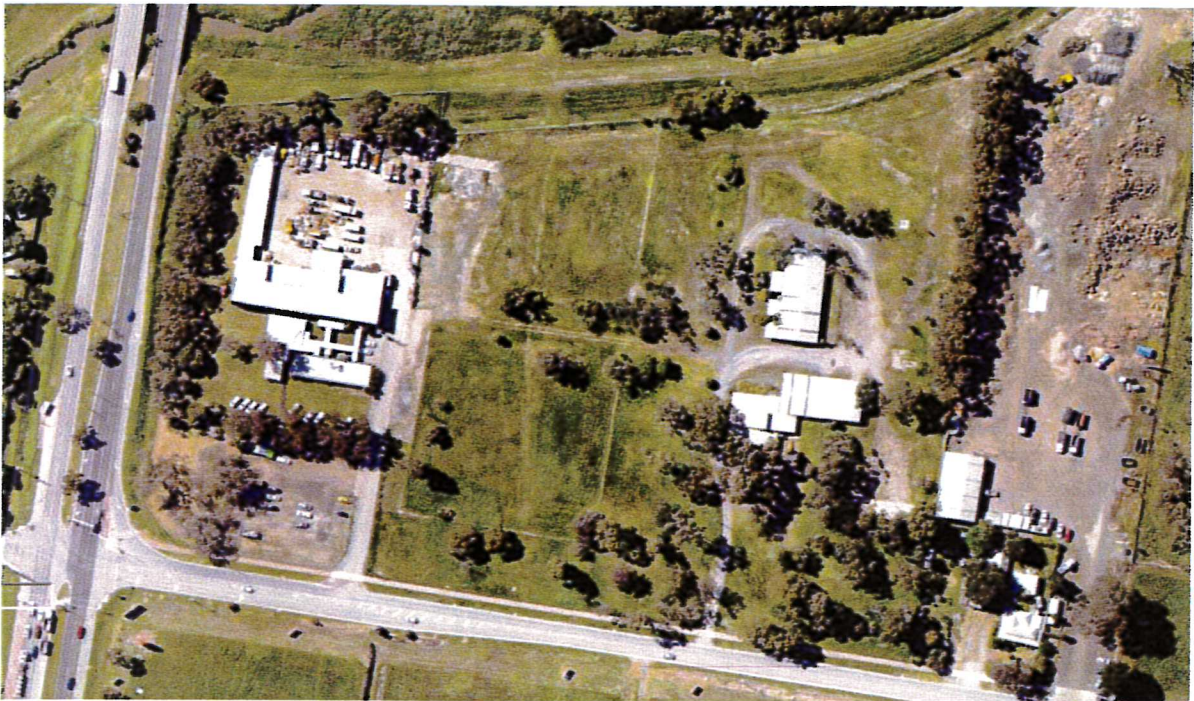


## Colemans Road Entrance DEVELOPMENT PLAN Dandenong South Industrial Area Extension



Pursuant to Clause 43.04 Schedule 6 of the Greater Dandenong Planning Scheme this is a copy of the Development Plan for part of the land defined as DPO6 and particularly with reference to the Lyndhurst Precinct. This Dandenong South Industrial Site Development Plan (No. 10) has been prepared to the satisfaction of the Responsible Authority. Once the Development Plan has been approved by Council, Council retains the sole right to amend the Development Plan.

Signed *Rebecca* 13 June 2014  
by Manager Planning and Design  
City of Greater Dandenong

Prepared by



For



May 2014, Version 2

This document has been made available for the purposes  
as set out in the Planning and Environment Act 1987.  
The information must not be used for any other purpose.

Please Note that development proposed within the area covered by this Development Plan will be subject to suitable road network access arrangements to the arterial road network being constructed to the satisfaction of Council, in line with the Lyndhurst Structure Plan, January 2009 and that the construction of the arterial road network is subject to the availability of funds from the DCPO3 – Dandenong South Industrial Area Development Contributions Plan – Lyndhurst.

This document has been made available for the purposes  
as set out in the Planning and Environment Act 1987.  
The information must not be used for any other purpose.



## Colemans Road Entrance DEVELOPMENT PLAN Dandenong South Industrial Area Extension



Prepared by


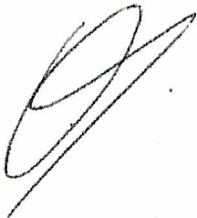



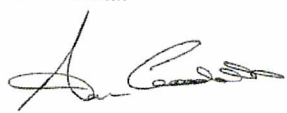


For



May 2014, Version 2

## Document Control

Date Prepared	Version Number	Author	Checked	Approved
21.11.2013	1	J. Jackson 	G. Cabala 	A. Goodall 
06.05.2014	2	J. Jackson 	A. Goodall 	A. Goodall 



**Disclaimer:**

The plans within this report were prepared specifically for the purpose of this Development Plan and should not be removed or used for any other intent or purpose. Any features or services shown have been based on supplied data and therefore are subject to ground proofing prior to any design and development of the site. The existence of services has not been determined in the preparation of these plans. Prior to any demolition, excavation or construction on the land herein, the relevant authority should be contacted for a detailed location of all underground services. Title boundaries have not been re-established.

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## 1.0 Introduction

### 1.1 Requirement for a Development Plan

This Development Plan is required pursuant to Clause 43.04, Schedule 6 of the Development Plan Overlay (DPO6) of the Greater Dandenong Planning Scheme. Schedule 6 outlines a range of requirements and matters to be considered within this Development Plan. DPO Schedule 6 has been provided in Appendix D of this document.

### 1.2 Matters to be Considered

Schedule 6 to the DPO sets out matters to be considered within this Development Plan, a copy of which has been provided in Appendix D.

It is noted at this point that not all of the requirements of the Schedule are relevant to the preparation of this particular Development Plan. These matters are as follows:

- Landscape concept plan
- Site works plan
- Fill Plan
- Staging plan

These particular matters are not considered appropriate for implementation in this Development Plan, as this document relates to the development of more than one property, each of which are in separate ownership, and these considerations will form part of specific use/development application assessment/s, triggered under the relevant Industrial 1 Zone (IN1Z) provisions.

More detailed design and consideration of these matters should also be undertaken on a site specific basis as part of a planning application/s to use and/or develop land.

Specific documents and legislation which this Development Plan is to consider include:

- *Dandenong South Industrial Area Extension Structure Plan*, January 2009
- *Dandenong South Native Vegetation Precinct Plan*, January 2009
- The Greater Dandenong Planning Scheme

## 2.0 Site & Context Analysis

### 2.1 The Development Plan Area

The Development Plan area includes:

Site	Land Description	Title	Area (ha)
375A Frankston-Dandenong Road	Crown Lot 2012 on Title Plan 835702W	CT 11031/058	1.529
9 Colemans Road	Lot 1 on Lodged Plan 38365	CT 08166/753	4.0



These two land parcels lie within the C87 Amendment area, but are not included within the Innovation Park Development Plan which relates to C87 land south of Colemans Road.

It is the requirement of the City of Greater Dandenong that these two land parcels be included in a single Development Plan.

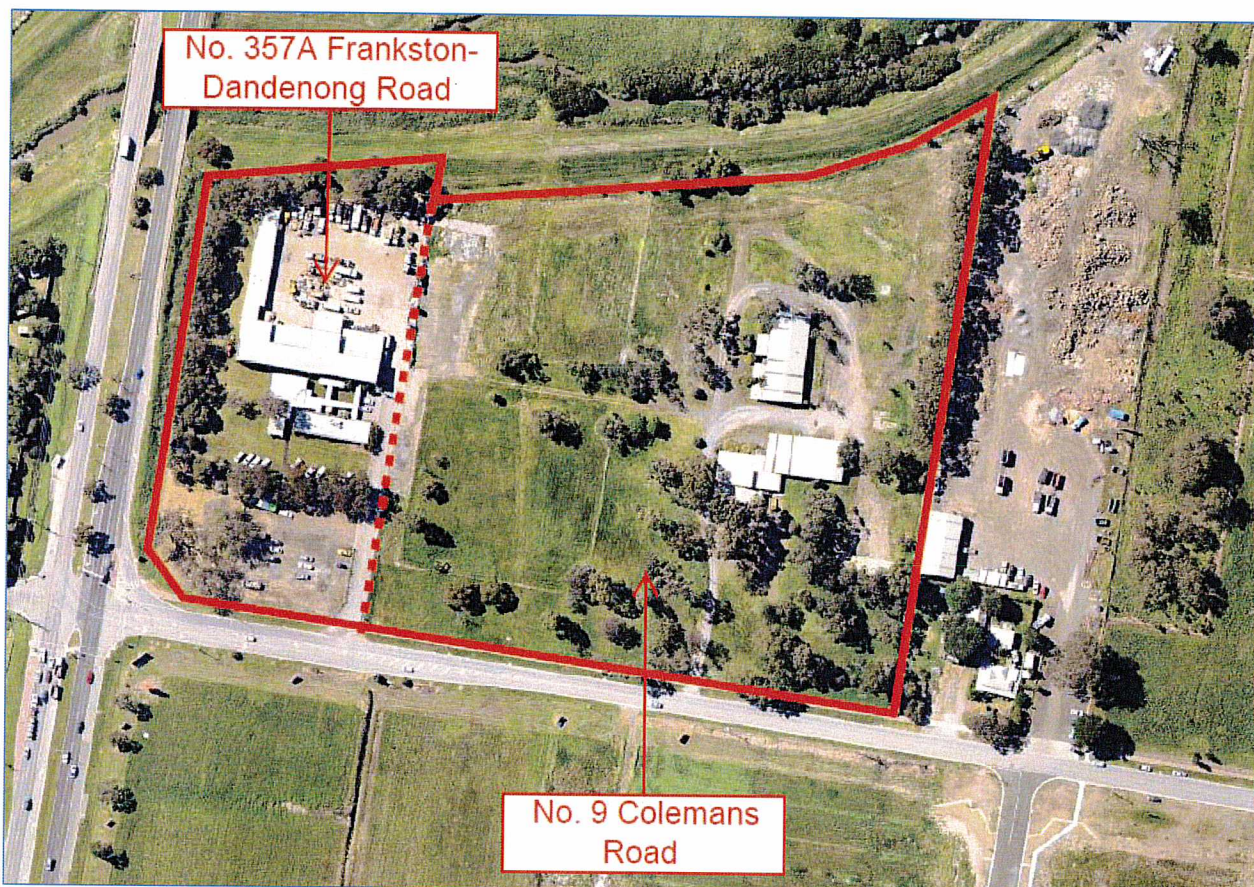


Figure 1. Development Plan Area Site Identification

The property at no. 357A Frankston-Dandenong Road is to be referred to as 'Lot 2012' and no. 9 Colemans Road is to be referred to as 'Lot 1' herein.

## 2.2 Regional Context

Dandenong South is identified as an existing National Employment Cluster under Plan Melbourne, while Dandenong is identified as an existing Metropolitan Activity Centre.

Dandenong South has prime access to major road and rail linkages which delivers transportation efficiencies and promotes the area as an important regional hub. An inland port has recently been established within the Dandenong South industrial area encompassing port services for containers from/to the Port of Melbourne which arrive and depart by train, as well as customs and AQIS clearance facilities and port related warehousing.

The continued consolidation and development of the Dandenong South industrial area is integral to the regional and local economies.



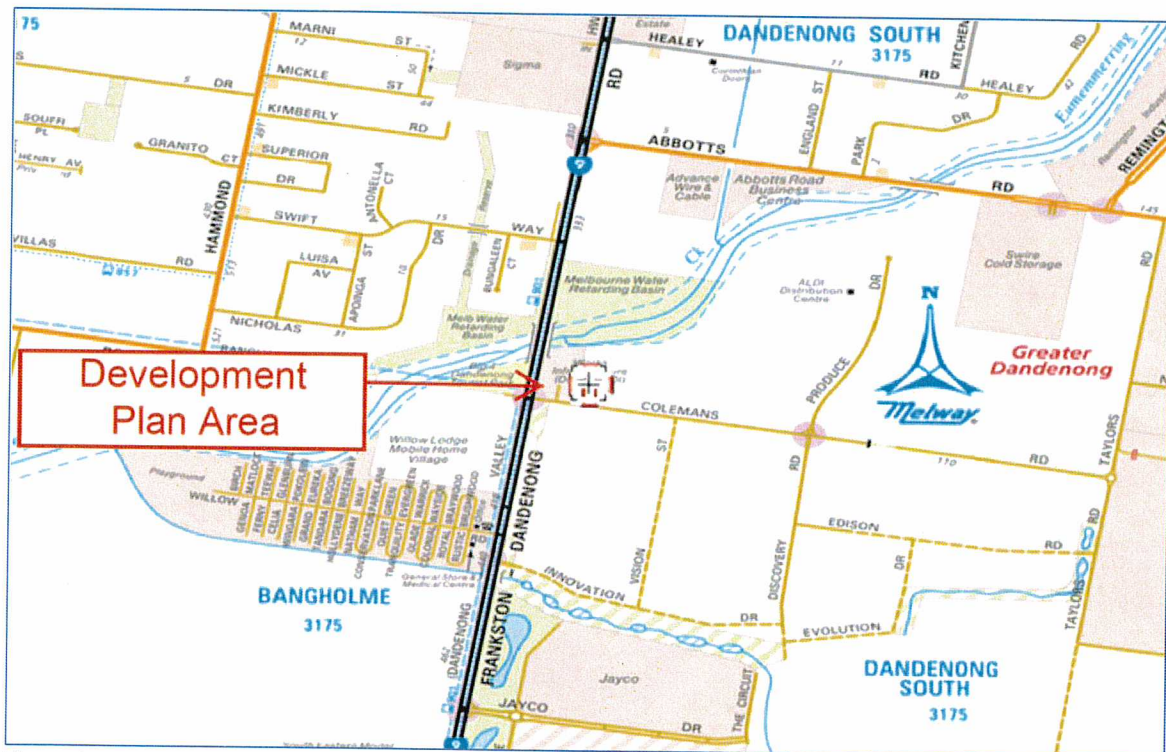


Figure 2. Melways Excerpt Site Location

## 2.3 Site Context

### 2.3.1 Site Context Plan

A Site Context Plan is included as Appendix C to this report which seeks to illustrate the site surrounds and provide a broader setting to which this Development Plan focusses. The below subsections provide a description of the features and characteristics shown on the Site Context Plan.

### 2.3.2 North

The northern boundary of the development plan area abuts Eumemmerring Creek which is a Melbourne Water drainage asset, servicing a regional catchment area.

Beyond the creek is the well-established Dandenong South industrial area which is zoned Industrial 1 and accommodates uses including manufacturing, integrated engineering and materials recycling.

### 2.3.3 South

The southern boundary of the development plan area is to Colemans Road which functions as a local road and is aligned in an east-west direction. It is a two way road configured with a two-lane, 8 metre carriageway with kerb and channel, set within a 30m wide road reserve. Colemans Road is identified under the C87 Structure Plan as a future Arterial Road to be upgraded to a four lane carriageway in due course. Given the width of the existing road within the road reserve, no additional acquisition is required to enable the upgrading of Colemans Road.

Opposite Colemans Road is a stage of the Innovation Park industrial estate developed by Pellicano Group which remains vacant, but is expected to be developed within the coming years.

#### 2.3.4 East

The eastern boundary of the Development Plan area is an industrial land use as well as a single residential dwelling allotment. Further to the east is the ALDI Stores Distribution Centre.

These landholdings lie within the DP03 Colemans Road West Development Plan approved in December 2007 and are zoned Industrial 1.

#### 2.3.5 West

The western boundary of the Development Plan area is to Frankston-Dandenong Road which functions as a primary arterial road, aligned in a north-south direction and zoned Road Zone (Category 1) in the Greater Dandenong Planning Scheme. Frankston-Dandenong Road is a two-way road configured within a four lane divided carriageway (two lanes in each direction). It has a 28 metre wide carriageway (separated by a median), set within a 40 metre wide road reserve (approximately).

A signalised intersection is located immediately southwest of the Development Plan area, managing traffic at the intersection of Frankston-Dandenong Road and Colemans Road.

#### 2.3.6 Proximity to Sensitive Land Uses

The Development Plan area is located in proximity to three currently existing sensitive land uses. These land uses and their respective distances to the Development Plan area are identified as follows:

Site	Land Use	Distance
15 Colemans Road, Dandenong South	Residential Dwelling	Approximately 32 metres east from the subject site
370 Frankston-Dandenong Road, Dandenong South	Big 4 Caravan Park	52m (west)
418-440 Frankston-Dandenong Road, Bangholme	Willow Lodge Lifestyle Village	375m (southwest)

### 2.4 Site Analysis

#### 2.4.1 Site Analysis Plan

A Site Analysis Plan has been prepared for the Development Plan land, identifying considerations specific to the area which have informed the preparation and requirements of the Development Plan itself.

A copy of this Plan has been provided in Appendix B to this report.

Key considerations are further discussed in the following sections.



## 2.4.2 Site Access

The Development Plan area has abutments to two public roads. The primary frontage is to Colemans Road to the south, and the secondary frontage (or sideage) is to Frankston-Dandenong Road to the west.

Direct access to Frankston-Dandenong Road is not currently available and would not be supported by VicRoads in the future.

Each of the properties within the Development Plan area is provided with existing access via crossovers to Colemans Road.

Lot 2012 is accessed by an existing crossover at the property's eastern most frontage to Colemans Road. This crossover is located approximately 80 metres to the east of the signalised intersection at the Frankston-Dandenong Road & Colemans Road junction.

Lot 1 is accessed by an existing crossover approximately 215 metres to the east of the signalised intersection, and approximately 125 metres east of the boundary to Lot 2012.

The Development Plan has been prepared in light of the future upgrade to Colemans Road as an arterial. Ongoing access will retain the existing crossover locations until such time that Colemans Road is upgraded to an arterial status or redevelopment of the individual properties occur.

In accordance with the principles of the *Dandenong South Industrial Area Extension Structure Plan*, access to Lots 1 and 2012 should be a minimum distance of 100 metres to the signalised intersection of Frankston-Dandenong Road and Colemans Road. To satisfy this principle, access to Lot 2012 must be restricted to a location more than 100 metres from the signalised intersection, and therefore within Lot 1.

The principle of consolidating access to future arterial roads also causes the need to require a single crossover to Colemans Road for the future development of both Lots 2012 and Lot 1. The construction of a deceleration lane in accordance with Austroads standards to access this single crossover is a necessary consideration for the future upgrade of Colemans Road to arterial status and the future redevelopment of Lot 2012.

## 2.4.3 Native Vegetation

The Development Plan land parcels each contain remnant native vegetation scattered across the sites which can be described as open Eucalypt woodland containing various eucalypt species likely to include Manna Gum (*E. viminalis*), Swamp Gum (*E. ovata*), Yellow Box (*E. melliodora*) and River Red Gum (*E. camaldulensis*).

The Native Vegetation Protection Plan (NVPP) prepared as part of the C87 Amendment process assessed the vegetation within the subject land and identifies only three (3) scattered river red gum trees for retention which are located in the southwest corner of the Development Plan land, being on Lot 2012.

These are identified as Trees 32, 33 and 34 in Map 1 (Lyndhurst precinct native vegetation precinct plan diagram) and Table 1 (Scattered trees to be retained and removed) relating to the Lyndhurst Precinct, and described as 'very, very large' with DBH measurements of 140cm, 120cm and 210cm, respectively. These trees have been illustrated on the Site Analysis Plan.

Management measures to ensure the ongoing health and conservation of these trees should form a key component to any Environmental Management Plan as discussed in further detail in section 5.1.5 of this Development Plan.

The remaining vegetation is not specified for removal or retention and will be the subject of individual assessment through the preparation of detailed arboricultural assessments during the planning process for development and/or subdivision applications.

#### 2.4.4 Aboriginal Heritage

An archaeological assessment of the Development Plan area was undertaken by Biosis Research in November 2004 as commissioned by Sinclair Knight Merz. The assessment identified two Aboriginal archaeological sites.

A stone artefact scatter site consisting of one silcrete waste flake recorded as AAV7921/\*\*\*\* was identified along the northern boundary of Lot 2012. As stated within the report:

*"The location of the find indicated that it was out of its original context as was located within soil that had been moved there as part of the channelizing of Eumemmerring Creek."*

A scar tree, which had previously been recorded, was relocated as a result of the Biosis assessment. This tree is located in the southwest corner of Lot 2012 in proximity to the signalised intersection. The tree is a mature river red gum which has two scars of cultural origin and is recorded as AAV7921/0237. The two other mature river red gums in proximity to the scar tree are not of cultural significance.

No archaeological sites were identified on Lot 1.

A copy of the pertinent extracts from the archaeological assessment has been provided in Appendix E. These include the sections titled 'Summary', 'Management Issues and Recommendations' and 'Advice about the Discovery of Human Remains'.

No non-Aboriginal archaeological sites were identified within the study area.

#### 2.4.5 Sensitive Interfaces

The Development Plan area has abutments to two features which are considered to be of a sensitive nature. These are the Eumemmerring Creek which runs along the northern extent of the Development Plan area, and an existing residential dwelling which is located approximately 32 metres east from Lot 1 at its south eastern most corner, fronting Colemans Road.

An existing earth bund extends along the entire northern abutment of Lot 1 which provides a buffer to Eumemmerring Creek.

#### 2.4.6 Easements

Several easements affect the Development Plan area, which are generally illustrated on the Site Analysis Plan.

An easement for sewerage purposes extends from the western portion of Lot 1 in a westerly direction through the centre of Lot 2012 connecting to the Frankston-Dandenong Road reservation. This easement is three (3) metres in width along its entire length and to the benefit of South East Water. It is defined on Lodged Plan 38365 for Lot 1 and Title Plan 835702 for Lot 2012.

There are two further 'unregistered rights' which affect Lot 1. These relate to drainage and sewerage assets under the control of Melbourne Water Corporation. They have been generally identified on the Site Analysis Plan and should be the subject of future easement creation.



#### 2.4.7 Levels

The Development Plan area can generally be described as flat and low lying. Site contours have been illustrated on the Site Analysis Plan and identify levels of 9.0 and 10.0m AHD. The land falls slightly from the 9.0m contour to the western boundary of the Development Plan area, in proximity to the 'built up' Frankston-Dandenong Road.

### 3.0 Development Plan

#### 3.1 The Colemans Road Entrance Area

##### 3.1.1 Overarching Objective

The overarching aim of this Development Plan is to facilitate future development of the subject land ensuring the provision of well-serviced industrial infrastructure and built form responsive to the subject land's landscape and environmental characteristics.

##### 3.1.2 Key Considerations

The preparation of the Development Plan provides a response and framework in consideration of the site context and analysis outlined in section 2 of this report, as well as key planning policy and planning scheme requirements including, but not limited to, the following:

- *Dandenong South Industrial Area Extension Structure Plan*, January 2009
- *Dandenong South Native Vegetation Precinct Plan*, January 2009
- *Innovation Park Development Plan*, June 2010
- Greater Dandenong Planning Scheme

These documents provide the broader guidance for the urban design, environmental protection, traffic management and engineering design outcomes sought to be achieved for the Development Plan area.

#### 3.2 Urban Design Guidelines

The following guidelines ensure consistency with the Greater Dandenong Planning Scheme and *Dandenong South Industrial Area Extension Structure Plan* (January 2009), as well as the adopted *Innovation Park Development Plan* (June 2010).

##### 3.2.1 Building Setbacks

Buildings are to be setback as follows:

- 20 metres from Colemans Road;
- 10 metres from Frankston-Dandenong Road;
- A minimum 5 metre wide landscape strip along Colemans Road; and
- A minimum 3 metre wide landscape strip along Frankston-Dandenong Road.

### 3.2.2 Appearance

#### a) Design

The design and siting of industrial and warehouse buildings shall include:

- High standards of design and appearance where visible from the street.
- Signage is to be integrated with the design of the building.
- Buildings are of a scale and massing that coordinate well with other buildings in the immediate area.
- Office components of buildings are to be attractive, well-proportioned and located at the front of the building.
- Utilization of common themes in design, materials and colours to avoid buildings appearing disjointed and uncoordinated.
- Where possible, within developments, pedestrian, cycling, car and truck traffic are to be kept separated.
- All design outcomes should take into consideration the *Dandenong South Industrial Area Extension Structure Plan* (January 2009).

#### b) Materials

The materials used in the construction of industrial and warehouse buildings are to comply with the following:

- Buildings are to be designed, built and operated in an environmentally sustainable manner particularly in regards to building materials, finishes and operations.
- The use of long lasting materials to minimise maintenance and ensure a high quality appearance over the life of the building.
- Highly reflective materials are not to be used except on roofs that are not visible from the street.

#### c) External Lighting

All premises must provide external lighting to ensure adequate site security, particularly for car parking areas. All lighting should be located, directed and baffled to limit light spill beyond the site boundaries, in particular over the adjoining residential site to the site's east.

### 3.2.3 Operational Issues

#### a) Car Parking

Car parking provision should comply with the following:

- Sufficient on-site car parking for staff, the disabled and visitors is to be provided for future uses and development, generally in accordance with the Greater Dandenong Planning Scheme.
- On site car parking may be deferred where it can be shown that the current use does not require the total amount of car parking to be provided on site at that time.
- All car parking areas must be suitably landscaped.
- Large areas set aside for car parking should be provided with landscape islands to allow the planting of approved shade trees and low level under planting.
- Car parking spaces and access aisles are to comply with the Greater Dandenong Planning Scheme.
- Ensure visibility to all parking spaces from the interior of the building is achieved.
- Conform to the principles of the Safer Design Guidelines for Victoria (Crime Prevention Victoria and Department of Sustainability and Environment, 2005).

b) Loading Facilities

Loading and storage areas are to be located to the rear or side of buildings with screening as appropriate, in accordance with the *Dandenong South Industrial Area Extension Structure Plan* (January 2009) and the Greater Dandenong Planning Scheme.

c) Crossovers

Access to the Development Plan area from Colemans Road must be limited to the crossovers identified on the Development Plan, constructed to an industrial standard in accordance with Council guidelines.

Any additional crossovers to Colemans Road are prohibited, except with the written consent of VicRoads.

### 3.3 Landscaping

Detailed landscape plans should be required by Council at the time subdivision and/or development applications are made for the individual land parcels subject of this Development Plan, and should comply with the following:

- Landscaping should generally consist of Australian natives or other drought tolerant plants.
- Landscaping should be designed as an integral part of any development and assist in creating a unified appearance and in improving the environmental quality of the area.
- Landscaping should be consistent with the character of the industrial area.
- Watering of landscaping should be provided in an environmentally sustainable manner.
- Landscaping should be maintained to a high standard and generally remain consistent with an approved landscaped plan.

### 3.4 Edges and Interfaces

The treatment of interfaces to the identified sensitive uses must ensure appropriate management measures to manage environmental and amenity impacts.

### 3.5 Protected Vegetation

#### 3.5.1 Dandenong South Native Vegetation Precinct Plan

The three (3) River Red Gums identified under the C87 Native Vegetation Protection Plan in the southwest corner of the Development Plan land, being on Lot 2012 require retention and ongoing protection to ensure development, land use and/or subdivision conserve their future health.

Management measures to ensure the ongoing health and conservation of these trees should form a key component to any Environmental Management Plan as discussed in further detail in section 5.1.5 of the Development Plan.

#### 3.5.2 Native Vegetation Protection Framework

The three step approach as applied under the requirements of the Greater Dandenong Planning Scheme, to avoid, minimise and offset, should be implemented under the design and application process for the Development Plan area.

An arboricultural assessment of the remaining vegetation should be prepared and submitted as part of planning applications to develop or subdivide the individual land parcels within the Development Plan.



A construction impact assessment to retain vegetation may be required at the discretion of the Responsible Authority subject to the likely effects of proposals.

### 3.6 Fill and Excavation

Filling and excavation of the site is to be in accordance with Melbourne Water's requirement for buildings to be above the 1/100 year flood incidence plus 300mm freeboard or as required by the Responsible Authority.

All fill imported to the site is required to satisfy EPA Guidelines, and all civil and construction methods will prevent impacts upon the environment and surrounding properties which are to be outlined in the respective construction and environmental management plans required to form part of the application and conditional requirements for individual use and development planning applications.

### 3.7 Heritage

The recorded archaeological sites within Lot 2012 of the Development Plan area must be protected.

The management requirements to ensure their protection are outlined in section 4.1.3 of this report.

### 3.8 Traffic Management

The Development Plan in Appendix A identifies the 'Ultimate Shared Crossover Location' access arrangement to Colemans Road which is triggered by planning applications to develop, use or subdivide Lot 2012 and Lot 1.

A single 'shared' crossover is indicated approximately 135 metres from the signalised intersection of Frankston-Dandenong Road and Colemans Road.

The further development of Lot 1 requires the relocation of the existing crossover to that lot to generally accord with the location shown in Appendix A. At such time, the pre-existing crossover is to no longer be used to access Lot 1.

The design of development of Lot 1 must consider the use of this crossover by Lot 2012 in the future.

At such time as a planning application is lodged for further development of Lot 2012, the access must be designed to utilise the 'Ultimate Shared Crossover Location' shown in Appendix A which lies within Lot 1 and should be generally in accordance with the 'Shared Internal Access' also indicated in Appendix A.

The 'Shared Internal Access' is intended to be to the benefit of Lot 2012 and should be secured through an arrangement to the satisfaction of the Responsible Authority, such as an Agreement under Section 173 of the *Planning and Environment Act 1987* or similar to include any upgrading to accord with Council standards at the time and a cost sharing arrangement.

A deceleration lane accessing the single crossover from the west along Colemans Road should be constructed at a future point in time to the satisfaction of the Responsible Authority and in consultation with VicRoads. The trigger for the construction of the deceleration lane should be a consideration of assessment for planning applications submitted under the provisions of this Development Plan but is likely only to be required upon the re-development of lot 2012 and/or by the upgrade of Colemans Road, whichever occurs firstly.

Lot 2012 and Lot 1 must share obligations for the design and construction of the deceleration lane.

Individual planning applications should consider the impacts of proposals on the orderly functioning of Colemans Road and the signalised intersection with Frankston-Dandenong Road, relevant to the classification and traffic volumes of Colemans Road at the time of applications and anticipated within a 10 year period.

### 3.9 Existing Infrastructure

The existing drainage and sewerage infrastructure which runs through the Development Plan area must be protected as part of the future development, land use and subdivision of the land.

Any proposals which may affect the function of the infrastructure or potentially cause detriment to the asset should be referred to the respective responsible authority.

## 4.0 Environmental Management

### 4.1 Environmental Issues Affecting the Land

#### 4.1.1 Native Vegetation

Development, land use and/or subdivisions must ensure that retained native vegetation is appropriately protected during construction works and ongoing operational requirements, to the satisfaction of the Responsible Authority.

#### 4.1.2 Eumemmerring Creek

Appropriate silt protection and erosion mitigation measures must be implemented during construction works to ensure the control of sediment run-off and minimisation of any detrimental impacts on the Eumemmerring Creek.

#### 4.1.3 Aboriginal Heritage

An Environmental Management Plan specific to Lot 2012 must ensure the recorded archaeological sites are appropriately protected.

The following management recommendations must be implemented.

Site Record	Description	Management Recommendation
AAV7921/0237	Scar Tree	Due care should be taken to avoid any sort of disturbance in this area including fencing, moving and storing machinery to avoid inadvertent impacts on this site and surrounds.
AAV7921/****	Artefact Scatter	The site should be left in situ and if any form of development or disturbance is planned, consultation with the local Aboriginal community should take place in regard to its management.

#### 4.1.4 Traffic and Site Access

An assessment of the generation and management of traffic caused by construction and/or land use intensification must be undertaken to ensure the minimisation and mitigation of detrimental impacts to the orderly functioning of Colemans Road subject to the traffic volumes from time to time.



## **4.2 Requirement for an Environmental Management Plan**

The requirement for an Environmental Management Plan (EMP) should be imposed on any permit issued for the subdivision or development of the individual land parcels within this Development Plan area, where deemed appropriate by the Responsible Authority.

Impacts of noise, dust and odour must be addressed in relation to the adjacent dwelling in accordance with EPA guidelines. The EMP must also include a procedure to manage any spills or leaks associated with construction or operation in accordance with EPA guidelines.

Individual planning applications will require EMP documents adequately responding to specific sites and the planning application's nature, scale and related matters as outlined above.

## **5.0 Stormwater Management**

### **5.1 Water Bodies and Wetlands**

There are no water bodies or wetlands within the area subject of this Development Plan.

### **5.2 Stormwater Management Measures**

Any future subdivision or development must seek to reduce water consumption, increase water recycling, minimise waste and protect the environment through utilising current best practice in the area of Water Sensitive Urban Design. Due consideration should be given to the Victorian Stormwater Committee publication "Urban Stormwater – Best Practice Environmental Management Guidelines" (1999). Key principles of this document are detailed below.

#### **5.2.1 Protect natural systems**

Protect and enhance natural water systems within urban developments. Promoting and protecting natural waterways as assets allows them to function more effectively and supports the ecosystems that rely on them.

#### **5.2.2 Integrate Stormwater treatment into the landscape**

Use stormwater in the landscape by incorporating multiple corridors that maximise the visual and recreational amenity of developments. The natural stormwater drainage system can be utilised for its aesthetic qualities within parklands and walking paths, making use of natural topography such as creek lines and ponding areas.

#### **5.2.3 Protect water quality**

Improve the quality of water drainage from urban development into receiving environment, through filtration and retention, water drainage from urban developments can be treated to remove pollutants close to their source. This approach reduces the infrastructure required downstream to effectively drain urban developments during rainfall events. Any Stormwater Management Plan must incorporate a procedure to manage spills or leaks in accordance with EPA Guidelines.

#### **5.2.4 Add value while minimising development costs**

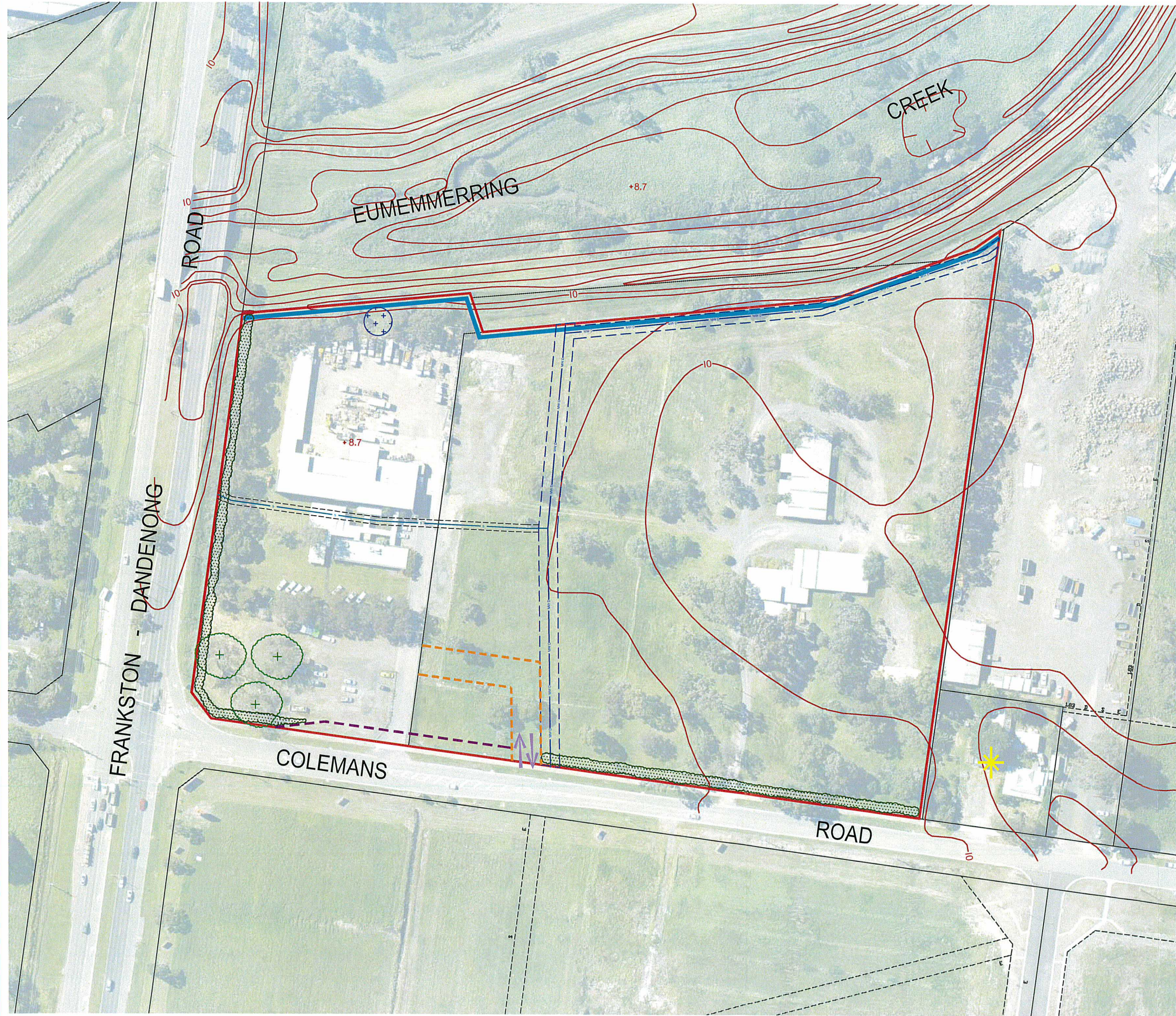
Minimise the drainage infrastructure cost of the development. The reduction of downstream drainage infrastructure due to reduce peak flows and run-off minimises the development costs for drainage, whilst enhancing natural features such as rivers and lakes that add value to the properties of the area.

## Appendix A

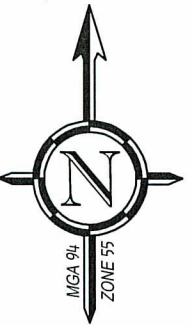
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### **Development Plan**



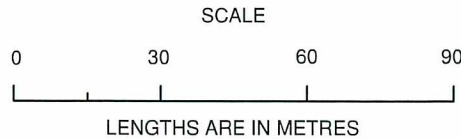


Photomaps courtesy of Nearmap.  
Photomap Flown: 18-10-2013



LEGEND

- Ultimate Shared Crossover Location.
- Short Term consideration given to Residential Dwelling.
- Trees to be retained.
- Artefact Scatter to remain in situ.
- Landscape Buffers
- Water Sensitive Design Interface
- South East Water Sewer
- Melbourne Water Assets
- Sewerage Easement
- Melbourne Water Assets to be protected (subject to Melbourne Water Consent).
- Shared Internal Access (indicative only)
- Deceleration Lane (subject to design)



LOCATION:  
Colemans Road Entrance  
Development Plan

REFERENCE: 6175 DP01  
VERSION: 3 05-06-2014  
DATE OF SURVEY: -  
SHEET 1 OF 1  
SCALE: 1:1500

MELWAY: 95 D9  
SHEET SIZE: A3  
Planners Surveyors Engineers  
PO Box 1055  
Dandenong Victoria 3175  
Telephone 03 9794 9438  
Facsimile 03 9794 9532  
manager@klms.com.au



DEVELOPMENT PLAN



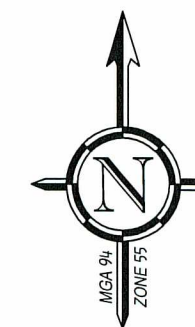
## Appendix B

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### **Site Analysis Plan**

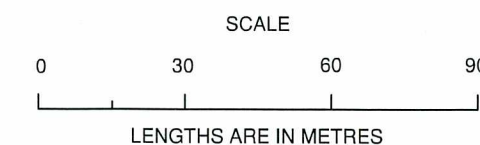


Photomaps courtesy of Nearmap.  
Photomap Flown: 18-10-2013



#### LEGEND

- Development Plan Area
- Existing Crossover/Access
- Existing Drainage Flows
- NVPP Protected Trees (3)
- Protected Scar Tree (1)
- Archeological Scatter
- Existing Bike/Pedestrian Path
- Sensitive Interface
- Restricted Access (Subject to Vicroads App.)
- South East Water Sewer
- Melbourne Water Assets
- Earth Bund
- Bus Stop (Route 901)
- Residential Dwelling



LOCATION:  
Colemans Road Entrance  
Development Plan

REFERENCE: 6175 SA01

VERSION: 2 08-05-2014

DATE OF SURVEY: -

SHEET 1 OF 1

SCALE: 1:1500

MELWAY: 95 D9

SHEET SIZE: A3

Planners Surveyors Engineers

PO Box 1055

Dandenong Victoria 3175

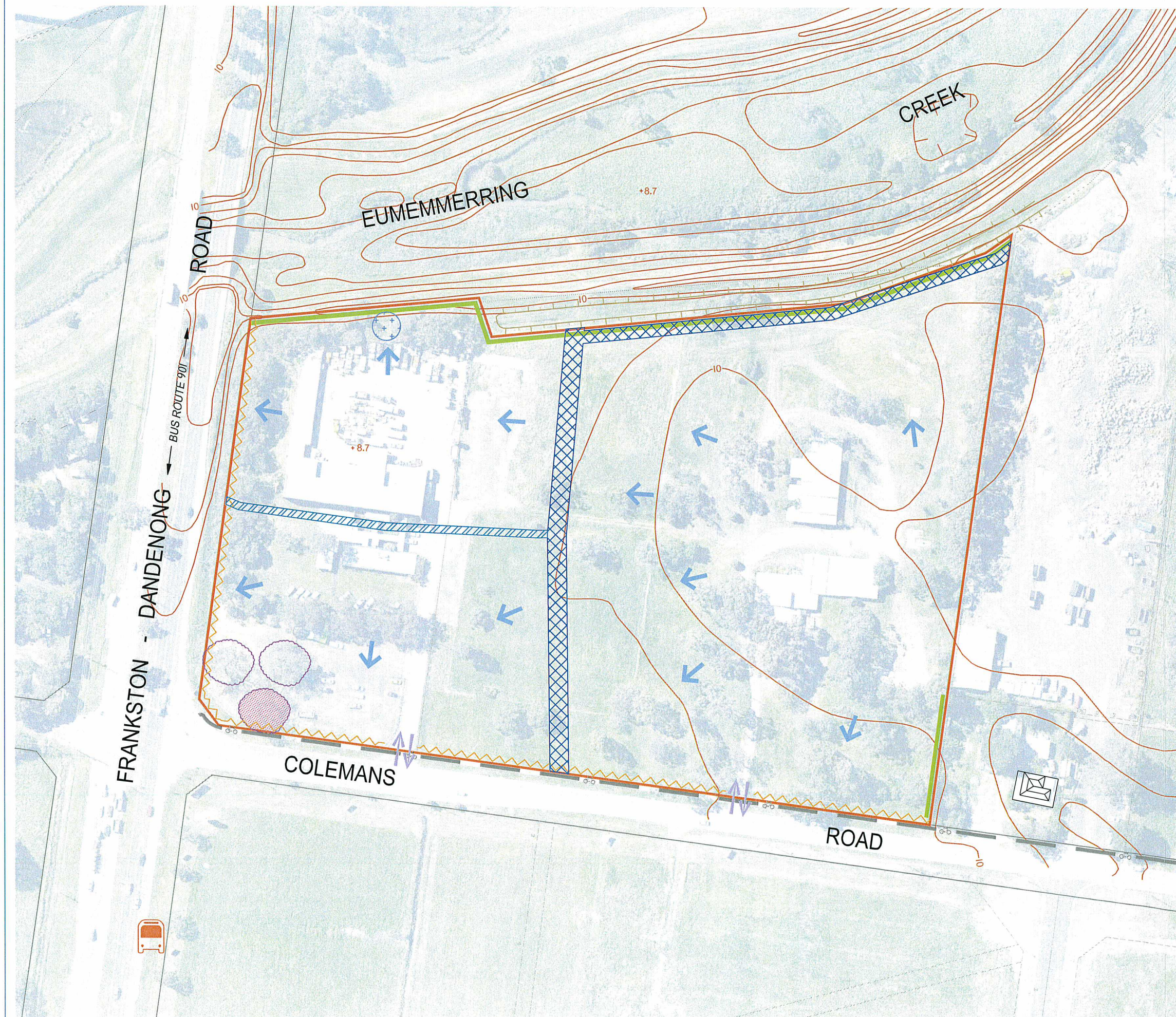
Telephone 03 9794 9438

Facsimile 03 9794 9532

manager@klms.com.au

**KLM SPATIAL**  
LAND DEVELOPMENT INTELLIGENCE

SITE ANALYSIS



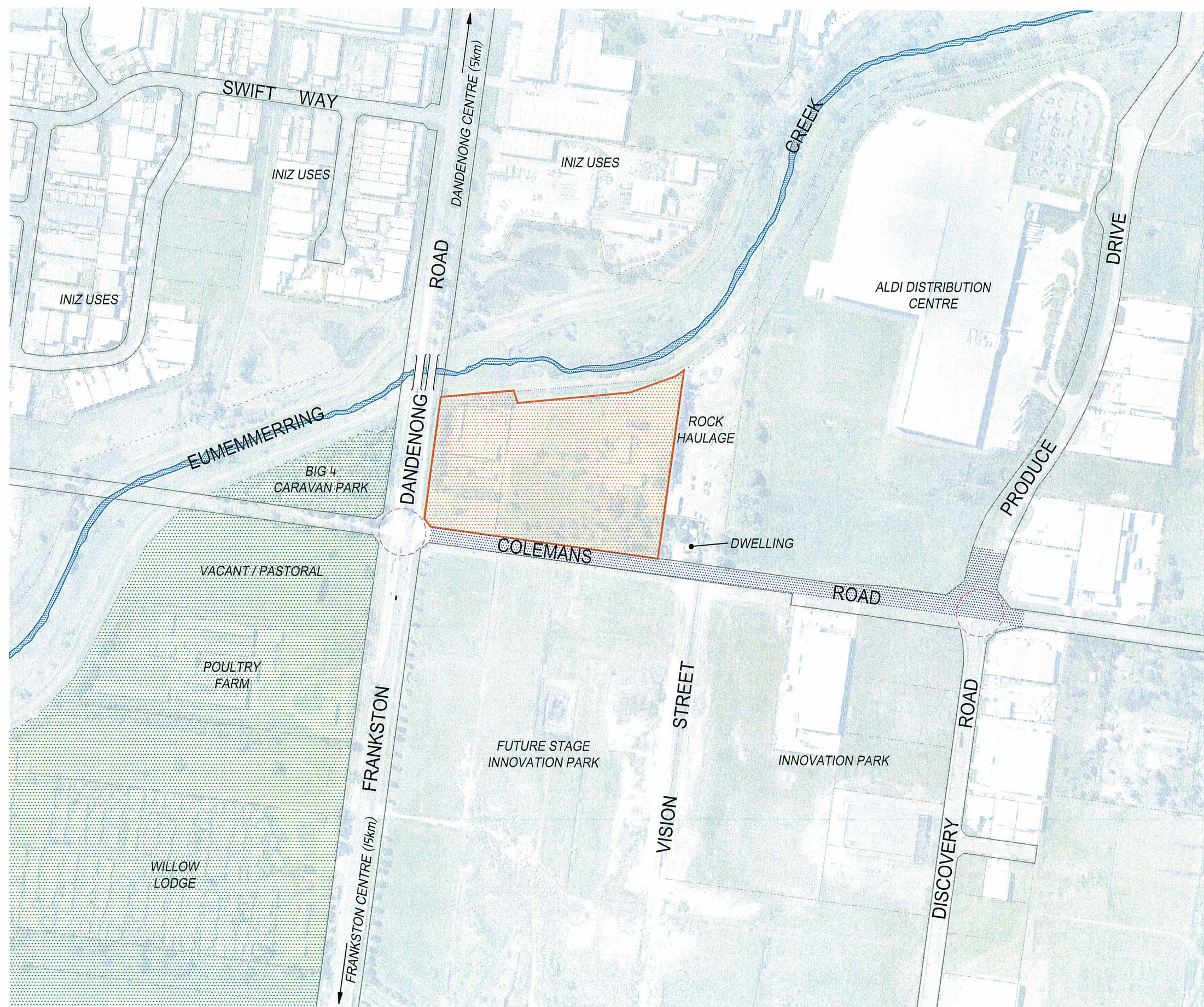


## Appendix C

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### **Site Context Plan**







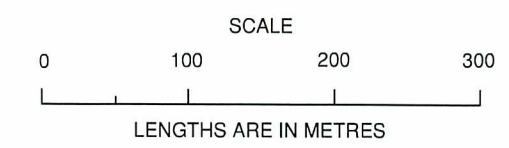


Photomaps courtesy of Nearmap.  
Photomap Flown: 18-10-2013



**LEGEND**

-  Development Plan Area
-  Existing Bridge
-  Signalised Intersection
-  Future Arterial Road
-  Green Wedge Zone Land
-  Water Course



LOCATION:  
**Colemans Road Entrance  
Development Plan**

REFERENCE: 6175 SC01  
VERSION: 2 08-05-2014  
DATE OF SURVEY: -  
SHEET 1 OF 1  
SCALE: 1:5000

MELWAY: 95 D9  
SHEET SIZE: A3  
Planners Surveyors Engineers  
PO Box 1055  
Dandenong Victoria 3175  
Telephone 03 9794 9438  
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## Appendix D

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### **DPO Schedule 6**



26/03/2009  
C87

## SCHEDULE 6 TO THE DEVELOPMENT PLAN OVERLAY

Shown on the planning scheme map as **DPO6**

### DANDENONG SOUTH INDUSTRIAL AREA EXTENSION - KEYSBOROUGH & LYNDHURST SITES

This Development Plan Overlay applies to land at Keysborough and Lyndhurst which is to be developed for industrial purposes.

#### 1.0

26/03/2009  
C87

#### Requirement before a permit is granted

Before a development plan has been approved, a permit may be granted for:

- Any building or works associated with the use of the land for agriculture.
- Extensions or alterations to an existing building or works constituting an area not greater than 10% of the area of the existing building or works.
- The use of the land and buildings and works affecting the land which are the subject of a planning permit application made to the responsible authority and lodged prior to 26 March 2009.
- The realignment of lot boundaries to enable the efficient and co-ordinated alignment of the road shown as LR5 (Lyndhurst Road 5) in the *Dandenong South Industrial Area Extension Structure Plan, January 2009* (incorporated document).
- The subdivision of the land into superlots generally not less than 30 hectares provided the superlots are clearly described as superlots on the plan of subdivision. The realigned lots or the superlot as the case may be cannot be used or developed for any purpose (other than for the activities described in bullet points 1 – 3 above) unless a development plan for that realigned lot or superlot as the case may be is approved under this Schedule.

#### 2.0

26/03/2009  
C87

#### Conditions and requirements for permits

Any permit granted must:

- Ensure that any public open space shown in a development plan which is consistent with the *Dandenong South Industrial Area Extension Structure Plan, January 2009* or the *Dandenong South Industrial Area Extension Development Contributions Plan, January 2009* (incorporated document), is vested in the relevant authority.
- Require connection to reticulated sewerage, electricity and water supply systems.

#### 3.0

26/03/2009  
C87

#### Requirements for development plan

Except for the land at 90 – 120 Colemans Road for which one development plan may be approved, generally a development plan must cover an area of not less than 30 hectares.

One development plan may also be considered for the land at 80 Colemans Road given the preliminary work undertaken, agreement to protection of native vegetation and limited connections to other parts of the amendment area, to the satisfaction of the responsible authority.

A development plan must be generally in accordance with the structure plan diagrams contained in the *Dandenong South Industrial Area Extension Structure Plan, January 2009* and otherwise have regard to that incorporated document.

The comments of the Department of Sustainability and Environment and Melbourne Water must be taken into account when the responsible authority considers a development plan.

A development plan must include requirements for landscaping or other measures on industrial land to achieve effective screening of industrial development from existing residential and rural residential properties.

A development plan should ensure that industrial uses satisfy threshold distances from existing community uses and either existing or proposed residential uses.

A development plan for the Lyndhurst site must provide for appropriate design solutions and landscaping to achieve a visually attractive interface to the Western Port Highway.

A development plan must include the following plans and reports all prepared to the satisfaction of the responsible authority:

### **A layout plan**

A Layout Plan showing as appropriate:

- Significant features on the land and adjoining land.
- Existing easements.
- Pedestrian network.
- A bicycle network.
- The road network, including access points to the existing road network, consistent with the access principles in the *Dandenong South Industrial Area Extension Structure Plan, January 2009*.
- The public transport network.
- Native vegetation to be retained.
- Areas necessary to ensure the health of the native vegetation to be retained (native vegetation protection zones).
- Areas set aside for drainage in which native vegetation may be established.
- The proposed public open space network in accordance with the *Dandenong South Industrial Area Extension Structure Plan, January 2009* and the *Dandenong South Industrial Area Extension Development Contributions Plan, January 2009*.
- Urban design outcomes having regard to the urban design and landscaping guidelines contained in the *Dandenong South Industrial Area Extension Structure Plan, January 2009*.
- Landscape concept plan, including measures to protect and enhance natural features including existing significant vegetation and remnant trees which are to be retained in accordance with the *Dandenong South Native Vegetation Precinct Plan, January 2009* (incorporated document).
- The potential for site works (fill and excavation).
- How the development within the plan area can integrate with the adjoining industrial land.
- The proposed interface with residential areas and community uses.
- The potential to develop an inland port in the Lyndhurst area.



### Staging plan

A staging plan showing as appropriate:

- Details of proposed staging and timing.
- How access is proposed during all stages of development.

### Heritage assessment report

A Heritage and Archaeological Assessment Report which details the findings of a site specific archaeological investigation for each site within the development plan area.

The archaeological investigation must be undertaken by a person or firm with appropriate experience and qualifications in the field. The report should include recommendations for the management of any sites discovered during the undertaking of the investigation and/or during the development process.

The responsible authority may agree to waive this requirement.

### Environmental management plan

A framework for an Environmental Management Plan (EMP) showing as appropriate:

- The environmental issues affecting the land.
- Goals and objectives of the EMP.
- Measures to be taken to ensure that appropriate landscaping is carried out in identified areas of environmental significance.
- Erosion and siltation control during construction.
- Designation of areas (if any) where human access to open space areas will not be allowed, including descriptions of the systems to be established and the means of precluding human access.
- An overview of the design details proposed for wetlands and open water bodies, including different edge treatments, vegetation associations, habitat areas, perching areas and underwater habitat.
- A Stormwater Management Plan that ensures appropriate hydrological regimes for retained vegetation based on expert ecological assessment.
- Incorporation of stormwater management measures, including stormwater storage and water quality improvement devices such as wetlands and open water bodies to the satisfaction of Melbourne Water.
- The requirements of the *Dandenong South Native Vegetation Precinct Plan, January 2009* including the protection and enhancement of areas of public open space, native vegetation to be retained and native vegetation protection zones to be established.
- Where offsets are required, the method of protecting those offsets through measures such as conservation covenants, section 173 agreements, or gifts to the Crown (where such gifts are accepted).
- Method of protection of the reserve areas to be vested in Council until such time as the reserve areas are developed.
- Any other matters as required by the responsible authority and the Department of Sustainability and Environment.

### **Integrated transport plan**

An Integrated Transport Plan generally in accordance with the *Dandenong South Industrial Area Extension Structure Plan, January 2009*. The Integrated Transport Plan should take into account all transport modes and include an indicative public transport, road, bicycle and pedestrian network showing, as appropriate:

- Provision of access to the existing road network.
- Provision of adequate pedestrian and cycle ways and accommodation for potential public transport routes and public transport infrastructure.
- Integration with the Principal Public Transport Network.
- Any other matters as required by the responsible authority, Roads Corporation and the Department of Transport.

### **Stormwater management plan**

A Stormwater Management Plan showing as appropriate:

- Construction and maintenance requirements for water bodies and wetlands.
- Details of stormwater management measures.
- How development will comply with best practice environmental management or urban stormwater.
- Any other matters as required by the responsible authority and Melbourne Water.

The Stormwater Management Plan must also be to the satisfaction of Melbourne Water.

### **Specific requirements for the Keysborough site**

#### ***Boundary treatment***

A development plan for the Keysborough site must provide boundary treatments in accordance with the *Dandenong South Industrial Area Extension Structure Plan, January 2009* to address the interface with land developed for residential purposes.

#### ***Interface requirements***

A development plan for the Keysborough site must provide an integrated treatment of any interface with an existing community use to provide a 'buffer' of 30 metres which should incorporate existing boundary landscaped areas and boundary landscaped areas required by permits on the land used for a community purpose. The interface treatment must include landscaping on the industrial land and may include a road.

#### ***Intersection treatment***

- The primary point of access to the industrial area north of Greens Road must be a signalised cross intersection and should be located generally 400-500 metres west of the Greens Road interchange with EastLink.
- The road pattern and road cross sections must reinforce the signalised cross intersection as the primary access point to the satisfaction of the responsible authority.
- An additional access point to Greens Road may be provided in the form of a left-in left-out intersection to service the industrial area north of Greens Road to the satisfaction of the responsible authority and the Roads Corporation. This intersection must be designed



to meet the access principles in the *Dandenong South Industrial Area Extension Structure Plan, January 2009*.

- The primary point of access must be developed either prior to or simultaneously with the development of any secondary lower volume access point.

## Appendix E

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### **Aboriginal Heritage Assessment Report Extracts**



## 1.0 SUMMARY

Biosis Research was commissioned by Sinclair Knight Merz (SKM), on behalf of Melbourne Water to undertake an archaeological assessment to determine whether any Aboriginal and non-Aboriginal archaeological or cultural heritage issues may be present in the study area known as Coleman's Road, Dandenong South (see Figure 1). There are no specific development plans proposed for the site, however Melbourne Water propose to dispose of the land as it is surplus to their requirements.

The study area, a former works depot for Melbourne Water, is situated on the north side of Coleman's Road in Dandenong South. The Runnemerring Creek is adjacent to its northern boundary.

### 1.1 Aboriginal Sites

There are two Aboriginal sites located within the study area – see Figure 2.

The entire study area is located with an area that is deemed to be of some sensitivity for Aboriginal sites. However, the disturbance to the study area by post contact land use has severely compromised the integrity of any sites that may still be present.

The area containing the scar tree and the two other mature river red gums (western section of Unit 1) is considered to have high sensitivity for further sub-surface Aboriginal sites.

### 1.2 Non-Aboriginal Cultural Heritage Sites

No non-Aboriginal archaeological sites have been identified within the study area.

No areas of non-Aboriginal archaeological sensitivity have been identified within the study area.

### 1.3 Management Recommendations

### 1.4 Report Lodgement

The most effective form of heritage management is to attempt to avoid impact on heritage places during the initial planning stages. Hence, where practicable, the responsible authority should endeavor to avoid impacting on known heritage places. The following recommendations indicate legislative requirements and ways in which best cultural heritage practice may be maintained. These

recommendations were devised in consultation with Alex Korte (Victorian Elders Boonewung Land Council) and Stephen Compton (Binurong Land Council Aboriginal Corporation).

These recommendations have been formulated based on the knowledge that Melbourne Water propose to sell this land and therefore any future development requires consultation with the Aboriginal communities as to the management of the known sites.

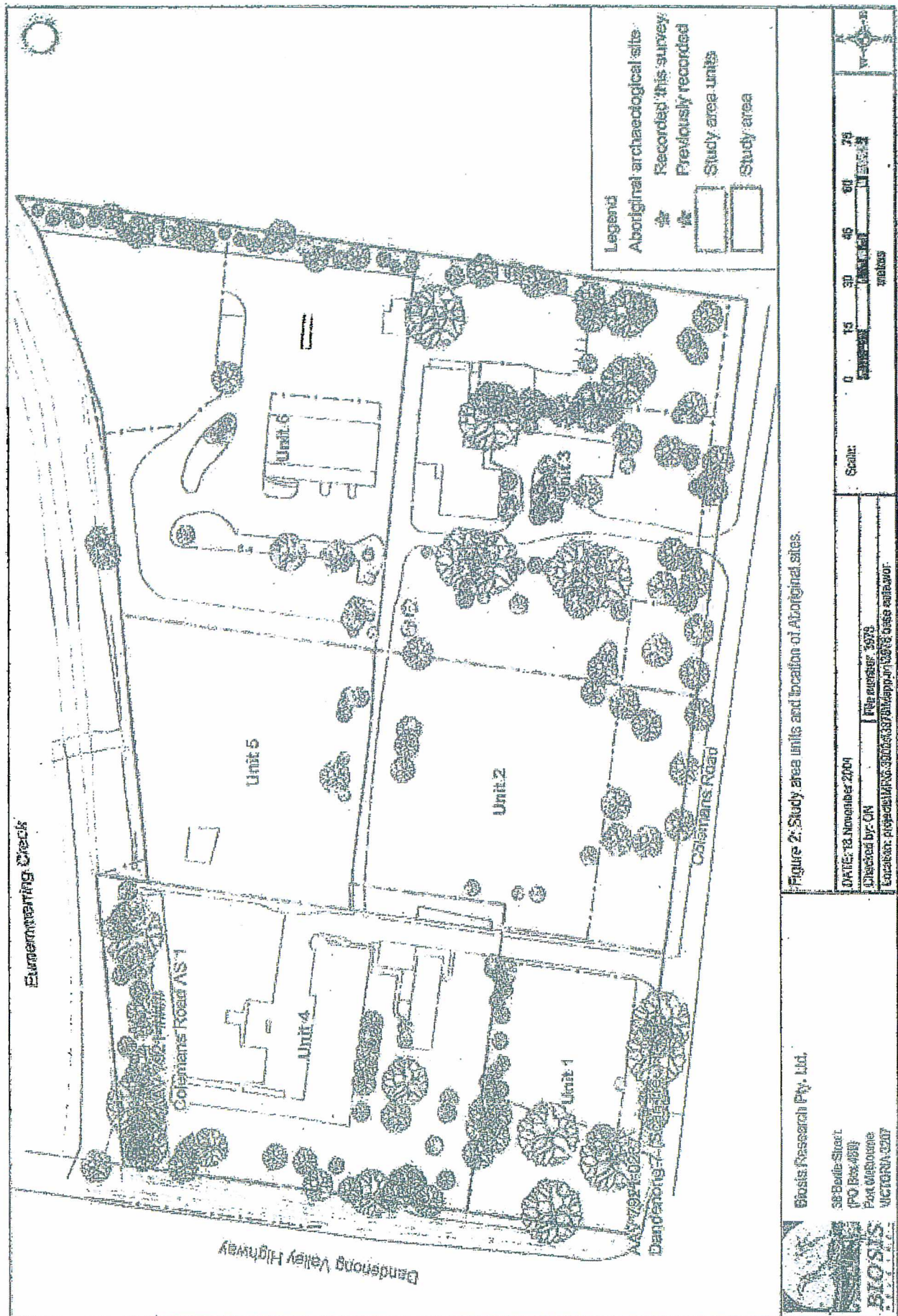
1. No non-Aboriginal historical places were located within the study area, therefore no further archaeological investigation in regard to historical sites is recommended.
2. In regard to the scar tree site (AAV7921/0237) due care should be taken to avoid any sort of disturbance in this area including fencing, moving and storing machinery to avoid inadvertent impacts on this site and surrounds. The two mature river red gums adjacent to the scar tree site should also be protected if possible. It is likely that further sub-surface sites exist in this relatively undisturbed area. It is recommended that SKM / Melbourne Water liaise with the City of Greater Dandenong during the re-zoning process with regards to potential mechanisms that may ensure protection of these sites which have significant Aboriginal heritage value. (e.g. inclusion of an appropriate Overlays or Section 173 Agreement, etc)
3. In regard to the artefact scatter site (AAV7921/\*\*\*\*), the site should be left in situ and if any form of development or disturbance is planned, consultation with the local Aboriginal community should take place in regard to its management.
4. Any sale of the property needs to ensure that the purchaser is informed of the Aboriginal sites present on the property. No disturbance to the sites or the ground should take place without first consulting with the Aboriginal community as to the nature of any disturbance. The community may require a program of further investigation in regard to sub-surface testing or monitoring of ground disturbance, but this is dependent on the nature of any proposed development or disturbance.
5. Although it is considered unlikely that human remains are located within the study area, Aboriginal Affairs Victoria requires the following recommendation in the event that human skeletal remains are uncovered during development. In this instance, all work in the area must cease and the Police or State Coroner's Office must be immediately notified. The State Coroner's Office can be contacted on (03) 9684 4444. If there are reasonable grounds to suspect that the human remains are Aboriginal, then Aboriginal



Affairs Victoria must also be notified on 1300 888 544. Please see Appendix 4 for further details.

Archaeological reports and the management recommendations contained therein will be independently reviewed by the Heritage Services Branch of Aboriginal Affairs Victoria, the relevant Aboriginal community and Heritage Victoria.

Although the findings of a consultant's report will be taken into consideration, recommendations in relation to managing heritage place should not be taken to imply automatic approval of those actions by Aboriginal Affairs Victoria, the Aboriginal Community or Heritage Victoria.





## **6.0 MANAGEMENT ISSUES AND RECOMMENDATIONS**

### **6.1 Introduction**

Cultural heritage places provide us with evidence of past human activity. Heritage places may be confined to a small area, or represented by a complex of features, including a cultural landscape. The nature of human activity is that the places used in the past are affected by the actions of the present, particularly urban expansion and agricultural processes. This means cultural heritage places are a diminishing resource.

Cultural heritage places are valuable, not only for the scientific records of the past they provide, but also for their social significance. Many Aboriginal places, for example, have a special significance to Aboriginal communities as places where traditional life has continued and places that may have sacred or symbolic significance.

Many heritage places may also be outstanding examples of artistic and creative achievement. Heritage places are valuable to Australians – and the rest of the world – as they not only provide a link with a culturally rich past, but they can contribute to recreational and community life.

Heritage places may also have economic potential (Pearson and Sullivan 1995: 15). These values should, where possible, be protected and handed on to future generations. We all have some degree of social, spiritual, ethical – and legal – obligation to see that this happens.

### **6.2 Aboriginal Sites**

#### **6.2.1 Potential Impacts**

##### **6.2.1.1 Archaeological Sites**

There are two Aboriginal sites located within the study area.

##### **6.2.1.2 Areas of Potential Archaeological Sensitivity**

The entire study area is located within an area that is deemed to be of some sensitivity for Aboriginal sites. However, the disturbance to the study area by post-contact land use has severely compromised the integrity of any sites that may still be present.

The area containing the scar tree and the two other mature river red gums (western section of Unit 1) is considered to have high sensitivity for further sub-surface Aboriginal sites.

## **6.3 Potential Impacts on Non-Aboriginal Cultural Heritage Sites**

### **6.3.1 Archaeological Sites**

No non-Aboriginal archaeological sites have been identified within the study area.

### **6.3.2 Areas of Potential Archaeological Sensitivity**

No areas of non-Aboriginal archaeological sensitivity have been identified within the study area.

## **6.4 Management Recommendations**

### **6.5 Report Lodgement**

The most effective form of heritage management is to attempt to avoid impact on heritage places during the initial planning stages. Hence, where practicable, the responsible authority should endeavor to avoid impacting on known heritage places. The following recommendations indicate legislative requirements and ways in which best cultural heritage practice may be maintained. These recommendations were devised in consultation with Alex Korte (Victorian Elders Boonewurrung Land Council) and Stephen Compton (Bunurong Land Council Aboriginal Corporation).

These recommendations have been formulated based on the knowledge that Melbourne Water propose to sell this land and therefore future development may require consultation with the Aboriginal communities regarding the management of the known sites.

1. No non-Aboriginal historical places were located within the study area, therefore no further archaeological investigation in regard to historical sites is recommended.
2. In regard to the scar tree site (AAV7921/0237) due care should be taken to avoid any sort of disturbance in this area including fencing, moving and storing machinery to avoid inadvertent impacts on this site and surrounds. The two mature river red gums adjacent to the scar tree site should also be



protected if possible. It is likely that further sub-surface sites exist in this relatively undisturbed area. It is recommended that SKM / Melbourne Water liaise with the City of Greater Dandenong during the re-zoning process with regards to potential mechanisms that may ensure protection of these sites which have significant Aboriginal heritage value. (e.g. inclusion of an appropriate Overlays or Section 173 Agreement, etc)

3. In regard to the artefact scatter site (AAV7921/\*\*\*\*), the site should be left in situ and if any form of development or disturbance is planned, consultation with the local Aboriginal community should take place in regard to its management.
4. Any sale of the property needs to ensure that the purchaser is informed of the Aboriginal sites present on the property. No disturbance to the sites or the ground should take place without first consulting with the Aboriginal community as to the nature of any disturbance. The community may require a program of further investigation in regard to sub-surface testing or monitoring of ground disturbance, but this is dependent on the nature of any proposed development or disturbance.
5. Although it is considered unlikely that human remains are located within the study area, Aboriginal Affairs Victoria requires the following recommendation in the event that human skeletal remains are uncovered during development. In this instance, all work in the area must cease and the Police or State Coroner's Office must be immediately notified. The State Coroner's Office can be contacted on (03) 9684 4444. If there are reasonable grounds to suspect that the human remains are Aboriginal, then Aboriginal Affairs Victoria must also be notified on 1300 888 544. Please see Appendix 4 for further details.

## 6.6 Lodgement of Report

This report has been distributed to:

- Heritage Services Branch, Aboriginal Affairs Victoria (two copies)
- Heritage Victoria (two copies)
- Sinclair Knight Merz
- Alex Korte (Victorian Elders Boonewurrung Land Council)
- Stephen Compton (Bunurong Land Council Aboriginal Corporation)



## Appendix 5

### A 5. Advice about the Discovery of Human Remains

If suspected human remains are discovered during any excavation or development work, the steps outlined below should be followed.

#### 1. Legal requirements

The *Coroner's Act 1985* requires anyone who discovers the remains of a 'person whose identity is unknown' to report the discovery directly to the State Coroner's Office or to the Victoria Police. A person who fails to report the discovery of such remains is liable to a \$10,000 fine. The Coroner's Act does not differentiate between treatment of Aboriginal and non-Aboriginal remains. The majority of burials found during development work are, therefore, likely to be subject to this reporting requirement.

In addition, Part IIA of the *Aboriginal and Torres Strait Islander Heritage Protection Act 1984* requires anyone who discovers suspected Aboriginal remains in Victoria to report the discovery to the responsible Minister. The Director, Aboriginal Affairs Victoria, holds delegated authority to receive and investigate such reports.

It should be noted that the *Aboriginal and Torres Strait Islander Heritage Protection Act 1984* is subordinate to the *Coroner's Act 1985* regarding the discovery of human remains. Therefore, the location at which the remains are found should be first treated as a possible crime scene, and the developer and/or contractor should not make any assumptions about the age or ethnicity of the burial.

Victoria Police Standing Orders require that an archaeologist from the Heritage Services

Branch, Aboriginal Affairs Victoria, should be in attendance when suspected Aboriginal remains have been reported (Police Headquarters and the State Coroner's Office hold after-hours contact numbers for Heritage Services Branch staff). Where it is believed the remains are Aboriginal, the Police will usually invite representatives of the local Aboriginal community to be present when the remains are assessed. This is because Aboriginal people usually have particular concerns about the treatment of Aboriginal burials and associated materials.

#### 2. Aboriginal Affairs Victoria - suggested procedure to be followed if suspected human remains are discovered

1. If suspected human remains are discovered during development, work in the area must cease and the Police or State Coroner's Office must be informed of the discovery without delay. The State Coroner's Office can be contacted at any time on ph: (03) 9684 4444.
2. If there are reasonable grounds to suspect the remains are Aboriginal, the discovery should also be reported to Aboriginal Affairs Victoria on ph: (03) 9637 8000. Aboriginal Affairs Victoria will ensure that the local Aboriginal community is informed about the circumstances of the discovery.
3. Do not touch or otherwise interfere with the remains, other than to safeguard them from further disturbance.
4. Do not contact the media.



## Appendix F

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PARENT TITLE Volume 08166 Folio 752  
Created by instrument A367524 11/07/1957

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Estate Fee Simple

Sole Proprietor

ZIGZIG PTY LTD of 30 MILES STREET SEAFORD VIC 3198  
AK542421S 21/08/2013

ENCUMBRANCES, CAVEATS AND NOTICES

MORTGAGE AK542422Q 21/08/2013

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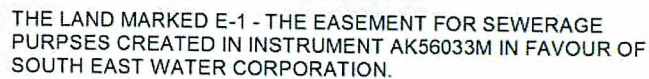
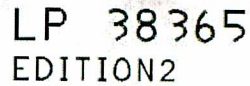
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ACTIVITY IN THE LAST 125 DAYS

NUMBER		STATUS	DATE
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AK542422Q	MORTGAGE	Registered	21/08/2013

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38365



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**LP38365**

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VOLUME 11031 FOLIO 058

Security no : 124046928762E

Produced 13/08/2013 04:29 pm

CROWN GRANT

LAND DESCRIPTION

Crown Allotment 2012 Parish of Eumemmerring.

REGISTERED PROPRIETOR

Estate Fee Simple

Sole Proprietor

THE PINES NOMINEES PTY LTD of 15 HEALEY ROAD DANDENONG SOUTH VIC 3175  
AK128807E 11/01/2013

ENCUMBRANCES, CAVEATS AND NOTICES

MORTGAGE AK128808C 11/01/2013

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For details of any other encumbrances see the plan or imaged folio set out  
under DIAGRAM LOCATION below.

DIAGRAM LOCATION

SEE TP835702W FOR FURTHER DETAILS AND BOUNDARIES

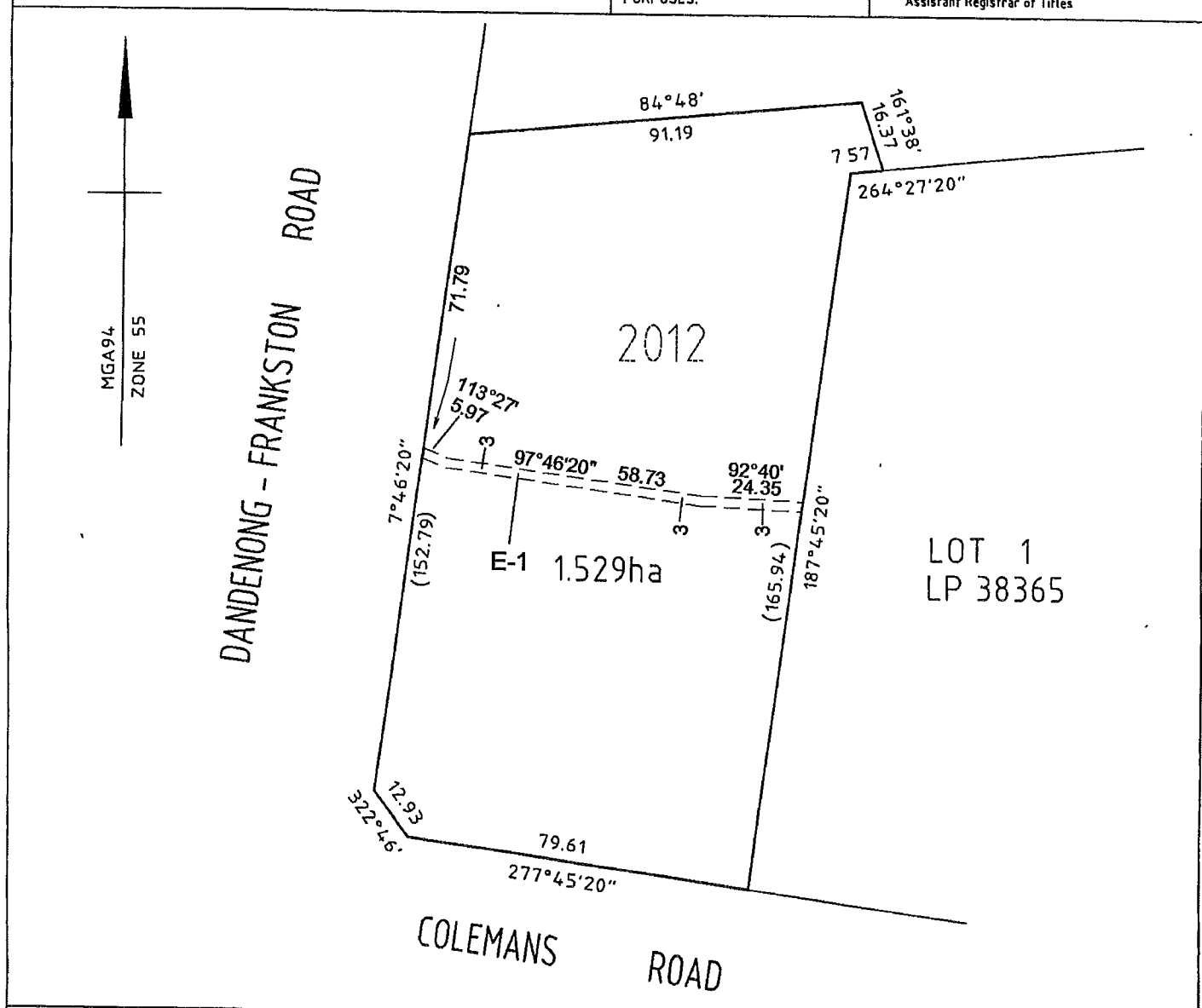
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NIL

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LOCATION OF LAND PARISH EUMEMMERRING  SECTION CROWN ALLOTMENTS : 2012  MGA94 Co-ordinates (approx. centre of land in plan) E 343 080 N 5 788 420  DEPTH LIMITATION : 15m Below the Surface.		NOTATIONS: SUBJECT TO ANY RESERVATIONS, EXCEPTIONS, CONDITIONS AND POWERS NOTED ON SHEET 2 OF THIS PLAN LAND MARKED E-1- THE EASEMENT FOR SEWERAGE PURPOSES CREATED IN INST.AK56033M IN FAVOUR OF SOUTH EAST WATER CORPORATION  THIS PLAN HAS BEEN CONNECTED TO PSM's 141, 142, 143, 176, 257, & 373  THIS PLAN HAS BEEN PREPARED FOR LAND REGISTRY, LAND VICTORIA FOR TITLE DIAGRAM PURPOSES.	
		Checked by: <i>R. W. Greenwood</i> Date: 30/8/2007 Assistant Registrar of Titles	



I, Robin P. Nobelius of 1 Cook Drive, Pakenham 3810 certify that this plan is based on the survey OP 122332 which was completed by me. <i>R. Nobelius</i> Licensed Surveyor Surveyors Act 2004 PREPARED FROM OP 122332 Date: 27/12/2005		PLAN OF CROWN ALLOTMENT DRAWN W. Roberts CAD FILE: 4131 CHECKED: P. MILLMAN	
SURVEYOR GENERAL VICTORIA DEPARTMENT OF NATURAL RESOURCES AND ENVIRONMENT		9. 1. 2006 DATE	
SCALE 1:1000		SHEET SIZE A3	
Corr. No. RS -1337		Sheet 1 of 2 sheets	

# TITLE PLAN

TP 835702W

## RESERVATIONS EXCEPTIONS CONDITIONS AND POWERS

The reservation to the Crown of:

- any minerals as defined in the *Mineral Resources Development Act* 1990 and petroleum as defined in the *Petroleum Act* 1958 (the "reserved minerals");
- rights of access to any part of the land to search and obtain the reserved minerals; and
- rights of access to any part of the land for pipe-lines, works and other purposes necessary to obtain and convey the reserved minerals on and from the land;

The right to resume the said land for mining purposes under Section 205 of the *Land Act* 1958; and

The right of a licensee under the *Mineral Resources Development Act* 1990 or any corresponding previous enactment, to enter land and do work, within the meaning of that Act, and to erect and occupy mining plant or machinery on the land, in the same manner and under the same conditions and provisions as such licensee currently has on Crown land, provided compensation is paid under Part 8 of that Act for surface damage to the lands.

File Ref RS-1337

ORIGINAL SHEET SIZE A3

SHEET 2 OF 2 SHEETS



