the Jayco Caravan Factory on the southern side of the Eastern Contour Drain;
- West – Innovation Park Industrial Estate, with Will Lodge Mobile Home Village on the western side of Frankston – Dandenong Road; and
- North – Colemans Road West Industrial Development, former Melbourne Water land, ALDI Distribution Centre and a current sand mining license on the corner of Taylors and Colemans Road.

A Site Surrounds Context has been included in Appendix C.

2.3 Native Vegetation

2.3.1 Protected Native Vegetation

The location and retention of native vegetation shall accord with the *Dandenong South Native Vegetation Precinct Plan – January 2009* (NVPP) as incorporated into the Greater Dandenong Planning Scheme through Amendment C87. Two areas of native vegetation were identified under the Precinct Plan for protection. These areas are appropriately protected within this DP. See Plan 2.1.

2.3.2 Native Vegetation to be Removed

Vegetation to be removed within the subject land is defined in the NVPP and identified within the Site Context Plan and the Development Plan.

The offset requirements for native vegetation to be removed, destroyed or lopped are specified in Appendix 2 to the NVPP.

As stipulated in the NVPP, where offsets are required, an offset management plan should be prepared to the satisfaction of the Secretary to the Department of Sustainability and Environment. Offsets should also be protected through measures such as conservation covenants, Section 173 agreements or gifts to the Crown to the satisfaction of the Responsible Authority.

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2.4 Public Open Space

The Dandenong South Industrial Area Extension Structure Plan, January 2009 stipulates a Public Open Space (POS) contribution of 1.733% for the Lyndhurst Structure Plan area within which the subject land lies.

The Lyndhurst Open Space Network Plan does not identify public open space provision or linkages within the subject land. It does however identify the native vegetation conservation areas.

As such, the necessary contribution payment will be made for each individual land parcel should subdivision be proposed.

2.5 Urban Design Guidelines for Development

The following guidelines ensure consistency with the Greater Dandenong Planning Scheme and *Dandenong South Industrial Area Extension Structure Plan, January 2009* (Extension Structure Plan), as well as the adopted *Innovation Park Development Plan*.

2.5.1 Building Setbacks

Buildings are to be setback as follows:

- 9 metres from Colemans Road; and
- A minimum 3 metre wide landscape strip between the property boundary and any car parking.

2.5.2 Appearance

a) Design

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The design and siting of industrial and warehouse buildings shall include:

- High standards of design and appearance where visible from the street.
- Signage is to be integrated with the design of the building.
- Buildings are of a scale and massing that coordinate well with other buildings in the immediate area.
- Office components of buildings are to be attractive, well-proportioned and located at the front of the building.
- Utilization of common themes in design, materials and colours to avoid buildings appearing disjointed and uncoordinated.
- Where possible, within developments, pedestrian, cycling, car and truck traffic are to be kept separated.
- All design outcomes should take into consideration the Dandenong South Industrial Area Extension Structure Plan (January 2009).

b) Materials

The materials used in the construction of industrial and warehouse buildings are to comply with the following:

- Buildings are to be designed, built and operated in an environmentally sustainable manner particularly in regards to building materials, finishes and operations.

- The use of long lasting materials to minimise maintenance and sure a high quality appearance over the life of the building.
- Highly reflective materials are not to be used except on roofs that are not visible from the street.

c) External Lighting

All premises must provide external lighting to ensure adequate site security, particularly for car parking areas. All lighting should be located, directed and baffled to limit light spill beyond the site boundaries, in particular over adjoining residential areas.

2.5.3 Operational Issues

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a) Car Parking

Car parking provision should comply with the following:

- Sufficient on-site car parking for staff, the disabled and visitors is to be provided for each use and development, in accordance with the Greater Dandenong Planning Scheme.
- On site car parking may be deferred where it can be shown that the current use does not require the total amount of car parking to be provided on site at that time.
- All car parking areas must be suitably landscaped.
- Large areas set aside for car parking should be provided with landscape islands to allow the planting of approved shade trees and low level under planting. Landscape islands should be a minimum of 1.2 metres in width and should be provided for every 10 car spaces.
- Car parking spaces and access aisles are to comply with the Greater Dandenong Planning Scheme.

b) Loading Facilities

Loading and storage areas are to be located to the rear or side of buildings with screening as appropriate, in accordance with the Dandenong South Industrial Area Extension Structure Plan (January 2009).

c) Crossovers

Each lot is to be provided with access via an industrial standard crossover in accordance with Council guidelines.

Crossovers should seek to avoid vehicular conflict and should enhance the streetscape. Where possible, crossovers should be located side by side in order to maximise landscaping within the frontage of each lot.

2.6 Landscaping of the land

Detailed landscape plans should be required by Council at the time subdivision and/or development applications are made for the individual land parcels subject of this DP, and should comply with the following:

- Landscaping should generally consist of Australian natives or other drought tolerant plants.
- Landscaping should be designed as an integral part of any development and assist in creating a unified appearance and in improving the environmental quality of the area.
- Landscaping should be consistent with the character of the industrial area.

- Watering of landscaping should be provided in an environmentally sustainable manner.
- Landscaping should be maintained to a high standard and generally remain consistent with an approved landscaped plan.

2.7 Fill and Excavation

Filling and excavation of the site will be in accordance with Melbourne Water requirements as required and as amended from time to time.

All fill imported to the site is required to satisfy EPA Guidelines, and all civil and construction methods will prevent impacts upon the environment and surrounding properties which are to be outlined in the respective construction and environmental management plans required to form part of the application and conditional requirements for individual use and development of land.

2.8 Further Subdivision

Further subdivision of the land is to be generally in accordance with this DP and to the satisfaction of the Responsible Authority.

2.9 Integration with Adjoining Land

Development and/or subdivision of the land should endeavour to integrate with adjoining industrial development or subdivision.

Existing residences within the DP area are to be considered in the design and layout of any proposed development or subdivision of the land.

2.10 Road Network

The upgrading of Colemans Road will be a requirement of any proposed subdivision of the DP land. Alternatively, the upgrading will be the responsibility of Council.

An upgrade should include provision of footpath and cycling facilities as required under the Structure Plan.

2.11 Services

The extension of services as required will take place in association with the progressive development of the land, and the upgrades to Colemans Road.

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3.0 Heritage Assessment

3.1 Heritage Study

It is considered that the previous heritage and archaeological studies undertaken for the recent subdivisions surrounding the subject land indicates a likelihood of identifying heritage values.

Due to the existing subdivision pattern and ownership, the requirement for a Cultural Heritage Management Plan (CHMP) is to be instigated at the development and subdivision application stage for the individual land parcels subject of this DP. Each existing land parcel will be required to have a CHMP prior to the issue of any planning permit.

4.0 Environmental Management

4.1 Environmental Issues Affecting the Land

4.1.1 Native Vegetation

The properties at no. 90, 100, 110 and 120 Colemans Road each have native vegetation which can be described as Heathy Woodland.

The Native Vegetation Protection Plan (NVPP) prepared as part of the C87 Amendment process assessed the vegetation with the subject land and identified areas for retention and removal. These areas have been illustrated on the Site Specific Context Plan.

4.1.2 NVPP Recommendations

The NVPP sets out the parameters for native vegetation management throughout the C87 area. It clearly identifies the vegetation to be retained, and that to be removed as part of any subdivision or development proposal.

The vegetation identified for removal is supported for destruction or lopping in the context of land development and industrial use but is required to be compensated by offsets as specified in the NVPP.

The NVPP also identifies the potential surplus for vegetation to be retained which can be utilised by property owners. The following table summarises the offset requirements for the subject land.

Title	Habitat Zone loss (ha)	Net Gain Target	Surplus Habitat (ha)	Potential for Net Gain
No. 80	0.0567	0.0567	0.112	YES
No. 90	0.0504	0.0504	0.3761	YES
No. 110/120	0.3526	0.3526	0.0235	YES

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4.2 Vegetation Protection Measures

The areas identified for protection under the NVPP have been set out within this DP and are to be retained and protected as part of any future development or subdivision of the land.

Any vegetation outside of these areas can be removed but will be subject to the provisions of Clause 52.17 Native Vegetation under the Greater Dandenong Planning Scheme.

4.3 Requirement for an Environmental Management Plan

The requirement for an Environmental Management Plan (EMP) should be imposed on any permit issued for the subdivision or development of the individual land parcels within this DP area, where deemed appropriate by the Responsible Authority. Planning applications will require different EMPs adequately responding to specific sites and the planning application's nature, scale and related matters.

However, the first EMP to be prepared and approved for any parcel of land within this DP must address the entirety of the land within this DP, addressing the requirements of DPO6 and particularly the requirements of the *Dandenong South Native Vegetation Precinct Plan, January 2009*.

Each subsequent site specific EMP is required to address the requirements of DPO6 and the appropriate environmental management considerations of the specific parcel of land.

5.0 Integrated Transport

The future upgrade of Colemans Road East is included within the Developer Contributions Plan which applies to the land.

5.1 Provision of Access to the Existing Road Network

Individual crossovers will remain for existing lots, with additional individual crossovers for future proposed development or subdivision allotments, in locations satisfactory to the Responsible Authority, in accordance with the appropriate assessment and permit processes.

5.2 Pedestrian and Bicycle Network and Accommodation

The pedestrian and bicycle facilities along Colemans Road East are to be included within the future design and upgrade of the road infrastructure. They are to integrate with facilities along Colemans Road West and the future upgrade of Taylors Road to the east of the land.

5.3 Integration with the Principal Public Transport Network

Bus route 901 runs along Frankston – Dandenong Road providing a service between Frankston and Melbourne Airport (Tullamarine), via Dandenong city centre. Stops for the bus service are approximately 900 metres from no. 90 Colemans Road.

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No additional services are proposed as part of this DP. The future use of this land for industrial purposes will utilise the public transport network also utilised by the Innovation Park Industrial Estate.

6.0 Stormwater Management Plan

6.1 Water Bodies and Wetlands

There are no water bodies or wetlands within the area subject of this DP.

6.2 Stormwater Management Measures

Any future subdivision or development must seek to reduce water consumption, increase water recycling, minimise waste and protect the environment through utilising current best practice in the area of Water Sensitive Urban Design (WSUD). Due consideration should be given to the Victorian Stormwater Committee publication “Urban Stormwater – Best Practice Environmental Management Guidelines” (1999). The key principles of this publication are as follows:

Protect natural systems

Protect and enhance natural water systems within urban developments. Promoting and protecting natural waterways as assets allows them to function more effectively and supports the ecosystems that rely on them.

Integrate Stormwater treatment into the landscape

Use stormwater in the landscape by incorporating multiple corridors that maximise the visual and recreational amenity of developments. The natural stormwater drainage system can be utilised for its aesthetic qualities within parklands and walking paths, making use of natural topography such as creek lines and ponding areas.

Protect water quality

Improve the quality of water drainage from urban development into receiving environment, through filtration and retention, water drainage from urban developments can be treated to remove pollutants close to their source. This approach reduces the infrastructure required downstream to effectively drain urban developments during rainfall events.

Add value while minimising development costs

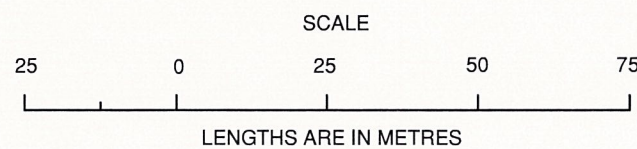
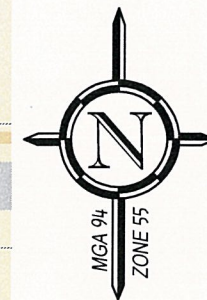
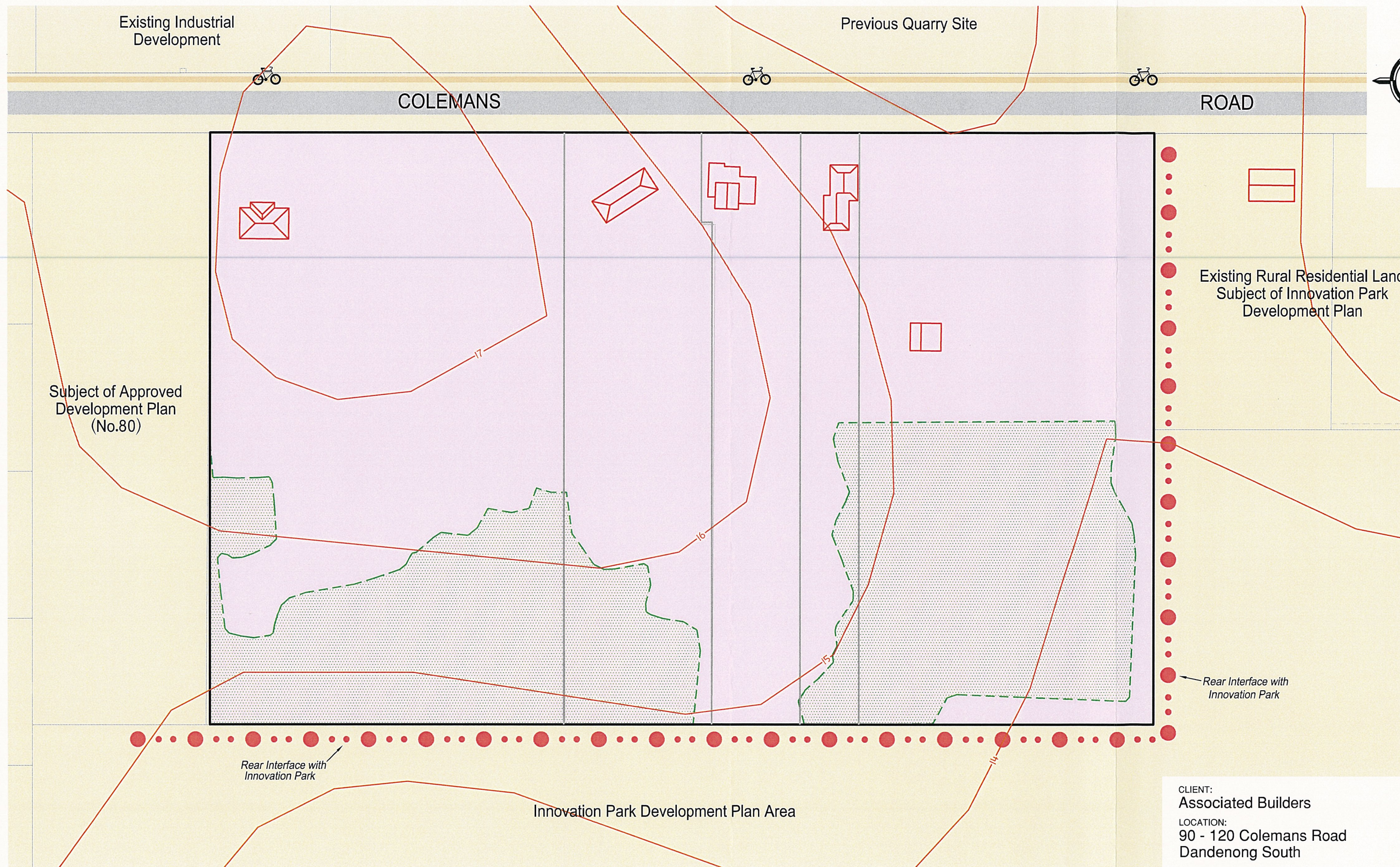
Minimise the drainage infrastructure cost of the development. The reduction of downstream drainage infrastructure due to reduce peak flows and run-off minimises the development costs for drainage, whilst enhancing natural features such as rivers and lakes that add value to the properties of the area.

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Appendix A

Development Plan

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- Legend:**
- Native Vegetation Precinct Plan protection area.
 - Denotes Future Shared Bicycle & Pedestrian Path.
 - Denotes short term consideration of Rural Residential Properties.
 - Denotes interface with Innovation Park.
 - Denotes Coleman's Road East, 12m Pavement & 20m Reserve

CLIENT:
Associated Builders
LOCATION:
**90 - 120 Coleman's Road
Dandenong South**

REFERENCE: 5398.01 DP01
VERSION: 2 25-07-2012
DATE OF SURVEY: -
SHEET 1 OF 1
SCALE: 1:1250

MELWAY: 95 F10
SHEET SIZE: A3

KLM SPATIAL
LAND DEVELOPMENT INTELLIGENCE

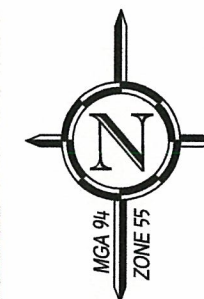
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Dandenong Victoria 3175
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DEVELOPMENT PLAN

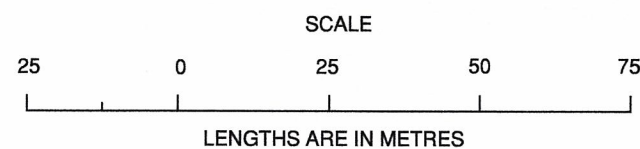
Appendix B

Site Specific Context Plan

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Photomaps courtesy of Nearmap.
Photomap Flown: 18-10-2011



- Legend:
- Denotes existing Dwelling
 - Denotes N.V.P.P. to be protected.
 - Denotes N.V.P.P. to be removed.

- Denotes Underground Power.
- Denotes Telecommunications.
- Denotes Water Pipeline.

CLIENT:
Associated Builders

LOCATION:
**90 - 120 Coleman's Road
Dandenong South**

REFERENCE: 5398.01 SC01
VERSION: 3 14-08-2012
DATE OF SURVEY: -
SHEET 1 OF 1
SCALE: 1:1250

MELWAY: 95 F10
SHEET SIZE: A3

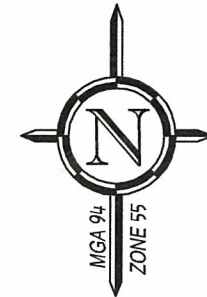


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Appendix C



Site Surrounds Plan

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Legend:

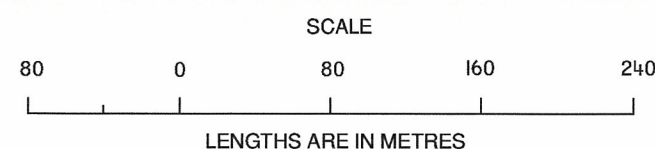
-  - Denotes Bicycle Route
-  - Denotes Development Plan Area

CLIENT:
Associated Builders

LOCATION:
90 - 120 Colemans Road
Dandenong South

REFERENCE: 5398.02 SC02
VERSION: 2 14-08-2012
DATE OF SURVEY: -
SHEET 1 OF 1
SCALE: 1:4000

MELWAY: 95 F10
SHEET SIZE: A3
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Photomaps courtesy of Nearmap.
Photomap Flown: 12-4-2012



SITE SURROUNDS

Appendix D

DPO Schedule 6

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26/03/2009
C87

SCHEDULE 6 TO THE DEVELOPMENT PLAN OVERLAY

Shown on the planning scheme map as **DPO6**

DANDENONG SOUTH INDUSTRIAL AREA EXTENSION - KEYSBOROUGH & LYNTHURST SITES

This Development Plan Overlay applies to land at Keysborough and Lyndhurst which is to be developed for industrial purposes.

1.0

26/03/2009
C87

Requirement before a permit is granted

Before a development plan has been approved, a permit may be granted for:

- Any building or works associated with the use of the land for agriculture.
- Extensions or alterations to an existing building or works constituting an area not greater than 10% of the area of the existing building or works.
- The use of the land and buildings and works affecting the land which are the subject of a planning permit application made to the responsible authority and lodged prior to 26 March 2009.
- The realignment of lot boundaries to enable the efficient and co-ordinated alignment of the road shown as LR5 (Lyndhurst Road 5) in the *Dandenong South Industrial Area Extension Structure Plan, January 2009* (incorporated document).
- The subdivision of the land into superlots generally not less than 30 hectares provided the superlots are clearly described as superlots on the plan of subdivision. The realigned lots or the superlot as the case may be cannot be used or developed for any purpose (other than for the activities described in bullet points 1 – 3 above) unless a development plan for that realigned lot or superlot as the case may be is approved under this Schedule.

2.0

26/03/2009
C87

Conditions and requirements for permits

Any permit granted must:

- Ensure that any public open space shown in a development plan which is consistent with the *Dandenong South Industrial Area Extension Structure Plan, January 2009* or the *Dandenong South Industrial Area Extension Development Contributions Plan, January 2009* (incorporated document), is vested in the relevant authority.
- Require connection to reticulated sewerage, electricity and water supply systems.

3.0

26/03/2009
C87

Requirements for development plan

Except for the land at 90 – 120 Colemans Road for which one development plan may be approved, generally a development plan must cover an area of not less than 30 hectares.

One development plan may also be considered for the land at 80 Colemans Road given the preliminary work undertaken, agreement to protection of native vegetation and limited connections to other parts of the amendment area, to the satisfaction of the responsible authority.

A development plan must be generally in accordance with the structure plan diagrams contained in the *Dandenong South Industrial Area Extension Structure Plan, January 2009* and otherwise have regard to that incorporated document.

The comments of the Department of Sustainability and Environment and Melbourne Water must be taken into account when the responsible authority considers a development plan.

A development plan must include requirements for landscaping or other measures on industrial land to achieve effective screening of industrial development from existing residential and rural residential properties.

A development plan should ensure that industrial uses satisfy threshold distances from existing community uses and either existing or proposed residential uses.

A development plan for the Lyndhurst site must provide for appropriate design solutions and landscaping to achieve a visually attractive interface to the Western Port Highway.

A development plan must include the following plans and reports all prepared to the satisfaction of the responsible authority:

A layout plan

A Layout Plan showing as appropriate:

- Significant features on the land and adjoining land.
- Existing easements.
- Pedestrian network.
- A bicycle network.
- The road network, including access points to the existing road network, consistent with the access principles in the *Dandenong South Industrial Area Extension Structure Plan, January 2009*.
- The public transport network.
- Native vegetation to be retained.
- Areas necessary to ensure the health of the native vegetation to be retained (native vegetation protection zones).
- Areas set aside for drainage in which native vegetation may be established.
- The proposed public open space network in accordance with the *Dandenong South Industrial Area Extension Structure Plan, January 2009* and the *Dandenong South Industrial Area Extension Development Contributions Plan, January 2009*.
- Urban design outcomes having regard to the urban design and landscaping guidelines contained in the *Dandenong South Industrial Area Extension Structure Plan, January 2009*.
- Landscape concept plan, including measures to protect and enhance natural features including existing significant vegetation and remnant trees which are to be retained in accordance with the *Dandenong South Native Vegetation Precinct Plan, January 2009* (incorporated document).
- The potential for site works (fill and excavation).
- How the development within the plan area can integrate with the adjoining industrial land.
- The proposed interface with residential areas and community uses.
- The potential to develop an inland port in the Lyndhurst area.

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Staging plan

A staging plan showing as appropriate:

- Details of proposed staging and timing.
- How access is proposed during all stages of development.

Heritage assessment report

A Heritage and Archaeological Assessment Report which details the findings of a site specific archaeological investigation for each site within the development plan area.

The archaeological investigation must be undertaken by a person or firm with appropriate experience and qualifications in the field. The report should include recommendations for the management of any sites discovered during the undertaking of the investigation and/or during the development process.

The responsible authority may agree to waive this requirement.

Environmental management plan

A framework for an Environmental Management Plan (EMP) showing as appropriate:

- The environmental issues affecting the land.
- Goals and objectives of the EMP.
- Measures to be taken to ensure that appropriate landscaping is carried out in identified areas of environmental significance.
- Erosion and siltation control during construction.
- Designation of areas (if any) where human access to open space areas will not be allowed, including descriptions of the systems to be established and the means of precluding human access.
- An overview of the design details proposed for wetlands and open water bodies, including different edge treatments, vegetation associations, habitat areas, perching areas and underwater habitat.
- A Stormwater Management Plan that ensures appropriate hydrological regimes for retained vegetation based on expert ecological assessment.
- Incorporation of stormwater management measures, including stormwater storage and water quality improvement devices such as wetlands and open water bodies to the satisfaction of Melbourne Water.
- The requirements of the *Dandenong South Native Vegetation Precinct Plan, January 2009* including the protection and enhancement of areas of public open space, native vegetation to be retained and native vegetation protection zones to be established.
- Where offsets are required, the method of protecting those offsets through measures such as conservation covenants, section 173 agreements, or gifts to the Crown (where such gifts are accepted).
- Method of protection of the reserve areas to be vested in Council until such time as the reserve areas are developed.
- Any other matters as required by the responsible authority and the Department of Sustainability and Environment.

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Integrated transport plan

An Integrated Transport Plan generally in accordance with the *Dandenong South Industrial Area Extension Structure Plan, January 2009*. The Integrated Transport Plan should take into account all transport modes and include an indicative public transport, road, bicycle and pedestrian network showing, as appropriate:

- Provision of access to the existing road network.
- Provision of adequate pedestrian and cycle ways and accommodation for potential public transport routes and public transport infrastructure.
- Integration with the Principal Public Transport Network.
- Any other matters as required by the responsible authority, Roads Corporation and the Department of Transport.

Stormwater management plan

A Stormwater Management Plan showing as appropriate:

- Construction and maintenance requirements for water bodies and wetlands.
- Details of stormwater management measures.
- How development will comply with best practice environmental management or urban stormwater.
- Any other matters as required by the responsible authority and Melbourne Water.

The Stormwater Management Plan must also be to the satisfaction of Melbourne Water.

Specific requirements for the Keysborough site

Boundary treatment

A development plan for the Keysborough site must provide boundary treatments in accordance with the *Dandenong South Industrial Area Extension Structure Plan, January 2009* to address the interface with land developed for residential purposes.

Interface requirements

A development plan for the Keysborough site must provide an integrated treatment of any interface with an existing community use to provide a 'buffer' of 30 metres which should incorporate existing boundary landscaped areas and boundary landscaped areas required by permits on the land used for a community purpose. The interface treatment must include landscaping on the industrial land and may include a road.

Intersection treatment

- The primary point of access to the industrial area north of Greens Road must be a signalised cross intersection and should be located generally 400-500 metres west of the Greens Road interchange with EastLink.
- The road pattern and road cross sections must reinforce the signalised cross intersection as the primary access point to the satisfaction of the responsible authority.
- An additional access point to Greens Road may be provided in the form of a left-in left-out intersection to service the industrial area north of Greens Road to the satisfaction of the responsible authority and the Roads Corporation. This intersection must be designed

to meet the access principles in the *Dandenong South Industrial Area Extension Structure Plan, January 2009*.

- The primary point of access must be developed either prior to or simultaneously with the development of any secondary lower volume access point.

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Appendix E

Titles and Plans

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REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958

VOLUME 07834 FOLIO 121

Security no : 124040905651P

Produced 22/02/2012 10:11 am

LAND DESCRIPTION

Lot 2 on Plan of Subdivision 023609.

PARENT TITLE Volume 06963 Folio 480

Created by instrument 2461407 12/12/1951

REGISTERED PROPRIETOR

Estate Fee Simple

Sole Proprietor

LILIANA CERNOTTA of 90 COLEMANS ROAD LYNDHURST VIC 3975

AD421904H 07/02/2005

ENCUMBRANCES, CAVEATS AND NOTICES

COVENANT 2461407 12/12/1951

CAVEAT AG809773J 13/10/2009

Caveator

WANGRA PTY LTD

Capacity PURCHASER/FEE SIMPLE

Lodged by

ROBYN CALDER - SOLICITOR

Notices to

ROBYN CALDER SOLICITOR of ROOM 18 FLOOR 1 249 LONSDALE STREET DANDENONG VIC 3175

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan or imaged folio set out under DIAGRAM LOCATION below.

DIAGRAM LOCATION

SEE LP023609 FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 90 COLEMANS ROAD DANDENONG SOUTH VIC 3175

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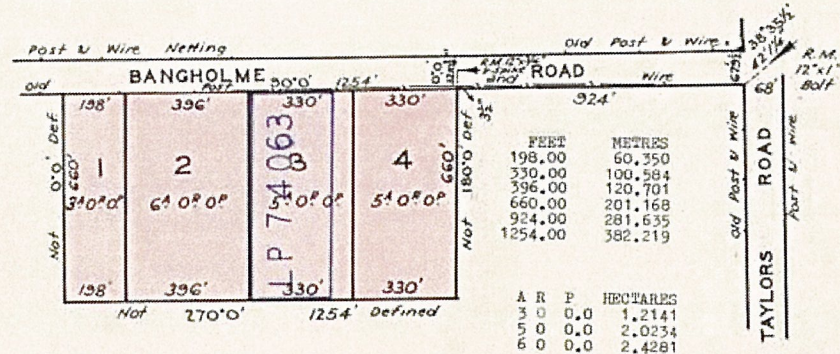
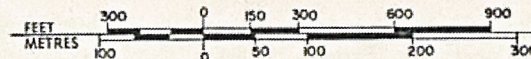
23609



SCLP023609-1-3

LP 23609
EDITION 1

PLAN OF SUBDIVISION
OF PART OF CROWN ALLOTMENT 65
PARISH OF EUMEMMERRING
COUNTY OF MORNINGTON



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FOR APPROPRIATIONS, ETC.
SEE BACK HEREOF

23609

23609
SUBDIVISIONAL
CERTIFICATE OF TITLE V 6963 F. 480

FOR TITLE REFERENCES TO LOTS
SEE PARCELS INDEX

LODGED BY ROY & PITT

DEALING No. 5065930 DATE 1/6/1951

DECLARED BY R. D. STEELE

ON 2/7/1952

COUNCIL SHIRE OF CRANBOURNE

DATE OF CONSENT / /

PLAN MAY BE LODGED 4/7/1952

PLAN APPROVED. DATE / / TIME a.m.
p.m.

LAND HEREON IS WITHIN
THE DISTRICT OF DANDENONG
VALLEY AUTHORITY
SEE MISC. PLAN No. 598

THIS IS THE BACK OF LP 23609

PHOTOGRAPHED AT CENTRAL PLAN OFFICE

SIZE 1/2 PLATE DATE 29.6.1955

COLOURED HB CHECKED HB

POSTED HB CHECKED HB

Certificate type: titles Matter: 5398.01.P

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REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958

VOLUME 08635 FOLIO 595

Security no : 124040905627Q

Produced 22/02/2012 10:10 am

LAND DESCRIPTION

Lot 1 on Plan of Subdivision 074063.

PARENT TITLE Volume 07834 Folio 120

Created by instrument LP074063 19/09/1966

REGISTERED PROPRIETOR

Estate Fee Simple

Sole Proprietor

MICHEAL YOUNG of 10-16 FOREST STREET BENDIGO VIC 3550

AJ036294D 28/06/2011

ENCUMBRANCES, CAVEATS AND NOTICES

COVENANT 2455818

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24 Subdivision Act 1988 and any other encumbrances shown or entered on the
plan or imaged folio set out under DIAGRAM LOCATION below.

DIAGRAM LOCATION

SEE LP074063 FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 100 COLEMANS ROAD DANDENONG SOUTH VIC 3175

DOCUMENT END

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PLAN OF SUBDIVISION

LP74063

EDITION 1

APPROVED 25/8/1966

PART OF CROWN ALLOTMENT 65

PARISH OF EUMEMMERRING

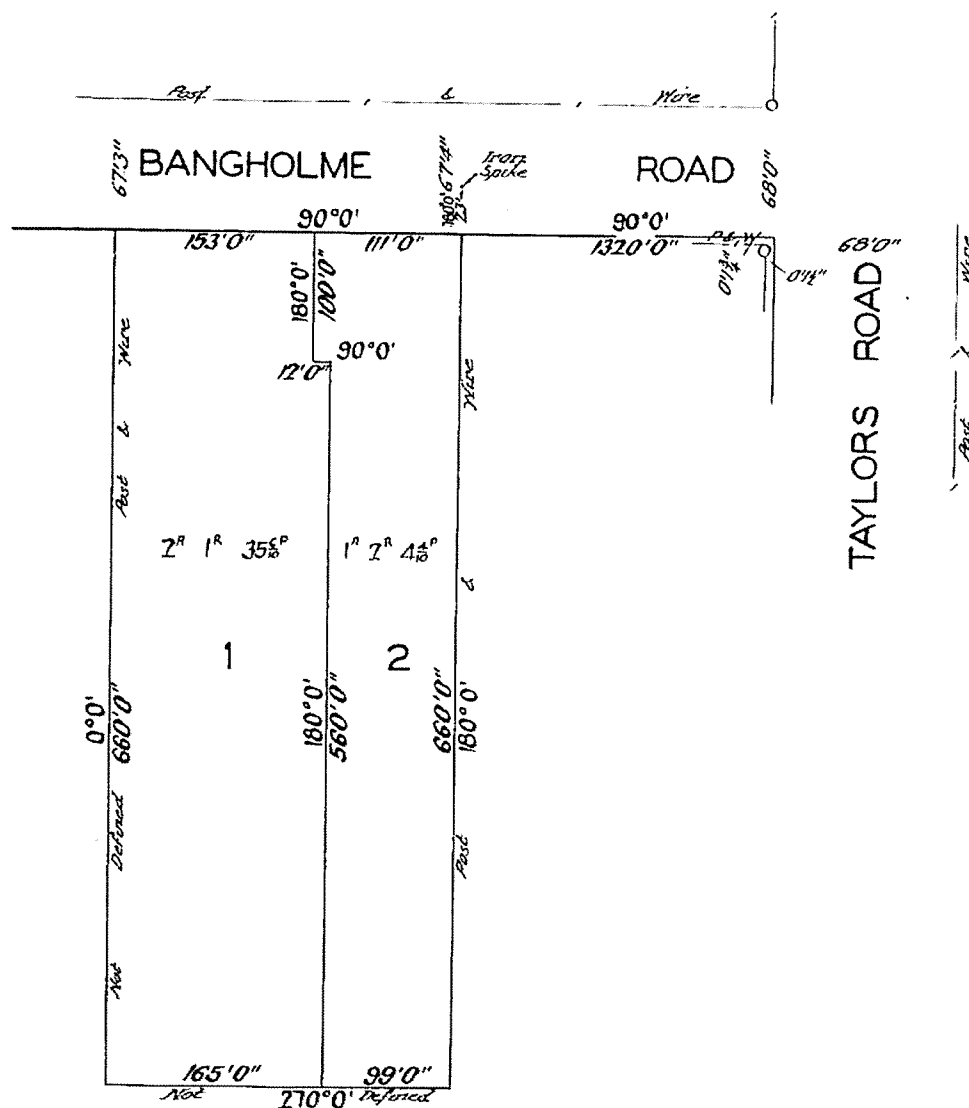
COUNTY OF MORNINGTON

SCALE OF FEET



V.7834 F.120

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REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958

VOLUME 08635 FOLIO 596

Security no : 124042661192S

Produced 01/08/2012 09:34 am

LAND DESCRIPTION

Lot 2 on Plan of Subdivision 074063.
PARENT TITLE Volume 07834 Folio 120
Created by instrument LP074063 19/09/1966

REGISTERED PROPRIETOR

Estate Fee Simple
Sole Proprietor
AB PROPERTIES PTY LTD of 20 CAMBRIA ROAD KEYSBOROUGH VIC 3173
AF588642K 15/01/2008

ENCUMBRANCES, CAVEATS AND NOTICES

MORTGAGE AF588643H 15/01/2008
WESTPAC BANKING CORPORATION

COVENANT 2455818

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section
24 Subdivision Act 1988 and any other encumbrances shown or entered on the
plan or imaged folio set out under DIAGRAM LOCATION below.

DIAGRAM LOCATION

SEE LP074063 FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 104 COLEMANS ROAD DANDENONG SOUTH VIC 3175

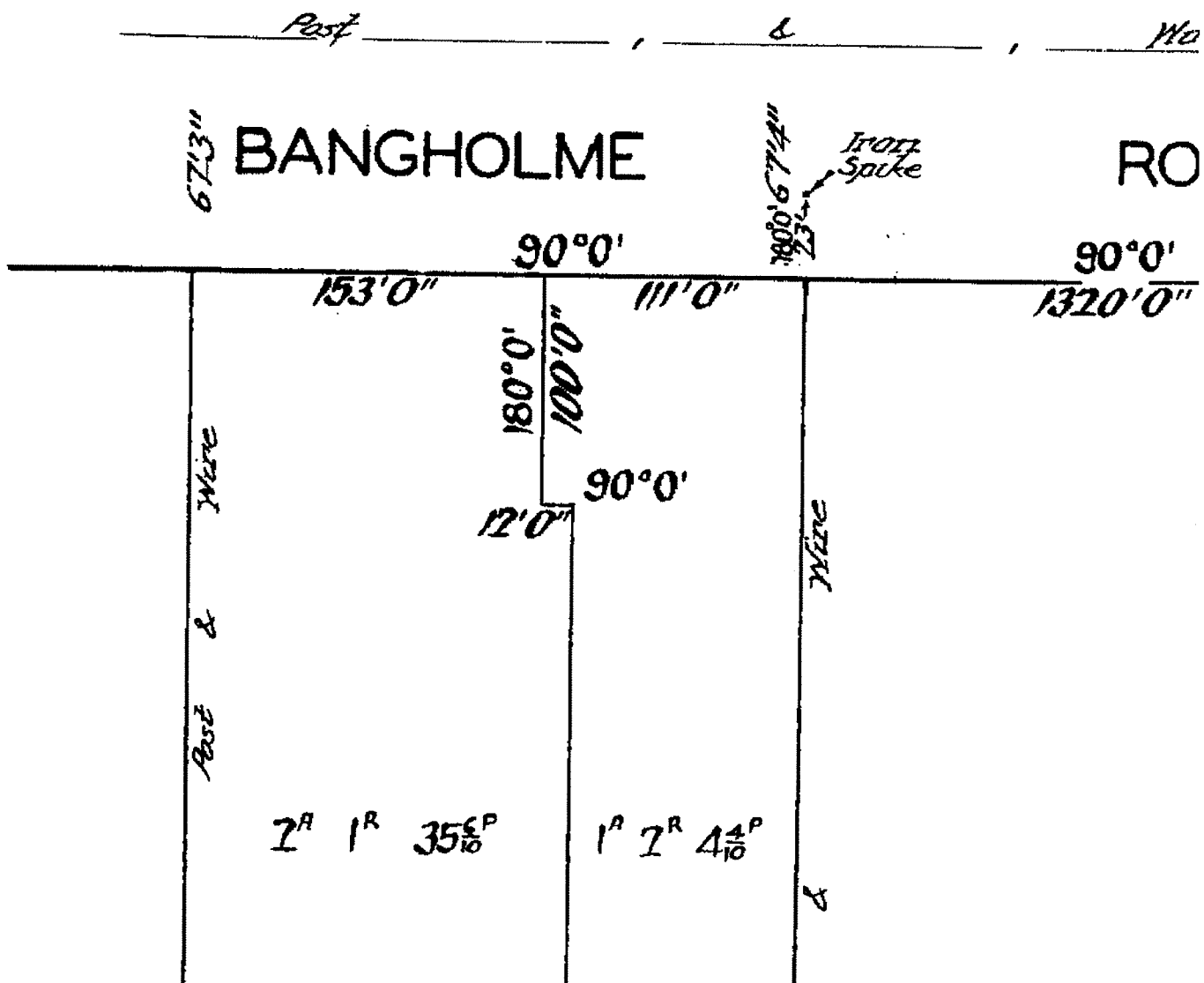
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REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958

VOLUME 07997 FOLIO 099

Security no : 124042661248G

Produced 01/08/2012 09:35 am

LAND DESCRIPTION

Lot 1 on Title Plan 544755V (formerly known as part of Lot 3 on Plan of
Subdivision 023609).

PARENT TITLE Volume 07834 Folio 120

Created by instrument 2517782 11/09/1952

REGISTERED PROPRIETOR

Estate Fee Simple

Joint Proprietors

IAN STANLEY JENSZ of 15 WILLIAM AVENUE DANDENONG

JENNY ADRIANNE JENSZ of BOUNDARY ROAD MORDIALLOC

C233169 04/06/1965

ENCUMBRANCES, CAVEATS AND NOTICES

COVENANT 2455818

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24 Subdivision Act 1988 and any other encumbrances shown or entered on the
plan set out under DIAGRAM LOCATION below.

DIAGRAM LOCATION

SEE TP544755V FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NIL

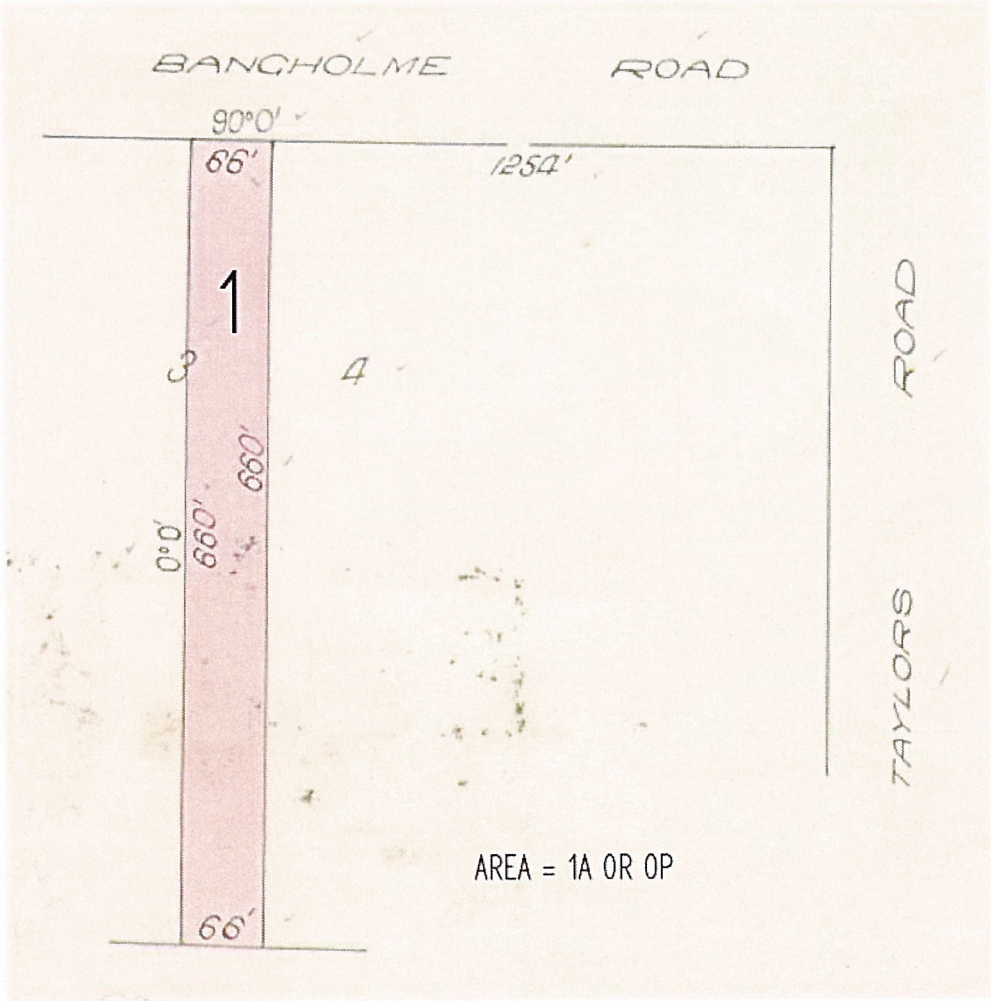
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TITLE PLAN		EDITION 1	TP 544755V						
<p>Location of Land</p> <p>Parish: EUMEMMERRING</p> <p>Township:</p> <p>Section:</p> <p>Crown Allotment: 65 (PT)</p> <p>Crown Portion:</p> <p>Last Plan Reference: LP 23609</p> <p>Derived From: VOL 7997 FOL 099</p> <p>Depth Limitation: NIL</p>		<p>Notations</p> <p>ANY REFERENCE TO MAP IN THE TEXT MEANS THE DIAGRAM SHOWN ON THIS TITLE PLAN</p>							
Description of Land / Easement Information		THIS PLAN HAS BEEN PREPARED FOR THE LAND REGISTRY, LAND VICTORIA, FOR TITLE DIAGRAM PURPOSES AS PART OF THE LAND TITLES AUTOMATION PROJECT COMPILED: 27/08/2000 VERIFIED: C.L.							
<div>This document has been made available for the purposes as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose.</div>  <p>AREA = 1A OR OP</p>									
<table><tr><th colspan="2">TABLE OF PARCEL IDENTIFIERS</th></tr><tr><td colspan="2">WARNING: Where multiple parcels are referred to or shown on this Title Plan this does not imply separately disposable parcels under Section 8A of the Sale of Land Act 1962</td></tr><tr><td colspan="2">PARCEL 1 = LOT 3 (PT) ON LP 23609</td></tr></table>				TABLE OF PARCEL IDENTIFIERS		WARNING: Where multiple parcels are referred to or shown on this Title Plan this does not imply separately disposable parcels under Section 8A of the Sale of Land Act 1962		PARCEL 1 = LOT 3 (PT) ON LP 23609	
TABLE OF PARCEL IDENTIFIERS									
WARNING: Where multiple parcels are referred to or shown on this Title Plan this does not imply separately disposable parcels under Section 8A of the Sale of Land Act 1962									
PARCEL 1 = LOT 3 (PT) ON LP 23609									
LENGTHS ARE IN FEET & INCHES		Metres = 0.3048 x Feet Metres = 0.201168 x Links	Sheet 1 of 1 sheets						

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REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958

VOLUME 07742 FOLIO 165

Security no : 124042661310P

Produced 01/08/2012 09:38 am

LAND DESCRIPTION

Lot 4 on Plan of Subdivision 023609.
PARENT TITLE Volume 06963 Folio 480
Created by instrument 2396356 19/07/1951

REGISTERED PROPRIETOR

Estate Fee Simple
Sole Proprietor
EVAN JOHNS of BURLEIGH
2396356 19/07/1951

ENCUMBRANCES, CAVEATS AND NOTICES

COVENANT 2396356 19/07/1951

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DIAGRAM LOCATION

SEE LP023609 FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NIL

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Additional information: (not part of the Register Search Statement)

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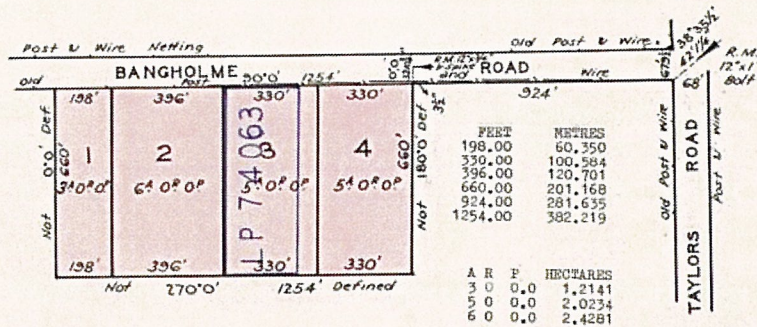
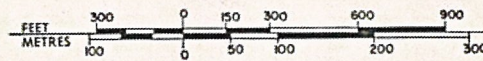
23609



SCLP023609-1-3

LP 23609
EDITION 1

PLAN OF SUBDIVISION
OF PART OF CROWN ALLOTMENT 65
PARISH OF EUMEMMERRING
COUNTY OF MORNINGTON



FOR APPROPRIATIONS, ETC.
SEE BACK HEREOF

23609

23609

SUBDIVISIONAL
CERTIFICATE OF TITLE V. 6963 F. 480

FOR TITLE REFERENCES TO LOTS
SEE PARCELS INDEX

LODGED BY ROY & PITT
DEALING No. 5065930 DATE 1/6/1951
DECLARED BY R.D. STEELE
ON 2/7/1952
COUNCIL SHIRE OF CRANBOURNE

DATE OF CONSENT / /
PLAN MAY BE LODGED 4/7/1952
PLAN APPROVED. DATE / / TIME a.m.
p.m.

LAND HEREON IS WITHIN
THE DISTRICT OF DANDENONG
VALLEY AUTHORITY
SEE MISC. PLAN No. 598

THIS IS THE BACK OF LP 23609

PHOTOGRAPHED AT CENTRAL PLAN OFFICE

SIZE 1/2 PLATE DATE 28.6.1955
COLOURED HB CHECKED [Signature]
POSTED HB CHECKED [Signature]

3011/77-PL

23609