

MINUTES

ORDINARY COUNCIL MEETING

MONDAY, 25 MAY 2020 Commencing at 7:00 PM

COUNCIL CHAMBERS
225 Lonsdale Street, Dandenong VIC 3175

TABLE OF CONTENTS

ITEM		SUBJECT	PAGE NO
1	MEET	ING OPENING	26763
1.1	ATTEN	IDANCE	26763
1.2	ACKN	OWLEDGEMENT OF TRADITIONAL OWNERS OF THE LAND	26763
1.3	OFFER	RING OF PRAYER	26764
1.4	CONF	RMATION OF MINUTES OF PREVIOUS MEETING	26764
1.5	ASSE	MBLIES OF COUNCIL	26765
1.6	DISCL	OSURES OF INTEREST	26767
2	OFFIC	CERS' REPORTS - PART ONE	26768
2.1	DOCU	MENTS FOR SEALING	26768
	2.1.1	Documents for Sealing	26768
2.2	DOCU	MENTS FOR TABLING	26770
	2.2.1	Petitions and Joint Letters	26770
2.3	STATU	ITORY PLANNING APPLICATIONS	26778
	2.3.1	Planning Decisions Issued by Planning Minister's Delegate - April 2	020 26778
	2.3.2	Planning Delegated Decisions Issued - April 2020	26781
	2.3.3	Town Planning Application - No. 58 Ellen Street, Springvale (Planni Application No. PLN19/0643)	0
3	QUES	TION TIME - PUBLIC	26886
4	OFFIC	CERS' REPORTS - PART TWO	26890
4.1	CONT	RACTS	26890
	4.1.1	Contract No: 1920-62 Reconstruction of the Wachter Reserve Wetl	and 26890
4.2	FINAN	CE AND BUDGET	26899

7	URGEN	NT RUSINESS	27006
6		RTS FROM COUNCILLORS/DELEGATES AND COUNCILLORS'	26964
5	NOTIC	ES OF MOTION	26963
	4.3.5	List of Registered Correspondence to Mayor and Councillors	26959
	4.3.4	Report on Matters Discussed at Councillor Briefing Sessions & Pre-Council Meetings - 27 April & 4 May 2020	
	4.3.3	Community Funding: COVID-19 Transition	26947
	4.3.2	Springvale Community Hub - Strategic Plan 2020-2025 (Endorsement)	26925
	4.3.1	Response to Notice of Motion No. 71 – Springvale North-East Quadrant	26906
4.3	OTHER		26906
	4.2.1	Loan Funding Tender	26899

1 MEETING OPENING

1.1 ATTENDANCE

Apologies

Nil.

Councillors Present

Cr Jim Memeti (Chairperson)

Cr Peter Brown, Cr Youhorn Chea, Cr Tim Dark, Cr Matthew Kirwan, Cr Angela Long, Cr Zaynoun Melhem, Cr Sean O'Reilly, Cr Maria Sampey, Cr Sean O'Reilly, Cr Sophie Tan, Cr Loi Truong.

Officers Present

John Bennie PSM, Chief Executive Officer, Mick Jaensch, Director Corporate Services, Tilla Buden, Acting Director Community Services, Jody Bosman, Director City Planning, Design and Amenity, Paul Kearsley, Director Business, Engineering and Major Projects.

1.2 ACKNOWLEDGEMENT OF TRADITIONAL OWNERS OF THE LAND

Council acknowledges and pays respect to the past, present and future Traditional Custodians and Elders of this nation and the continuation of cultural, spiritual and educational practices of Aboriginal and Torres Strait Islander peoples.

Cr Maria Sampey entered the Chamber at 7.01pm.

1.3 OFFERING OF PRAYER

All present remained standing as Cr Sophie Tan read the opening prayer provided prior to the meeting by Sr Wijeyavani (Vani) Wijeyakumar from the Brahma Kumaris World Spiritual University, a member of the Greater Dandenong Interfaith Network:

"Om Shanti is a greeting of peace. I will start this reflection with Om Shanti and end the reflection with Om Shanti. First, breathe in peace, breathe out any tension and again. Now, relax the body, feet, shoulders, neck and your thinking, your mind. Then, awaken a memory of your deepest feeling of peace and calm. Remember, listen. Allow calm feelings to flow into you and through you. Connect to this feeling of deep peace and calm, absorb it filling yourself with these feelings, gently return to your inner-most peaceful and calm place. Finally, feeling refreshed and empowered from the peaceful feeling of your calm centre, let this feeling of calm and peace flow out into your life and into the atmosphere of the meeting you are sharing this evening. Om shanti."

1.4 CONFIRMATION OF MINUTES OF PREVIOUS MEETING

Ordinary Meeting of Council held 11 May 2020.

Recommendation

That the minutes of the Ordinary Meeting of Council held 11 May 2020 be confirmed.

MINUTE 1445

Moved by: Cr Tim Dark Seconded by: Cr Loi Truong

That the minutes of the Ordinary Meeting of Council held 11 May 2020 be confirmed.

CARRIED

1.5 ASSEMBLIES OF COUNCIL

The following assemblies of Council occurred in the period 11 May to 18 May 2020:

Date	Meeting Type	Councillors Attending	Councillors Absent	Topics Discussed & Disclosures of Conflict of Interest
11/05/20	Pre-Council Meeting	Peter Brown, Youhorn Chea, Tim Dark, Matthew Kirwan, Angela Long, Zaynoun Melhem (part), Jim Memeti, Sean O'Reilly, Maria Sampey (part), Sophie Tan, Loi Truong	Nil.	- Community Funding COVID-19 Transition Update. (Cr Youhorn Chea disclosed a conflict of interest in this item and left the room during discussion.) - Agenda items for the Council Meeting of 11 May 2020. (Cr Jim Memeti disclosed a conflict of interest when Item 4.3.1 of the Agenda which relates to the Dandenong Market was discussed. He left the room during discussion of this item.)

1.5 ASSEMBLIES OF COUNCIL (Cont.)

Date	Meeting Type	Councillors Attending	Councillors Absent	Topics Discussed & Disclosures of Conflict of Interest
18/05/2020	Councillor Briefing Session	Peter Brown, Youhorn Chea (part), Tim Dark, Matthew Kirwan, Angela Long, Zaynoun Melhem, Jim Memeti, Sean O'Reilly, Maria Sampey, Sophie Tan, Loi Truong	TBA	- Presentation of draft concept plan for the Keysborough South Community Hub Design Project Changes under the new Local Government Act 2020 Suggested names for new single member wards for submission to the Minister for Local Government before 25 May 2020 Outcomes of a Dandenong Market Pty Ltd financial and governance audit (CONFIDENTIAL - Cr Jim Memeti disclosed a conflict of interest in this item and left the room during its discussion.) - Employment options under the Working for Victoria fund Likelihood of SnowFest event being held in 2020 Agenda items for the Council Meeting of 25 May 2020.

Recommendation

That the assemblies of Council listed above be noted.

MINUTE 1446

Moved by: Cr Tim Dark Seconded by: Cr Sophie Tan

That the assemblies of Council listed above be noted.

CARRIED

1.6 DISCLOSURES OF INTEREST

Cr Youhorn Chea disclosed a Conflict of Interest (Indirect interest due to conflicting duties (s.78B) in Item No. 4.3.3: Community Funding: COVID-19 Transition, as he is the President of the Cambodian Association of Victoria, a recipient of funding in this item. Cr Youhorn Chea left the Chamber prior to discussion and voting on this item.

2 OFFICERS' REPORTS - PART ONE

2.1 DOCUMENTS FOR SEALING

2.1.1 Documents for Sealing

File Id: A2683601

Responsible Officer: Director Corporate Services

Report Summary

Under the Victorian Local Government Act, each Council is a body corporate and a legal entity in its own right. Each Council must therefore have a common seal (like any corporate entity) that is an official sanction of that Council.

Sealing a document makes it an official document of Council as a corporate body. Documents that require sealing include agreements, contracts, leases or any other contractual or legally binding document that binds Council to another party.

Recommendation Summary

This report recommends that the listed documents be signed and sealed.

2.1.1 Documents for Sealing (Cont.)

Item Summary

There are two [2] items being presented to Council's meeting of 25 May 2020 for signing and sealing as follows:

- 1. A Tripartite Deed of Release between Greater Dandenong City Council (Council), Miramah Investment Pty Ltd (Miramah) and Australand C&I Land Holdings Pty Ltd as trustee for Frasers Property C&I Land Holdings (Dandenong South No. 3) Trust (Frasers) for the acquisition of land for Taylors Road extension, Dandenong South (Road Reserve); and
- 2. A letter of recognition to Michael Jessop, Engineering Services for 10 years of service to the City of Greater Dandenong.

Recommendation

That the listed documents be signed and sealed.

MINUTE 1447

Moved by: Cr Youhorn Chea Seconded by: Cr Tim Dark

That the listed documents be signed and sealed.

CARRIED

2.2 DOCUMENTS FOR TABLING

2.2.1 Petitions and Joint Letters

File Id: qA228025

Responsible Officer: Director Corporate Services

Attachments: Petitions and Joint Letters

Report Summary

Council receives a number of petitions and joint letters on a regular basis that deal with a variety of issues which have an impact upon the City.

Issues raised by petitions and joint letters will be investigated and reported back to Council if required.

A table containing all details relevant to current petitions and joint letters is provided in Attachment 1. It includes:

- 1. the full text of any petitions or joint letters received;
- 2. petitions or joint letters still being considered for Council response as pending a final response along with the date they were received; and
- 3. the final complete response to any outstanding petition or joint letter previously tabled along with the full text of the original petition or joint letter and the date it was responded to.

Note: On occasions, submissions are received that are addressed to Councillors which do not qualify as petitions or joint letters under Council's current Meeting Procedure Local Law. These are also tabled.

Petitions and Joint Letters Tabled

Council received no new petitions, no joint letters, no submissions and no petition update prior to the Council Meeting of 25 May 2020.

N.B: Where relevant, a summary of the progress of ongoing change.org petitions and any other relevant petitions/joint letters/submissions will be provided in the attachment to this report.

Recommendation

That the listed items detailed in Attachment 1 and the current status of each, be received and noted.

MINUTE 1448

Moved by: Cr Loi Truong Seconded by: Cr Tim Dark

That the listed items detailed in Attachment 1 and the current status of each, be received and noted.

CARRIED

DOCUMENTS FOR TABLING

PETITIONS AND JOINT LETTERS

ATTACHMENT 1

PETITIONS AND JOINT LETTERS

PAGES 6 (including cover)

Date Received	Petition Text (Prayer)	No. of Petitioner s	Status	Responsible Officer Response
17/02/20	PETITION FOR A HARRISFIELD KINDERGARTEN CARPARK AND/OR DROP OFF POINT: TERM 4 – 2019	267	In progress	Tabled Council Meeting 24 February 2020
	Dear whom it may concern,			17/02/20
	I have attached our Harrisfield Kindergarten's Car Park Petition. We have any many issues and dangerous situations regarding not having space for parents families and staff to park their care. We have the room for a small			Responsible Officer – Director Community Services.
	parameter to be built on our reserve land – Ardgower Road side of the			17/02/20
	selvice.			Acknowledgement Email sent to the head petitioner by Governance.
	Please let me know if there is any other information you require. We are very keen to get our petition out there and hopefully can resolve our ongoing issue with unsafe parking.			30/03/20
	Kindest Regards.			Scheduled with the kindergarten last
	Our service has been operating for approx. 60 years and is a wonderful Kindergarten community in Noble Park. We are desperately seeking signatures in a Peititon for us to have a carpark or drop off area for parents to park at drop off and pick up times. Our staff also need a safe spot to park their cars for the whole day – whist at work.			work to a second of the kindergarten requested the meeting be postponed until term two. As soon as they are back up and running another meeting will be organised.
	62 Bowmore Road – Our main address is a 'No Standing Zone' and parents cannot park anywhere along there. There is also a large bend that makes it unsafe for children to be crossing the road, parents stopping their cars to unload children etc.			

If the details of the attachment are unclear please contact Governance on 8571 1000.

Responsible Officer Response								
Status								
No. of Petitioner s								
Petition Text (Prayer)	PETITION FOR A HARRISFIELD KINDERGARTEN CARPARK AND/OR DROP OFF POINT: TERM 4 – 2019 (CONTD)	Ardgower Road is our alternative parking area however there is still no room as local neighbours have to also park their cars. There are many units and townhouses in the street which leaves very few sopts to park.	Not having a carpak is a massive issue for our service as is VERY unsafe for our children and families – present and furture. Our families do resort to double parking or parking illegally as they HAVE to get their children into Kindergarten somehow. We have had a number of people cancel enrolments due to them having nowhere to park their cards.	Please sign our Peititon to help us turn some of our park.reserve on Ardgower Road into a parking facility for our families and staff.				
ate								

If the details of the attachment are unclear please contact Governance on 8571 1000.

Responsible Officer Response		
Status		
No. of Petitioner S		
Petition Text (Prayer)		
Date Received		

Responsible Officer Response	
Status	
No. of Petitioner s	
Petition Text (Prayer)	
Date Received	

THIS PAGE HAS BEEN INTENTIONALLY LEFT BLANK

2.3 STATUTORY PLANNING APPLICATIONS

2.3.1 Planning Decisions Issued by Planning Minister's Delegate - April 2020

File Id: qA280444

Responsible Officer: Director City Planning, Design and Amenity

Attachments: Planning Declared Area Delegated Decisions -

April 2020

Report Summary

This report provides Council with an update on the exercise of delegation by Planning Minister's delegate.

It provides a listing of Town Planning applications that were either decided or closed under delegation or withdrawn by applicants in April 2020.

It should be noted that where permits and notices of decision to grant permits have been issued, these applications have been assessed as being generally consistent with the Planning Scheme and Council's policies.

Application numbers with a PDA#.01 or similar, are applications making amendments to previously approved planning permits.

Recommendation

That the items be received and noted.

MINUTE 1449

Moved by: Cr Angela Long Seconded by: Cr Tim Dark

That the items be received and noted.

CARRIED

2.3.1 Planning Decisions Issued by Planning Minister's Delegate - April 2020 (Cont.)

STATUTORY PLANNING APPLICATIONS

PLANNING DECISIONS ISSUED BY PLANNING MINISTER'S DELEGATE – APRIL 2020

ATTACHMENT 1

PDA DELEGATED DECISIONS ISSUED APRIL 2020

PAGES 2 (including cover)

2.3.1 Planning Decisions Issued by Planning Minister's Delegate - April 2020 (Cont.)

	PDA	. Delegated Decis	PDA Delegated Decisions Issued 1/04/2020 to 30/04/2020	30/04/2020	Ö	ty of Gre	eater Da	City of Greater Dandenong
Application ID	Property Address	Applicant	Description	Notes	Authority	Authority Decision	Decision Notified	Ward
PDA12/0013.02	1/60 Clow Street DANDENONG VIC 3175	Progress Planning Pty Ltd	AMENDMENT TO - Mixed Use Development (3 lotevs) 254 x apartments, gymnasium, refail, medical centre, and basement carparking	Residential Growth Zone 1 The application proposes substantial changes to what was approved under permit PDA120013, including but not milited to a eduction in car parking, change to building theights and dwelling types, reduction in the number of dwellings, reduction in the number of dwellings, reduction in the number of changes, reduction in the number of changes, reduction in the number of care parking, care pages.	Delegate	AmendPerm	27/04/2020	RedGum
				5		Total:	-	
LNICHO			-					1/05/2020

2.3.2 Planning Delegated Decisions Issued - April 2020

File Id: qA280

Responsible Officer: Director City Planning, Design and Amenity

Attachments: Planning Delegated Decisions Issued - April 2020

Report Summary

This report provides Council with an update on the exercise of delegation by Council officers.

It provides a listing of Town Planning applications that were either decided or closed under delegation or withdrawn by applicants in April 2020.

It should be noted that where permits and notices of decision to grant permits have been issued, these applications have been assessed as being generally consistent with the Planning Scheme and Council's policies.

Application numbers with a PLN#.01 or similar, are applications making amendments to previously approved planning permits.

The annotation 'SPEAR' (Streamlined Planning through Electronic Applications and Referrals) identifies where an application has been submitted electronically. SPEAR allows users to process planning permits and subdivision applications online.

Recommendation

That the items be received and noted.

MINUTE 1450

Moved by: Cr Tim Dark Seconded by: Cr Sophie Tan

That the items be received and noted.

CARRIED

STATUTORY PLANNING APPLICATIONS

PLANNING DELEGATED DECISIONS ISSUED - APRIL 2020

ATTACHMENT 1

PLANNING DELEGATED DECISIONS ISSUED APRIL 2020

PAGES 7 (including cover)

	<u>. </u>	Planning Delegated D	ecisions Issued from	Delegated Decisions Issued from 01/04/2020 to 30/04/2020	2020	City of	City of Greater Dandenong	r Dande	nong
Application ID	VicSmart	Property Address	Applicant	Description	Notes	Authority	Decision	Date	Ward
2001/0186.01	O Z	160 South Gippsland Highway DANDENONG SOUTH VIC 3175	Stentech Pty Ltd	This permit application seeks to amend the permit and plans endorsed to 2000/0186 pursuant to s.72 of the Planning and Environment Act by way of the following: To delete condition 1.1, To amend the plans endorsed to the permit.	Amend permit to allow new equipment	Delegate	AmendPerm	27/04/2020	RedGum
91/40.01	°Z	23 Balmoral Avenue SPRINGVALE VIC 3171	Springvale Dental Group	Amendment to Planning Permit 91/40	Delete Conditions relating to the number of consulting practitioners allowed	Delegate	AmendPerm	27/04/2020 Lightwood	Lightwood
PLN11/0777.02	o Z	112-118 Thomas Murrell Crescent DANDENONG SOUTH VIC 3175	Polytrade Recycling Pty Ltd	AMENDMENT TO: Amendment to planning permit PLN1/10777 which allowed for buildings and works comprising the construction of a building and the use of the alland for materials recycling. The amendment seeks to amend the endorsed plans and amend the conditions of the permit.	Amend permit to allow installation of outdoor glass storage bays	Delegate	AmendPerm	24/04/2020	RedGum
PLN16/0052.01	S S	525-531 Frankston Dandenong Road DANDENONG SOUTH VIC 3175	St Thomas Syro-Malabar Parish	AMENDMENT TO: Change of Use (Place of Worship)	Amend endorsed plans to show extension and facade changes	Delegate	AmendPerm	22/04/2020	RedGum
PLN17/0238.04	o _N	84-100 Pacific Drive KEYSBOROUGH VIC 3173	Stephen D'Andrea Pty Ltd	AMENDMENT TO: PLINT/023803, issued for the development and use of forty-nine (49) warehouses, to allow for buildings and works (mezzanine) and a reduction in the car parking requirements.	Amend permit to allow a maximum and reduction of car parking	Delegate	AmendPerm	30/04/2020	RedGum
PLN17/0386.01	O _N	10 Whitworth Avenue SPRINGVALE VIC 3171	Rarchitecture	AMENDMEMTTO: To develop the Amend endorsed plans to land for five (5) double storey allow multiple changes to the dwellings development	Amend endorsed plans to allow multiple changes to the development	Delegate	AmendPerm	AmendPerm 28/04/2020 Lightwood	Lightwood

Application ID	VicSmart	Property Address	Applicant	Description	Notes	Authority	Decision	Date	Ward
PLN17/0884.01	8	Vacant Land 103 Princes Highway DANDENONG SOUTH VIC 3175	Idle Architecture Studio	AMEND The development and use of the site as a child care centre and to reduce the car parking requirement	Amend permit Condition 8 relating to trading hours	Delegate	AmendPerm	06/04/2020	RedGum
PLN18/0325,01	o Z	1210 Heatherton Road NOBLE PARK VIC 3174	Jesse Ant Architects	AMENDMENT TO: Development of the land for six (6) double storey dwellings: Alteration of access to a road in a Road Zone Caregory 1; and Construction of a front fence exceeding the maximum height specified in clause 55.06-2. To allow amendments to the plans originally considered.	Amend endorsed plans to change the location of the parking due to location of sewerage pipe	Delegate	AmendPerm	03/04/2020	Paperbark
PLN18/0624.01	o Z	2 Young Street SPRINGVALE VIC 3171	The Ellis Group Architects Pty Ltd	AMENDMENT TO: Use and development of the land for a child care centre and to create or alter access to a road in a Road Zone, Category 1	Amend endorsed plans to allow proposed 600mm increase in building height and reconfiguration of car park layout	Delegate	AmendPerm	15/04/2020	Lightwood
PLN19/0154.01	o Z	468 Chettenham Road KEYSBOROUGH VIC 3173	Ratio Consultants Pty Ltd	AMENDMENT TO: Use and development of the land for two (2) supermarkets, restricted retail premises, shop and a reduction in the car parking requirements	Amend permit preamble and endorsed plans, delete Condition 1	Delegate	AmendPerm	03/04/2020	RedGum
PLN19/0226.01	o Z	22 Stuart Street NOBLE PARK VIC 3174	SHK Noble Park 02 Pty Ltd	AMENDMENT TO: The development of the land for six (6) dwelling for the alteration of colours and materials and to the first floor windows	Amend permit to allow for amendment of plans, reduction of windows and doors on first floor and change of material finishes	Delegate	AmendPerm	17/04/2020	Paperbark
PLN19/0338	° Z	31 MacPherson Street DANDENONG VIC 3175	SMART Town Planning Pty Ltd	Development of the land for five (5) double-storey dwellings	The proposal fails to comply with Clause 12 (Building Design & Neighbourhood Character), Clause 22.09 (Hesidental Development & Roughbourhood Character), Clause 22.09 (Residental Development & Roughbourhood Character), Clause 32.08 (Losign Objectives), Clause 35.08 (Josign Arrea) and Clause 32.08 (Garden Arrea)	Delegate	Refusal	30/04/2020	RedGum
OCHAVE			C				0.000		

Application ID	VicSmart	Property Address	Applicant	Description	Notes	Authority	Decision	Date	Ward
PLN19/0468	ON N	5 Treesbank Avenue SPRINGVALE VIC 3171	Designworx Architects	Development of the land for three (3) dwellings (two (2) double storey dwellings and one (1) single storey dwelling to the rear)	General Residential 1 Zone, 696sqm	Delegate	PlanPermit	03/04/2020	Lightwood
PLN19/0491	0 N	245 Perry Road KEYSBOROUGH VIC 3173	Aduro Australia Pty Ltd	The development of the land for twelve (12) warehouse buildings in stages, a reduction to the car parking requirements pursuant to clause 52.06, the creation of a reserve, and the lopping of native vegetation,	Industrial 1 Zone, 7159sqm, warehouse x 12	Delegate	PlanPermit	28/04/2020	RedGum
PLN19/0540	o N	38 Dunblane Road NOBLE PARK VIC 3174	Oday Alsharbati	Development of the land into three (3) double storey dwellings	General Residential 1 Zone, 670sqm	Delegate	PlanPermit	30/04/2020	Paperbark
PLN19/0543	0 N	1 Clay Court DANDENONG NORTH VIC 3175	Abhisek & Vishali Mukhi	Development of the land for one (1) single storey dwelling to the rear of an existing single storey dwelling and alterations to the existing dwelling	General Residential 1 Zone, 605sqm	Delegate	PlanPermit	21/04/2020	Silverleaf
PLN19/0544	o N	25 Newcomen Road SPRINGVALE VIC 3171	Sut Chuen Kwok	Development of the land for two (2) double storey dwellings	General Residential 1 Zone, 593sqm	Delegate	PlanPermit	22/04/2020	Lightwood
PLN19/0547	o Z	165 Cheltenham Road DANDENONG VIC 3175	Jason Broadfoot	To Display Business Identification Signage	Industrial 1 Zone, business identification	Delegate	PlanPermit	24/04/2020	RedGum
PLN19/0550	° Z	27 Agnes Street NOBLE PARK VIC 3174	One Degree Odessa Pty Ltd	The development of the land for four (4) double storey dwellings with basement level	Proposal fails to comply with Clauses 15 (Built Environment & Heritage), 21.04 (Land Use), 21.05 (Built Form), 32.08 (Schedule to General Residential Zone), 22.09.31.433 (Design Principles) and Clause 55 (Objectives & Standards)	Delegate	Refusal	09/04/2020	Paperbark
PLN19/0579	o Z	37 Union Grove SPRINGVALE VIC 3171	Kiem Phuong	Development of the land for two (2) double storey dwellings	Residential Growth 1 Zone, 557sqm	Delegate	PlanPermit	03/04/2020	Lightwood
FANTOS			er.				01/05	01/05/2020	

Application ID	VicSmart	Property Address	Applicant	Description	Notes	Authority	Decision	Date	Ward
PLN19/0581	o N	35-45 Frankston Dandenong Road DANDENONG SOUTH VIC 3175	Robert Davis	Buildings and works to construct three (3) warehouses and removal of native vegetation	Industrial 1 Zone, 165500sqm	Delegate	PlanPermit	02/04/2020	RedGum
PLN19/0582	O _N	8 Joan Court NOBLE PARK NORTH VIC 3174	Schored Projects	Development of the land for three (3) dwellings (two (2) double storey dwellings and one (1) single storey dwelling to the rear)	General Residential 1 Zone, 662sqm	Delegate	PlanPermit	16/04/2020	Silverleaf
PLN19/0607	o Z	32 Curtin Crescent DANDENONG NORTH VIC 3175	VKAS Design Group Pty Ltd	Development of the land for two (2) dwellings (one (1) single storey dwelling to the rear of one (1) double storey dwelling	General Residential 1 Zone, 557sqm	Delegate	PlanPermit	23/04/2020	RedGum
PLN19/0632	ON N	268 Corrigan Road NOBLE PARK VIC 3174	Abacus Designs & Planning	Development of the land for three (3) dwellings (two (2) double storey dwellings and one (1) single storey dwelling to the rear of the lot)	Neighbourhood Residential 1 Delegate Zone, 733sqm	Delegate	PlanPermit	30/04/2020	Lightwood
PLN19/0649	o Z	59 Bowmore Road NOBLE PARK VIC 3174	Strait-Line Builders & Drafters Pty Ltd	The development of the land for four (4) double storey dwellings	General Residential 1 Zone, 1011sqm	Delegate	PlanPermit	30/04/2020	Paperbark
PLN20/0014	o Z	256 Hutton Road KEYSBOROUGH VIC 3173	Builde Pty Ltd	Buildings and Works (Front Fence)	No response to further information request	Delegate	Lapsed	27/04/2020	RedGum
PLN20/0031	ON	16-24 Princes Highway DANDENONG VIC 3175	ODC Design c/- Ratio Consultants Pty Ltd	To display non-illuminated business identification signage DECLARED AREA	Comprehensive Development 2 Zone, business identification signage	Delegate	PlanPermit	22/04/2020	RedGum
PLN20/0038	o Z	250 Femside Drive BANGHOLME VIC 3175	Bao Guo Yang c/- KLM Spatial	Subdivision of land into two (2) lots Farming Zone - Agricultural SPEAR	Farming Zone - Agricultural	Delegate	PlanPermit	03/04/2020	RedGum
PLN20/0042	° Z	452 Cheltenham Road KEYSBOROUGH VIC 3173	SB & G-452 Cheltenham Road Keysborough Pry Ltd	Multi lot subdivision SPEAR	Commercial	Delegate	PlanPermit	03/04/2020	RedGum
SCHNAR							70/10	04/08/2020	

Application ID	VicSmart	Property Address	Applicant	Description	Notes	Authority	Decision	Date	Ward
PLN20/0061	o Z	79A Herbert Street DANDENONG VIC 3175	Fatemiya Cultural Centre Inc	Use of the land for a place of assembly (cultural centre) and display of business identification signage	General Residential 1 Zone, 10-19 patrons, business identification sign	Delegate	PlanPermit	23/04/2020	RedGum
PLN20/0072	Yes	45 Healey Road DANDENONG SOUTH VIC 3175	Metro Building Designers	To carry out works VICSMART	Industrial 1 Zone, demolition of shed and alterations to existing warehouse	Delegate	PlanPermit	14/04/2020	RedGum
PLN20/0080	°Z	Storage Yard 3/10-36 Abbotts Road DANDENONG SOUTH VIC 3175	Goodman Property Services (Aust) Pty Ltd	Buildings and Works (Earthworks) and the Removal of Easements and the Creation of Easements	Industrial 1 Zone, bulk earthworks and realignment of drainage easement	Applicant	Withdrawn	23/04/2020	RedGum
PLN20/0082	o Z	10 Brindley Street DANDENONG SOUTH VIC 3175	Quality First Designs Pty Ltd	Buildings and Works (Warehouse)	Industrial 3 Zone, 1263sqm, warehouse and ancillary office	Delegate	PlanPermit	21/04/2020	RedGum
PLN20/0086	o Z	100-130 Abbotts Road DANDENONG SOUTH VIC 3175	Diadem	To display a pylon sign	Industrial 1 Zone, property identification sign	Delegate	PlanPermit	27/04/2020	RedGum
PLN20/0091	o Z	Vacant Land 87 Princes Highway DANDENONG SOUTH VIC 3175	Lushida Investments Pty Ltd	Creation of a Reserve SPEAR	Commercial	Delegate	PlanPermit	15/04/2020	RedGum
PLN20/0096	o Z	30 Springvalley Crescent КЕҮSBOROUGH VIС 3173	MG Land Surveyors	Subdivision of the land into three (3) lots SPEAR	Residential	Delegate	PlanPermit	24/04/2020	Paperbark
PLN20/0099	o Z	81 Princes Highway DANDENONG SOUTH VIC 3175	Diadem	The development and display of a business identification sign	Commercial 2 Zone, business identification signage	Delegate	PlanPermit	17/04/2020	RedGum
PLN20/0108	o _N	309 Stud Road DANDENONG NORTH VIC 3175	Linear Land Surveying Pty Ltd	Subdivision of the land into four (4) Residential lots SPEAR	Residential	Delegate	PlanPermit	15/04/2020	Silverleaf
EANTOS			5				01/0	01/05/2020	

Application ID	VicSmart	Property Address	Applicant	Description	Notes	Authority	Decision	Date	Ward
PLN20/0109	NO N	1 Princess Avenue SPRINGVALE VIC 3171	Nobelius Land Surveyors Pty Ltd	Subdivision of the land into three (3) lots SPEAR	Residential	Delegate	PlanPermit	22/04/2020	Lightwood
PLN20/0125	o N	17 Raymond Street NOBLE PARK VIC 3174	Nacha Moore Land Surveyors Pty Ltd	Subdivision of the land into four (4) Residential lots SPEAR	Residential	Delegate	PlanPermit	22/04/2020	Paperbark
PLN20/0134	o N	382 Greens Road KEYSBOROUGH VIC 3173	Stephen D'Andrea Pty Ltd	Buildings and Works (Warehouse)	Industrial 1 Zone, 5281sqm, warehouse and ancillary office	Delegate	PlanPermit	30/04/2020	RedGum
PLN20/0144	o _N	4 Mary Street SPRINGVALE VIC 3171	Nilsson Noel & Holmes (Surveyors) Pty Ltd	Subdivision of the land into four (4) Residential lots SPEAR	Residential	Delegate	PlanPermit	23/04/2020	Lightwood
PLN20/0148	Yes	1/2 Darby Way DANDENONG SOUTH VIC 3175	Evie Ridgway	Development of the land for a shelter and an outdoor area VICSMART	Industrial 3 Zone, 7.4sqm	Delegate	PlanPermit	03/04/2020	RedGum
PLN20/0154	o N	5 Yarra Court DANDENONG NORTH VIC 3175	Hiran Kurukulasuriya Marius Dominic Leitan	Subdivision of the land into two (2) lots SPEAR	Residential	Delegate	PlanPermit	23/04/2020	Silverleaf
PLN20/0158	Yes	150-180 Greens Road DANDENONG SOUTH VIC 3175	Generate Property Group	Buildings and works to construct a crossover and accessway VICSMART	Industrial 1 Zone, crossover & internal accessway	Delegate	PlanPermit	22/04/2020	RedGum
45									
RANTOS			C				01/05	04/05/2020	

File Id: 106895

Responsible Officer: Director City Planning, Design and Amenity

Attachments: Submitted Plans

Location of Objectors Clause 22.09 Assessment Clause 52.06 Assessment Clause 55 Assessment

Application Summary

Applicant: Chung Dao

Proposal: Development of the land for three (3) double storey dwellings

Zone: General Residential Zone – Schedule 1

Overlay: Nil

Ward: Lightwood

The application has been brought to a Council meeting as it has received two (2) objections.

The application proposes to develop the land for three (3) double storey dwellings on a lot.

A permit is required pursuant to:

• Clause 32.08-6 (General Residential Zone) of the Greater Dandenong Planning Scheme to construct two or more dwellings on a lot.

Objectors Summary

The application was advertised to the surrounding area through the erection of two (2) on-site notices and the mailing of notices to adjoining and surrounding owners and occupiers. Two (2) objections were received to the application. Issues raised generally relate to matters of:

- Overshadowing;
- North facing habitable room windows and solar panels;
- Overdevelopment of the site;
- Traffic and parking;
- Neighbourhood character.

Assessment Summary

The site is located within an established residential area and is well suited for low to medium density housing given that the site is zoned for incremental change. The proposal seeks to provide a medium housing density development which is generally consistent with the emerging pattern of development and the surrounding neighbourhood character. It is noted that the development complies with most of the design principles, as demonstrated in the attachments outlined in this report.

The development is generally compliant with Clause 55, responding to site context and site circumstances, while respecting the existing and preferred neighbourhood character envisaged by Clause 22.09.

Recommendation Summary

As assessed, the proposal is consistent with and appropriately responds to the provisions of the Greater Dandenong Planning Scheme. The proposal appropriately responds to strategic policy for residential development in the area with this report recommending that the application be supported, and a **Notice of Decision** (which provides appeal rights to objectors) to grant a permit be issued containing the conditions as set out in the recommendation.

Subject Site and Surrounds

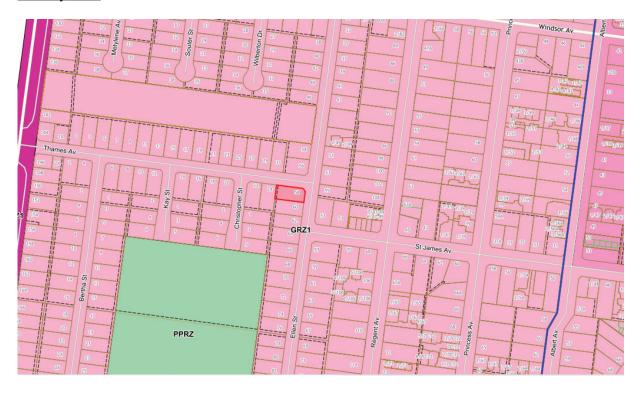
Subject Site

- The subject site is located on the corner of Ellen Street and Thames Avenue in Springvale;
- The site is orientated to the east with a frontage of 13.33 metres to Ellen Street and to the north with a frontage of 31.09 metres with an overall area of 554 square metres;
- A drainage easement runs along the western boundary of the site containing a Council drainage asset;
- The site currently has a single storey detached brick dwelling with a large iron garage and outbuilding to the west and limited landscaping;
- The site is currently accessed via a single width crossover from Thames Avenue.

Surrounding Area

- The subject site is located within an established residential area containing a predominant character of single storey detached brick dwellings on a lot;
- The built form is generally single storey with incremental multi-unit development emerging along Regent Avenue, 100 metres to the east of the site;
- The Springvale Activity Centre is located approximately 310 metres to the east of the site;
- The site is located within proximity of the following community services:
- 1050 metres from Springvale Train Station;
- 860 metres from bus routes 813, 814, 885 and 902 along Springvale Road;
- 280 metres from bus route 824 along Westall Road;
- 220 metres from Windsor Avenue local shops within a Commercial 1 Zone:
- o 65 metres from Norman Luth Reserve.

Locality Plan



Background

Previous Applications

A search of Council records revealed no previous planning applications have been considered for the subject site.

Subject Application

Proposal

The application proposes the development of the land for three (3) double storey dwellings. The details of the proposal are as follows:

Type of proposal	Multi-dwelling development
Number of dwellings	Three (3) dwellings in total
Levels	Double storey
Height	Maximum height of 7.2 metres
Orientated to	Dwelling One (1): Oriented to Ellen Street

	Dwelling Two (2) and Three (3): Oriented to Thames Avenue
External materials	Ground floor: Face brick and rendered finish
	First floor: Rendered finish, horizontal cladding
	Garage: Timber sectional panel lift door
Setbacks	North (side – Thames Avenue): 3.0 metres minimum setback
	East (front – Ellen Street): 7.5 metres minimum setback
	South (side): 1.2 metres
	West (rear): 1.83 metres
Private open space	Ground floor private open space
type	Dwelling One (1)
	A total area of 113.9 square metres to the front and side of the dwelling, including a minimum area of 30.5 square metres of secluded private open space to the side with a minimum dimension of 5.04 metres and convenient access to the main living area.
	Dwelling Two (2)
	A total area of 51 square metres provided to the front and rear of the dwelling, including a minimum area of 30.1 square metres of secluded private open space to the rear with a minimum dimension of 5 metres and convenient access to the main ground floor living area
	Dwelling Three (3) A total area of 73.8 square metres to the front side and rear of the dwelling, including a minimum area of 31.2 square metres of secluded private open space with a minimum dimension of 5 metres and convenient access to the main living area
Number of bedrooms	Dwelling One (1) - Three bedrooms
per dwelling	Dwelling Two (2) - Two bedrooms
	Dwelling Three (3) - Three bedrooms
L	

Number of car parking spaces required	One (1) car parking space required for each one or two bedroom dwelling. Two (2) car parking spaces required for each three or more bedroom dwelling. A total of five (5) car parking spaces are required.
Number of car parking spaces provided	A total of six (6) car parking spaces are provided for the dwellings.
Type of car parking	Dwelling One (1) is provided with a single garage and tandem car space. Dwelling Two (2) and Three (3) are provided with a single carport and tandem space.
Access	Two crossovers are proposed to be located to the north connecting to Thames Avenue and one crossover to the east connecting to Ellen Street. There will be one accessway per dwelling frontage, each with a minimum width of 3 metres.
Front fence	No front fence is proposed.
Garden area required	166 square metres and 30%
Garden area provided	253 square metres and 45%

A copy of the submitted plans is included as Attachment 1.

Victorian Charter of Human Rights and Responsibilities

The Victorian Charter of Human Rights and Responsibilities has been considered in the preparation of this report but is not relevant to its contents.

Financial Implications

No financial resources are impacted by this report.

Planning Scheme and Policy Frameworks

Pursuant to the Greater Dandenong Planning Scheme, a planning permit is required:

 Under Clause 32.08-6 (General Residential Zone) to construct two (2) or more dwellings on a lot.

The relevant controls and policies are as follows:

Zoning Controls

The subject site is located in a General Residential Zone, as is the surrounding area.

The purpose of the General Residential Zone outlined at Clause 32.08-6 is:

- To implement the Municipal Planning Strategy and the Planning Policy Framework.
- To encourage development that respects the neighbourhood character of the area.
- To encourage a diversity of housing types and housing growth particularly in locations offering good access to services and transport.
- To allow educational, recreational, religious, community and a limited range of other non-residential uses to serve local community needs in appropriate locations.

Pursuant to Clause 32.08-6 a permit is required to construct two or more dwellings on a lot. The development must also provide a minimum garden area of 30% pursuant to Clause 32.08-4 as the lot exceed 600 square metres.

It is noted that within Schedule 1 to the zone, varied requirements of Clause 55 are set out as follows:

- Standard B6 (Minimum Street Setback) As per B6 or 7.5 metres, whichever is the lesser;
- Standard B9 (Permeability) Minimum of 30%; [only valid for GRZ1, not GRZ2];
- Standard B13 (Landscaping) 70% of ground level front setback, and side and rear setbacks, planted with substantial landscaping and canopy trees [only valid for GRZ1, not GRZ2];
- Standard B28 (Private Open Space) An area of 50 square metres of ground level, private open space, with one part of the private open space to consistent of secluded private open space at the side or rear of the dwelling with a minimum area of 30 square metres, and a minimum dimension of 5 metres and convenient access from a living room; or a balcony with a minimum area of 10 square metres with a minimum width of 2 metres and convenient access from a living room; and
- Standard B32 (Front Fence Height) Maximum 1.5 metre height in streets in Road Zone Category 1, 1.2 metre maximum height for other streets.

Overlay Controls

No overlays affect the subject site or surrounding area.

Planning Policy Framework

The **Operation of the Planning Policy Framework** outlined at Clause 10 seeks to ensure that the objectives of planning in Victoria are fostered through appropriate land use and development planning policies and practices which integrate relevant environmental, social and economic factors in the interests of net community benefit and sustainable development. The objectives of Planning in Victoria are noted as:

(a) To provide for the fair, orderly, economic and sustainable use, and development of land.

- (b) To provide for the protection of natural and man-made resources and the maintenance of ecological processes and genetic diversity.
- (c) To secure a pleasant, efficient and safe working, living and recreational environment for all Victorians and visitors to Victoria.
- (d) To conserve and enhance those buildings, areas or other places which are of scientific, aesthetic, architectural or historical interest, or otherwise of special cultural value.
- (e) To protect public utilities and other facilities for the benefit of the community.
- (f) To facilitate development in accordance with the objectives set out in paragraphs (a), (b), (c), (d) and (e).
- (g) To balance the present and future interests of all Victorians.

In order to achieve those objectives, there are a number of more specific objectives contained within the State Planning Policy Framework that need to be considered under this application.

Settlement (Clause 11)

Settlement is outlined at Clause 11, with Clause 11.02 relating to Managing Growth. The objective of this Clause include:

• To ensure a sufficient supply of land is available for residential, commercial, retail, industrial, recreational, institutional and other community uses.

Built Environment and Heritage (Clause 15)

Planning should promote excellence in the built environment and create places that:

- Are enjoyable, engaging and comfortable to be in.
- Accommodate people of abilities, ages and cultures.
- Contribute positively to local character and sense of place.
- Reflect the particular characteristics and cultural identity of the community.
- Enhance the function, amenity and safety of the public realm.

Housing (Clause 16)

Clause 16 – Housing – contains the following relevant objectives:

- Planning should provide for housing diversity, and ensure the efficient provision of supporting infrastructure.
- Planning should ensure the long term sustainability of new housing, includ9ing access to services, walkability to activity centres, public transport, schools and open space.
- Planning for housing should include the provision of land for more affordable housing.

Clause 16.01-3S – Housing Diversity – contains the following strategies:

- Ensure housing stock matches changing demand by widening housing choice.
- Facilitate diverse housing that offers choice and meets changing household needs through:
 - A mix of housing types.
 - o Adaptable internal dwelling design.
 - o Universal design.
- Encourage the development of well-design medium-density housing that:
 - Respects the neighbourhood character.
 - o Improves housing choice.
 - Makes better use of existing infrastructure.
 - o Improves energy efficiency of housing.
- Support opportunities for a range of income groups to choose housing in well serviced locations.
- Ensure planning for growth areas provides for a mix of housing types through a variety of lot sizes, including higher housing densities in and around activity centres.

Clause 18 - Transport

Clause 18.01-1S - Land use and transport planning – contains the following relevant strategies:

- Plan urban development to make jobs and community services more accessible by:
 - Ensuring access is provided to developments in accordance with forecast demand, taking advantage of all available modes of transport and to minimise adverse impacts on existing transport networks and the amenity of surrounding areas.

Local Planning Policy Framework

The Local Planning Policy Framework (LPPF) includes the Municipal Strategic Statement (MSS) and Local Policies.

The MSS is contained within Clause 21 of the Scheme. The MSS at **Clause 21.02** focuses on the **Municipal Profile**, within which the following is noted:

- There is considerable diversity within Greater Dandenong's housing stock. Most housing stock is between 30 to 50 years old, though there are some areas with dwellings in excess of 100 years old. Areas of newer housing are located in the north-east and central southern areas, with in-fill development occurring across the municipality (Clause 21.02-3).
- Higher density housing is generally located in proximity to railway stations and major shopping centres, in particular in central Dandenong (Clause 21.02-3).

- Whilst there is a clear pre-dominance of single detached dwellings, there are a range of other types of dwellings including dual occupancies, villa-units, town houses and apartments. The highest concentration of older villa units and apartments and more recent multi-unit redevelopments have occurred around central Dandenong, Springvale and Noble Park activity centres (Clause 21.02-4).
- With diverse cultural groups that call Greater Dandenong home, there are certain distinct precincts that are emerging that have their own character. Their built form is characterised by buildings with flat unarticulated facades, prominent balconies, limited frontage/side setbacks, limited or no landscaping (Clause 21.02-4).

A **Vision for Greater Dandenong** is outlined at **Clause 21.03**. The vision is that Greater Dandenong will be a municipality where housing diversity and choice is promoted in its various attractive neighbourhoods.

The objectives and strategies of the MSS are under four (4) main themes including: land use; built form; open space and natural environment; and, infrastructure and transportation (considered individually under Clauses 21.04 to 21.07). Of particular relevance to this application are Clauses 21.04 – Land Use and 21.05 Built Form.

Clause 21.04-1 Housing and community

- Greater Dandenong's population is expected to rise by 22 percent, from 147,000 to 179,000 in the decade to 2024, placing pressure on transport networks, infrastructure, services and public open space.
- Approximately 9,950 new households will need to be accommodated across the municipality by 2024 (Greater Dandenong Housing Strategy 2014-2024).
- Increases in housing density must be balanced by adequate provision of open space, good urban design and improvements to the public realm.
- Encourage the provision of housing that is adaptable to support the needs of the changing needs of present and future residents.
- Encourage new residential development that incorporates adequate space for the planting and the long term viability of safe retention of canopy trees.
- Respect the valued, existing neighbourhood character within incremental and minimal change areas.

Clause 21.05-1 Urban Design, character, streetscapes and landscapes – contains the following relevant objectives and strategies:

- To facilitate high quality building design and architecture.
 - Ensure building design is consistent with the identified future character of an area and fully integrates with surrounding environment.
 - Encourage high standards of building design and architecture, which allows for flexibility and adaptation in use.
 - Encourage innovative architecture and building design.

- Encourage development to incorporate sustainable design elements that enhance occupant comfort and environmental performance
- To facilitate high quality development, which has regard for the surrounding environment and built form.
 - Promote views of high quality landscapes and pleasing vistas from both the public and private realm.
 - Promote all aspects of character physical, environmental, social and cultural.
 - Encourage planting and landscape themes, which complement and improve the environment.
 - Encourage developments to provide for canopy trees.
 - Recognising valued existing neighbourhood character and promoting identified future character as defined in the Residential Development and Neighbourhood Character Policy at Clause 22.09.
- To protect and improve streetscapes
 - Ensure that new developments improve streetscapes through generous landscape setbacks and canopy tree planting.
 - Ensure landscaping within private property that complements and improves the streetscapes and landscaping of public areas.
- To ensure landscaping that enhances the built environment
 - Encourage new developments to establish a landscape setting, which reflects the local and wider landscape character.
 - Encourage landscaping that integrates canopy trees and an appropriate mix of shrubs and ground covers and complements and integrates with existing or proposed landscaping in public areas.

Clause 22.09 – Residential Development & Neighbourhood Character Policy – contains the following objectives at Clause 22.09-2:

- To guide the location and design of different types of residential development within Greater Dandenong, having regard to State and local planning policies, while respecting the valued characteristics and identified future character of residential neighbourhoods.
- To ensure that new residential development is consistent with the identified future character and preferred built form envisaged for the three Future Change Areas.
- To provide certainty about which areas are identified for, or protected from, increased residential development consistent with the purpose of the applicable zone.
- To facilitate high quality, well designed residential development and on-site landscaping.

- To promote a range of housing types to accommodate the future needs of the municipality's changing population.
- To ensure that residential development uses innovative, responsive and functional siting and design solutions that:
 - Achieve high quality internal amenity and private open space outcomes for future residents;
 - Make a positive contribution to the streetscape through quality design, contextual responsiveness and visual interest;
 - Promote public realm safety by maximising passive surveillance.
 - Demonstrate responsiveness to the site, adjoining interfaces, streetscape and landscape context:
 - Respect the amenity of adjoining residents and the reasonable development potential of adjoining properties;
 - Achieve environmentally sustainable design outcomes;
 - Use quality, durable building materials that are integrated into the overall building form and façade; and
 - Minimise the visual dominance of vehicle accessways and storage facilities, such as garages, car ports and basement entrances.

Clause 22.09-3.1 (Design Principles) provides design principles, which apply to all Future Change Areas.

Clause 22.09-3.3 (Incremental Change Areas) provides design principles, some of which also relate to the variances to the requirements of standards to Clause 55 under the schedule to the General Residential Zone. The guidelines are as follows:

- Preferred housing type The preferred housing type for the Incremental Change Area is medium density.
- Building Height The preferred maximum building height for land within the GRZ1 and GRZ2 is up to 2 storeys, including ground level.
- Landscaping Residential development should use landscaping to create a landscaped character, particularly canopy trees in front and rear gardens; and to protect the outlook of adjoining properties.
- Setbacks, front boundary and width Parking, paving and car access within the front boundary setback should be limited in order to maximise the opportunity for soft landscaping and prevent the over dominance of carport and garages in the street.
- Private Open Space Residential development should provide secluded private open space at the side or rear of each dwelling to avoid the need for excessive screening or high front fencing.
- Bulk Residential development should:
 - Ensure that the built form respects the scale of existing prevailing built form character and responds to site circumstances and streetscape;
 - Provide separation between dwellings at upper level;

- Retain spines of open space at the rear of properties to maximise landscaping opportunities and protect private secluded open space;
- Position more intense and higher elements of built form towards the front and centre of a site, transitioning to single storey elements to the rear of the lot.
- The rearmost dwelling on a lot should be single storey to ensure the identified future character
 of the area and the amenity of adjoining properties is respected by maximising landscaping
 opportunities and protecting adjoining private secluded open space.
- Two storey dwellings to the rear of a lot may be considered where:
 - The visual impact of the building bulk does not adversely affect the identified future character of the area:
 - Overlooking and/or overshadowing does not adversely affect the amenity of neighbouring properties;
 - The building bulk does not adversely affect the planting and future growth of canopy trees to maturity;
 - Sufficient side and rear boundary landscaping can be provided to screen adjoining properties;
 - Upper storey components are well recessed from adjoining sensitive interfaces.
- Residential development should be well articulated through the use of contrast, texture, variation in forms, materials and colours.

Particular Provisions

Car Parking (Clause 52.06)

The purposes of this provision, Clause 52.06, are:

- To ensure that car parking is provided in accordance with the Municipal Planning Strategy and the Planning Policy Framework.
- To ensure the provision of an appropriate number of car parking spaces having regard to the demand likely to be generated, the activities on the land and the nature of the locality.
- To support sustainable transport alternatives to the motor car.
- To promote the efficient use of car parking spaces through the consolidation of car parking facilities.
- To ensure that car parking does not adversely affect the amenity of the locality.
- To ensure that the design and location of car parking is of a high standard, creates a safe environment for users and enables easy and efficient use.

Clause 52.06-2 notes that a new use must not commence or the floor area of an existing use must not be increased until the required car spaces have been provided on the land.

The required spaces are identified in the table to Clause 52.06-5. Clause 52.06-3 further notes that a permit may be granted to reduce or waive the number of car spaces required by the table.

The table at Clause 52.06-5 notes that a dwelling with 1 or 2 bedrooms requires 1 car space and a dwelling with 3 or more bedrooms requires 2 spaces to each dwelling.

Car parking is to be designed and constructed in accordance with the requirements of Clause 52.06-9 and 52.06-11 of the Scheme.

Two or more dwellings on a lot and residential buildings (Clause 55)

Pursuant to Clause 55 of the Greater Dandenong Planning Scheme, the provisions of this Clause apply to an application:

• To construct two or more dwellings on a lot.

The purposes of this clause are:

- To implement the Municipal Planning Strategy and the Planning Policy Framework.
- To achieve residential development that respects the existing neighbourhood character or which contributes to a preferred neighbourhood character.
- To encourage residential development that provides reasonable standards of amenity for existing and new residents.
- To encourage residential development that is responsive to the site and the neighbourhood.

A development:

- Must meet all of the objectives of this clause.
- Should meet all of the standards of this clause

If a zone or a schedule to a zone specified a requirement of a standard different from a requirement set out in this clause, the requirement in the zone or a schedule to the zone applies.

General Provisions

Clause 65 – Decision Guidelines needs to be considered, as is the case with all applications. For this application the requirements of Clause 65.01 for the approval of an application or plan is of relevance. This Clause outlines the requirements that the responsible authority must consider when determining the application.

Council Plan 2017-2021 - Strategic Objectives, Strategies and Plans

The Council Plan describes the kind of future the Council is working for, and how Council will do this over four years. In accordance with the commitment in Council's Annual Plan, all applications are considered on their merits.

Diversity (Access & Equity)

It is not considered that the proposal raises any diversity issues affecting the planning assessment of this application.

Community Safety

It is considered that there would be no adverse community safety implications in permitting the proposal subject to strict conditions on any planning permit issued.

Safe Design Guidelines

Consideration of the relevant requirements of these Guidelines has been undertaken within the Assessment of this application.

Referrals

The application was not required to be referred to any external referral authorities pursuant to Section 55 of the Planning and Environment Act 1987.

Internal

The application was internally referred to Council's Asset Planning, Civil Development and Transport Planning Departments for their consideration. The comments provided will be considered in the assessment of the application.

Internal Referrals	
Asset Planning	No objections, subject to conditions on permit
Civil Development	No objections, subject to conditions on permit
Transport Planning	No objections.

Advertising

The application has been advertised pursuant to Section 52 of the Planning and Environment Act 1987, by:

- Sending notices to the owners and occupiers of adjoining land.
- Placing two (2) signs on site, one (1) sign facing Thames Avenue and one (1) sign facing Ellen Street.

The notification has been carried out correctly.

Council has received two (2) objection to date.

The location of the objectors is shown in Attachment 2.

Summary of Grounds of Submissions/Objections

The objections are summarised below (**bold**), followed by the Town Planner's Response (in *italics*).

Overshadowing

Shadow diagrams have been submitted with the application for the 22 September equinox between 9am to 4pm. The shadow diagrams show that the proposed development would result in the overshadowing of the adjoining dwellings to the west during the morning and to the south during the afternoon. It is noted that the prime areas of secluded private open space are unaffected at all times of day with any shadows to the open space areas caused by the existing boundary fencing.

The proposal complies with the provision of Clause 55.04-5 – Overshadowing open space objective (Standard B21) and as such it is considered that this concern has been addressed.

North facing habitable room windows and solar panels

The existing dwelling located to the south of the subject site has two (2) north facing habitable room windows shown and a number of north facing solar panels. As raised by the objector, the solar panels are not shown on the plans.

The application was assessed against all relevant Standards of Clause 55 which relate to solar access of adjoining properties and is compliant with Clause 55.04-1 – Side & Rear Setbacks objective (Standard B17), Clause 55.04-2 – Walls on Boundaries objective (Standard B18), Clause 55.04-3 – Daylight to Existing Windows objective (Standard B19) and Clause 55.04-4 North Facing Windows objective (Standard B20).

In particular, Clause 55.04-4 – North Facing Windows objective (Standard B20) is to allow for adequate solar access to existing north facing habitable room windows. If a north facing habitable room window is within 3 metres of a boundary to an abutting lot, Standard B20 sets out a numerical setback requirement based on the height of the proposed wall to the development. The proposed height of the wall to the first floor of Dwelling One (1) is 5.7 metres, requiring a 2.2 metre setback as per the calculation. The provided 2.7 metre setback within the arch of the existing habitable room window is compliant with the Standard and as such it is considered that this concern has been addressed.

To assess the overshadowing of solar panels, an assessment against Clause 55.03-5 – Energy efficiency was conducted to ensure that the energy efficiency of an existing dwelling on an adjoining lot is not unreasonably reduced and the extent to which an existing rooftop solar energy system on an adjoining lot is overshadowed.

As the overshadowing affects the solar panels between the hours of 12pm and 4pm, with approximately 50% overshadowed at 12pm, it is considered that this is an unacceptable amount of overshadowing and the proposal does not comply with the Standard or decision guidelines. It is noted that the cause of the shadows are from the location and built form of the first floor to proposed Dwelling One (1). A condition is to be placed onto the permit to increase the setback

from the southern boundary of the first floor of Dwelling One (1) to prevent excessive overshadowing and address this concern. This minor change will still allow for the proposed development to work with an increase in sunlight to the existing solar panels.

Overdevelopment of the site

The proposal of three double storey dwellings is considered to be keeping with the local policy of Clause 22.09 Residential Development and Neighbourhood Character for a site located within an Incremental Change Area. As the proposal has accommodated each dwelling with an appropriate response to areas of open space, setbacks and landscaping, it is considered that the subject site is suitable for this type of development and the proposal is not an overdevelopment of the site.

Traffic and parking

Concerns have been raised with respect to an increase in car parking, street congestion and limited on-street availability. All car parking spaces have been provided in accordance with Clause 52.06 and Council's Transport Department have not raised any further concern with respect to on-street parking, congestion or the like. It is therefore considered that the proposal is highly unlikely to result in unacceptable traffic and parking issues.

Neighbourhood Character

An objector raised a concern relating to the impacts of the proposed development on the streetscape neighbourhood character. The proposal complies with the Design Principles to Clause 22.09 Residential Development and Neighbourhood Character and is keeping with the preferred character of medium density development. The proposed separation at the first floor, pitched roof forms and front setbacks respond to the surrounding streetscape character.

Assessment

The subject site is located within an established residential area and is well suited for medium density housing given that the site is located in within easy walking distance of many community facilities.

The proposal capitalises on the corner site position and access to two street frontages. The design of the dwellings is in keeping with the neighbourhood character and first floor setbacks serve to limit visual bulk impacts on adjacent properties and on the streetscape. Although the development is double storey across the site, because of its corner position it is considered acceptable.

As required by the residential zone that applies to this site, the proposed development has been assessed against the provisions of Clause 55 (full assessment attached as Appendix 5) of the Greater Dandenong Planning Scheme and the schedule to the residential zone. The use of the land for accommodation (dwellings) is as of right. The proposed development has also been assessed against Clause 52.06 (full assessment in attachment 4) and Clause 22.09 (full assessment attached as Appendix 3) of the Greater Dandenong Planning Scheme. The proposal complies with all requirements of these clauses except in the following instances, where variations or conditions are required:

Clause 55 - Two or more dwellings on a lot and residential buildings

The proposal complies with all requirements of Clause 55, except in the following instances:

Clause 55.03-5 – Energy Efficiency (Standard B10)

Relevant objective:

- To achieve and protect energy efficient dwellings and residential buildings.
- To ensure the orientation and layout of development reduce fossil fuel energy use and make appropriate use of daylight and solar energy.

The proposal has not been designed to limit the overshadowing of existing solar energy systems to comply with the standard and decision guidelines to Clause 55.03-5. The standard to the objective requires buildings of new developments to be sited and designed to ensure that the performance of existing rooftop solar energy systems on dwellings on adjoining lots are not unreasonably reduced. It is considered unreasonable that the first floor to Dwelling One overshadows approximately 50% of the north facing solar panels at 12pm. The bedroom one to Dwelling One is required to be setback an additional 0.5 metres to be in line with the Clause 55.04-4 north facing windows minimum setback requirement of 2.2 metres for a wall 5.7 metres high. The additional setback would ensure that the effect of overshadowing does not unreasonably reduce the existing solar energy system and protect the energy efficiency of the dwelling (Condition 1.1.).

Secondly, the proposal fails to provide the maximum amount of northern solar access into the development. The internal layout unreasonably restricts possible daylight into the ground floor main living areas of dwellings two and three with the location of the laundry and cupboard. An open plan ground floor (by rearranging the location of the laundry) would allow for sufficient northern solar access (Condition 1.2).

Clause 55.03-10 – Parking Location (Standard B15)

Relevant objective:

To provide convenient parking for residents and visitor vehicles.

The proposal has failed to comply with the Standard to Clause 55.03-10 which states that car parking facilities should be secure. The carports to Dwellings Two and Three do not have any habitable room windows to allow passive surveillance and are open to Thames Avenue. The inclusion of the two

roller doors would also improve the visual appearance of the development. A condition to the permit will require the applicable carports to dwellings two and three to have the inclusion of a roller door (Condition 1.3).

Clause 55.03-8 – Landscaping (Standard B13)

Relevant objective:

To provide appropriate landscaping.

It is currently unclear what surface is proposed to the primary area of secluded private open space to dwelling one on the landscaping plan. A condition is required to ensure that the primary area of secluded private open space is permeable (Condition 1.4). In addition, a condition of permit will require the submission of an amended landscaping plan for the overall site (Condition 2).

Clause 22.09 - Residential Development and Neighbourhood Character

The proposal complies with all requirements of Clause 22.09, except in the following instances:

Safety

Relevant principle:

• Incorporate active frontages including ground floor habitable room windows.

The ground floor habitable room windows of Dwellings Two (2) and Three (3) have limited active and passive surveillance to the street and car parking areas due to the location of the internal laundry area. A condition is required to be included to the permit to amalgamate the laundry into the bathroom, allowing for views onto the street from the main living/dining areas (Condition 1.2).

Site Design

Relevant principle:

 Residential developments should maximise thermal performance and energy efficiency of the built form by addressing orientation, passive design and fabric performance.

The proposed laundry area to the ground floors of Dwellings Two (2) and Three (3) restrict north facing solar access into the main living/dining areas. A condition to amalgamate the laundry into the bathroom would allow for enhanced passive thermal performance (Condition 1.2).

Clause 22.06 - Environmentally Sustainable Development

The proposal complies with the requirements of Clause 22.06 by providing a Sustainable Design Assessment (SDA), a Built Environment Sustainability Scorecard (BESS) and a Stormwater Calculation, all completed by qualified professionals. The provided BESS score complies with a score of 50% for best practice encompassing the full life of the build and identifying the methods used for the best

environmental performance outcome. Having regard to the sites opportunities and restraints, the proposal has included the necessary water tanks, and roof catchment areas, sufficient energy star ratings for fixtures, heating and cooling systems and double glazed habitable room windows.

Clause 52.06 - Car Parking

The proposal complies with all requirements of Clause 52.06, except in the following instances:

Design Standard 5: Urban Design

Relevant principle:

 Car parking within buildings (including visible portions of partly submerged basements) must be screened or obscured where possible, including through the use of occupied tenancies, landscaping, architectural treatments and artworks.

The open style car ports to Dwellings Two (2) and Three (3) are inappropriately open and not obscured or screened in any way. A condition is to be placed onto the permit to include a roller door to each carport to enhance the streetscape visual interest and screen the car parking spaces (Condition 1.3).

Conclusion

The proposal is generally consistent with the provisions of the Greater Dandenong Planning Scheme, including the zoning requirements, local policy direction, application of Clause 55, and the decision guidelines of Clause 65.

Recommendation

That Council resolves to issue a Notice of Decision to grant a permit in respect of the land known and described as Lot 39, No. 58 Ellen Street, Springvale, for the development of the land into three (3) double storey dwellings, in accordance with the plans submitted with the application subject to the following conditions:

- 1. Prior to the endorsement of plans, two (2) copies of amended plans drawn to scale and dimensioned, must be submitted to the Responsible Authority for approval. No buildings or works must be commenced until the plans have been approved and endorsed by the Responsible Authority. The endorsed copy of the plans forms part of this permit. The plans must be in accordance with the plans submitted with the application, but modified to show:
 - 1.1. Increase Dwelling One (1) bedroom 1 first floor setback from the southern boundary by 0.5 metres and all changes to be absorbed within the approved building envelope;
 - 1.2. Relocate the ground floor laundry and cupboard to create an open plan study living area to Dwellings Two (2) and Three (3);

- 1.3. Inclusion of a roller door to the front of the carports to Dwelling Two (2) and Three (3);
- 1.4 The area of secluded private open space to Dwelling One (1) to be of permeable paving and grass on the landscaping plan.

When approved, these plans will be endorsed and will form part of this permit.

- 2. Before the approved development starts, and before any trees or vegetation are removed, an amended landscape plan to the satisfaction of the Responsible Authority must be submitted to and approved by the Responsible Authority. The amended landscape plan must be prepared by a person or firm with suitable qualifications to the satisfaction of the Responsible Authority, drawn to scale with dimensions. The amended landscape plan must be generally in accordance with the landscape plan submitted with the application but modified to show:
 - 2.1. plans to accord with Condition 1 of this permit;
 - 2.2. the site at a scale of 1:100/200, including site boundaries, existing and proposed buildings, neighbouring buildings, car parking, access and exit points, indicative topography and spot levels at the site corners, existing and proposed vegetation, nature strip trees, easements and landscape setbacks:
 - 2.3. details of the proposed layout, type and height of fencing;
 - 2.4. legend of all plant types, surfaces, materials and landscape items to be used including the total areas of garden and lawn;
 - 2.5. a plant schedule giving a description of botanical name, common name, mature height and spread, pot size, purchase height (if a tree) and individual plant quantities:
 - 2.6. any paving or deck areas within the secluded open space area of the proposed dwelling on a permeable base.

When approved, the amended landscape plan will be endorsed and will form part of this permit.

The provisions, recommendations and requirements of the landscape plan must be implemented and maintained to the satisfaction of the Responsible Authority.

Landscaping in accordance with the endorsed landscaping plan and schedule must be completed before the building is occupied, to the satisfaction of the Responsible Authority.

3. Except with the prior written consent of the Responsible Authority, the layout of the land and the size, design and location of the buildings and works permitted must always accord with the endorsed plan and must not be altered or modified.

- 4. Except with the prior written consent of the Responsible Authority, the approved building must not be occupied until all buildings and works and the conditions of this permit have been complied with.
- 5. Provision must be made for the drainage of the site including landscaped and pavement areas, all to the satisfaction of the Responsible Authority.
- 6. Stormwater discharge is to be retained on site to the pre-development level of peak stormwater discharge, to the satisfaction of the Responsible Authority.
- 7. Before the approved building is occupied, all piping and ducting above the ground floor storey of the building, except downpipes, must be concealed to the satisfaction of the Responsible Authority.
- 8. Standard concrete vehicular crossing/s must be constructed to suit the proposed driveway/s in accordance with the Council's standard specifications. Any vehicle crossing no longer required must be removed and the land, footpath and kerb and channel reinstated, to the satisfaction of the Responsible Authority.
- 9. Except with the prior written consent of the Responsible Authority, floor levels shown on the endorsed plan/s must not be altered or modified.
- 10. Before the approved building is occupied, the development must be provided with external lighting capable of illuminating access to each garage, car parking space and pedestrian walkway. Lighting must be located, directed and shielded to the satisfaction of the Responsible Authority so as to prevent any adverse effect outside the land.
- 11. Before the approved building is occupied, the obscure glazing to the windows shown on the endorsed plans must be provided through frosted glass or similarly treated glass. Adhesive film or similar removable material must not be used.
 - All glazing must at all times be maintained to the satisfaction of the Responsible Authority.
- 12. Before the approved buildings are occupied, the privacy screens and other measures to prevent overlooking as shown on the endorsed plans must be installed to the satisfaction of the Responsible Authority.
 - All privacy screens and other measures to prevent overlooking as shown on the endorsed plans must at all times be maintained to the satisfaction of the Responsible Authority.
- 13. Before the approved building is occupied, all boundary walls in the development must be constructed, cleaned and finished to the satisfaction of the Responsible Authority.

- 14. This permit will expire if:
 - 14.1. The development or any stage of it does not start within two (2) years of the date of this permit, or
 - 14.2. The development or any stage of it is not completed within four (4) years of the date of this permit.

Before the permit expires or within six (6) months afterwards the owner or occupier of the land may in writing request the Responsible Authority to extend the expiry date.

The owner or occupier of the land may in writing request the Responsible Authority to extend the expiry date to complete the development or a stage of the development if:

- 14.3. The request for the extension is made within twelve (12) months after the permit expires; and
- 14.4. The development or stage started lawfully before the permit expired.

Permit Notes

A Building Approval is required prior to the commencement of the approved development. This planning permit does not constitute any building approval.

Approval of any retention system within the property boundary is required by the relevant building surveyor.

Before commencement of the development occurs, the applicant should contact the City of Greater Dandenong's Civil Development and Design Unit regarding legal point of discharge, new crossings, building over easements, etc.

As this is an established site, the proposed internal drainage should be connected to the existing legal point of discharge. The applicant may apply for local drainage information, if available; otherwise on site verification should be undertaken by the applicant.

A Vehicle Crossing Permit must be obtained from Council for all vehicular crossings prior to construction of the crossings. You may be required to apply for a Asset Protection Permit from Council's engineering services. Queries regarding engineering requirements can be directed to Council's general phone number on 8571 1000.

MINUTE 1451

Moved by: Cr Youhorn Chea Seconded by: Cr Loi Truong

That Council resolves to issue a Notice of Decision to grant a permit in respect of the land known and described as Lot 39, No. 58 Ellen Street, Springvale, for the development of the land into three (3) double storey dwellings, in accordance with the plans submitted with the application subject to the following conditions:

- 1. Prior to the endorsement of plans, two (2) copies of amended plans drawn to scale and dimensioned, must be submitted to the Responsible Authority for approval. No buildings or works must be commenced until the plans have been approved and endorsed by the Responsible Authority. The endorsed copy of the plans forms part of this permit. The plans must be in accordance with the plans submitted with the application, but modified to show:
 - 1.1. Increase Dwelling One (1) bedroom 1 first floor setback from the southern boundary by 0.5 metres and all changes to be absorbed within the approved building envelope;
 - 1.2. Relocate the ground floor laundry and cupboard to create an open plan study living area to Dwellings Two (2) and Three (3);
 - 1.3. Inclusion of a roller door to the front of the carports to Dwelling Two (2) and Three (3);
 - 1.4 The area of secluded private open space to Dwelling One (1) to be of permeable paving and grass on the landscaping plan.

When approved, these plans will be endorsed and will form part of this permit.

- 2. Before the approved development starts, and before any trees or vegetation are removed, an amended landscape plan to the satisfaction of the Responsible Authority must be submitted to and approved by the Responsible Authority. The amended landscape plan must be prepared by a person or firm with suitable qualifications to the satisfaction of the Responsible Authority, drawn to scale with dimensions. The amended landscape plan must be generally in accordance with the landscape plan submitted with the application but modified to show:
 - 2.1. plans to accord with Condition 1 of this permit;
 - 2.2. the site at a scale of 1:100/200, including site boundaries, existing and proposed buildings, neighbouring buildings, car parking, access and exit points, indicative topography and spot levels at the site corners, existing and proposed vegetation, nature strip trees, easements and landscape setbacks;

- 2.3. details of the proposed layout, type and height of fencing;
- 2.4. legend of all plant types, surfaces, materials and landscape items to be used including the total areas of garden and lawn;
- 2.5. a plant schedule giving a description of botanical name, common name, mature height and spread, pot size, purchase height (if a tree) and individual plant quantities;
- 2.6. any paving or deck areas within the secluded open space area of the proposed dwelling on a permeable base.

When approved, the amended landscape plan will be endorsed and will form part of this permit.

The provisions, recommendations and requirements of the landscape plan must be implemented and maintained to the satisfaction of the Responsible Authority.

Landscaping in accordance with the endorsed landscaping plan and schedule must be completed before the building is occupied, to the satisfaction of the Responsible Authority.

- 3. Except with the prior written consent of the Responsible Authority, the layout of the land and the size, design and location of the buildings and works permitted must always accord with the endorsed plan and must not be altered or modified.
- 4. Except with the prior written consent of the Responsible Authority, the approved building must not be occupied until all buildings and works and the conditions of this permit have been complied with.
- 5. Provision must be made for the drainage of the site including landscaped and pavement areas, all to the satisfaction of the Responsible Authority.
- 6. Stormwater discharge is to be retained on site to the pre-development level of peak stormwater discharge, to the satisfaction of the Responsible Authority.
- 7. Before the approved building is occupied, all piping and ducting above the ground floor storey of the building, except downpipes, must be concealed to the satisfaction of the Responsible Authority.
- 8. Standard concrete vehicular crossing/s must be constructed to suit the proposed driveway/s in accordance with the Council's standard specifications. Any vehicle crossing no longer required must be removed and the land, footpath and kerb and channel reinstated, to the satisfaction of the Responsible Authority.
- 9. Except with the prior written consent of the Responsible Authority, floor levels shown on the endorsed plan/s must not be altered or modified.

- 10. Before the approved building is occupied, the development must be provided with external lighting capable of illuminating access to each garage, car parking space and pedestrian walkway. Lighting must be located, directed and shielded to the satisfaction of the Responsible Authority so as to prevent any adverse effect outside the land.
- 11. Before the approved building is occupied, the obscure glazing to the windows shown on the endorsed plans must be provided through frosted glass or similarly treated glass. Adhesive film or similar removable material must not be used.
 - All glazing must at all times be maintained to the satisfaction of the Responsible Authority.
- 12. Before the approved buildings are occupied, the privacy screens and other measures to prevent overlooking as shown on the endorsed plans must be installed to the satisfaction of the Responsible Authority.
 - All privacy screens and other measures to prevent overlooking as shown on the endorsed plans must at all times be maintained to the satisfaction of the Responsible Authority.
- 13. Before the approved building is occupied, all boundary walls in the development must be constructed, cleaned and finished to the satisfaction of the Responsible Authority.
- 14. This permit will expire if:
 - 14.1. The development or any stage of it does not start within two (2) years of the date of this permit, or
 - 14.2. The development or any stage of it is not completed within four (4) years of the date of this permit.

Before the permit expires or within six (6) months afterwards the owner or occupier of the land may in writing request the Responsible Authority to extend the expiry date.

The owner or occupier of the land may in writing request the Responsible Authority to extend the expiry date to complete the development or a stage of the development if:

- 14.3. The request for the extension is made within twelve (12) months after the permit expires; and
- 14.4. The development or stage started lawfully before the permit expired.

Permit Notes

A Building Approval is required prior to the commencement of the approved development. This planning permit does not constitute any building approval.

Approval of any retention system within the property boundary is required by the relevant building surveyor.

Before commencement of the development occurs, the applicant should contact the City of Greater Dandenong's Civil Development and Design Unit regarding legal point of discharge, new crossings, building over easements, etc.

As this is an established site, the proposed internal drainage should be connected to the existing legal point of discharge. The applicant may apply for local drainage information, if available; otherwise on site verification should be undertaken by the applicant.

A Vehicle Crossing Permit must be obtained from Council for all vehicular crossings prior to construction of the crossings. You may be required to apply for a Asset Protection Permit from Council's engineering services. Queries regarding engineering requirements can be directed to Council's general phone number on 8571 1000.

CARRIED

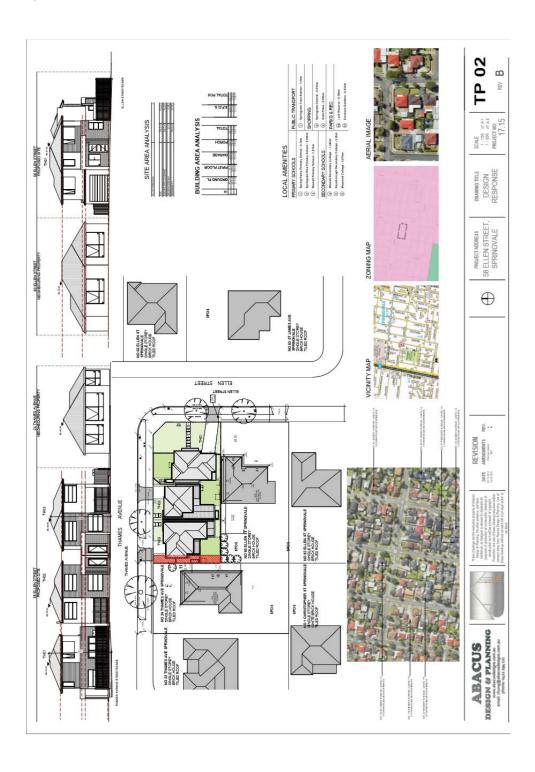
STATUTORY PLANNING APPLICATIONS

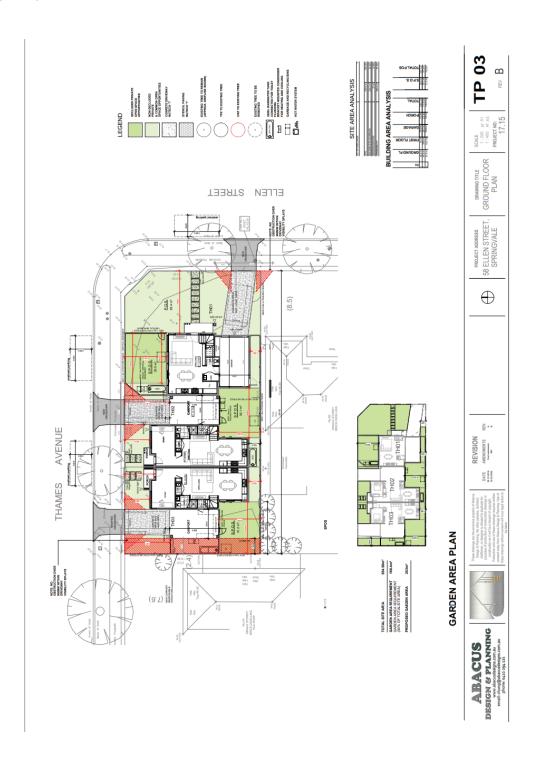
TOWN PLANNING APPLICATION – 58 ELLEN STREET, SPRINGVALE (PLANNING APPLICATION NO. PLN19/0643)

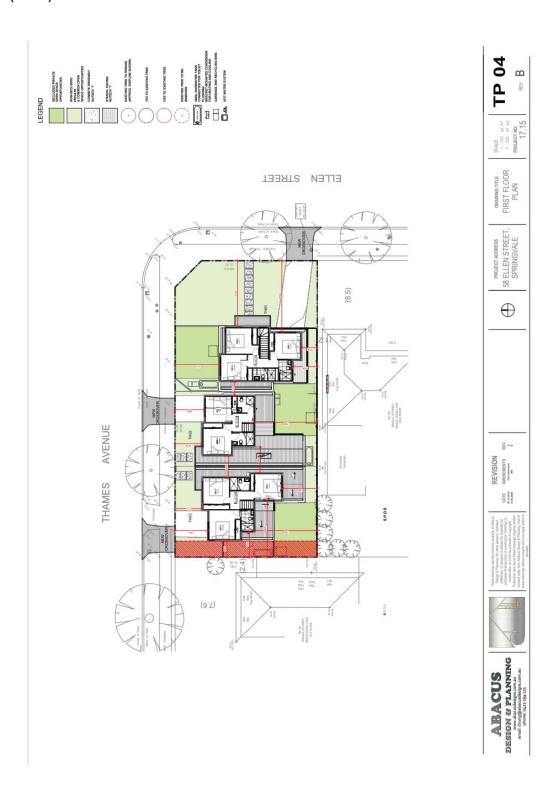
ATTACHMENT 1

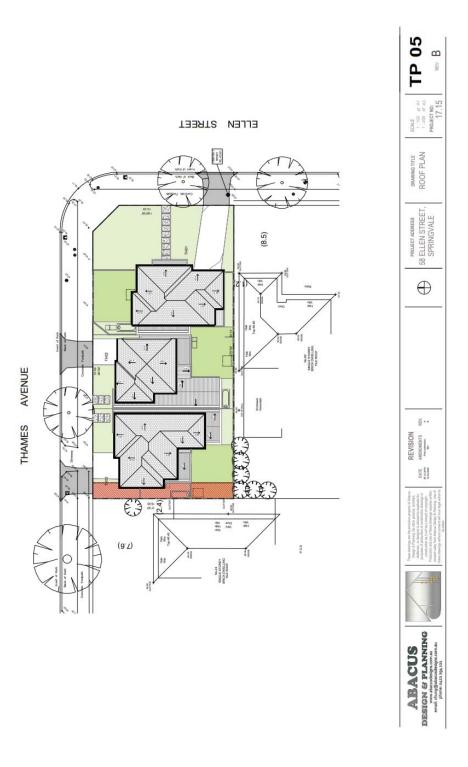
SUBMITTED PLANS

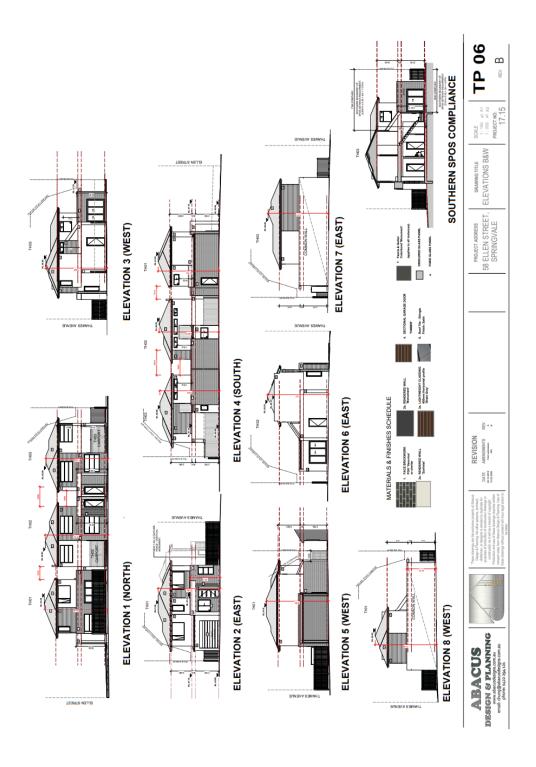
PAGES 10 (including cover)

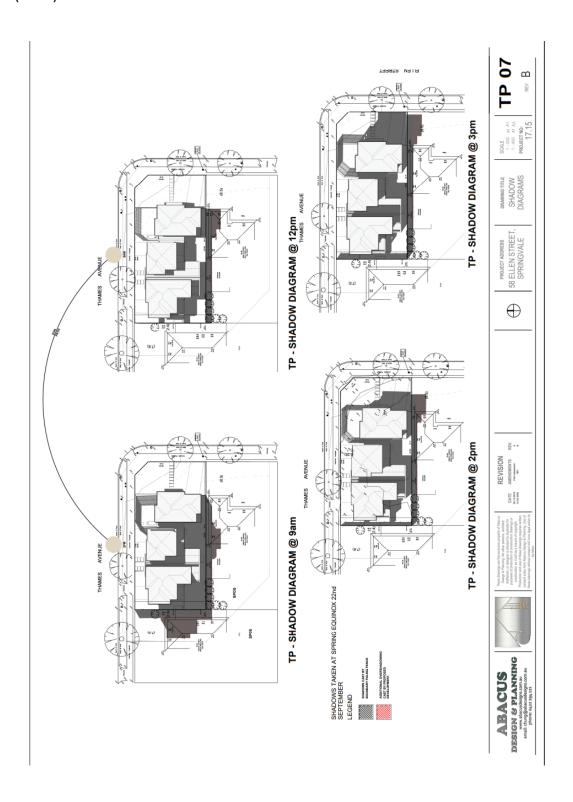


















STATUTORY PLANNING APPLICATIONS

TOWN PLANNING APPLICATION – 58 ELLEN STREET, SPRINGVALE (PLANNING APPLICATION NO. PLN19/0643)

ATTACHMENT 2

LOCATION OF OBJECTORS

PAGES 2 (including cover)

If the details of the attachment are unclear please contact Governance on 8571 5235.



STATUTORY PLANNING APPLICATIONS

TOWN PLANNING APPLICATION NO. 58 ELLEN STREET, SPRINGVALE (PLANNING APPLICATION NO. PLN19/0643)

ATTACHMENT 3

CLAUSE 22.09 ASSESSMENT

PAGES 10 (including cover)

If the details of the attachment are unclear please contact Governance on 8571 5309.

Assessment Table for Clause 22.09

Title /Objective Principle	Principles	Principle met/Principle not met/NA
Safety	To encourage the provision of safer residential neighbourhoods, new development should enable passive surveillance through designs that:	
	Incorporate active frontages including ground floor habitable room windows.	* Principle not met
		Habitable room windows overlook public and private realms to dwelling one (1). The ground floor of dwellings two (2) and three (3) have limited active surveillance to the street due to the location of the internal laundry area.
		A condition has been placed to the permit to amalgamate this into the bathroom to either side allowing for views onto the street from the main living/dining areas.
	Maximise the number of habitable room windows on all levels of residential buildings that overlook the	✓ Principle met
	public realm, streets, laneways, internal access ways and car parking areas.	The proposal has maximised habitable room windows to overlook the public and private realms where possible within the development.
	Use semi-transparent fences to the street frontage.	✓ Principle met
		No front fencing proposed
	Light communal spaces including main entrances and car parking areas with high mounted sensor-	✓ Principle met
	lights.	External lighting provided
	Ensure that all main entrances are visible and easily identifiable from the street.	✓ Principle met
		Each dwelling is accommodated with a well defined entry point
	Locate non-habitable rooms such as bathrooms, away from entrances and street frontage.	✓ Principle met
		Non habitable rooms are located to the sides and rear of the proposal

If the details of the attachment are unclear please contact Governance on 8571 5309.

Landscaping	Residential development should:	
	Provide substantial, high quality on-site landscaping, including screen planting and canopy trees along ground level front and side and rear boundaries.	✓ Principle met
	Provide substantial, high quality landscaping along vehicular accessways.	✓ Principle met
		Landscaping provided along accessways
		✓ Principle met
	sectuded private open space area.	Landscaping plan includes canopy trees to the front and to the area of private open space for each dwelling
	Planting trees that are common to and perform well in the area.	✓ Principle met
	Avoid the removal of existing mature trees by incorporating their retention into the site design.	✓ Principle met
		No existing mature trees to the site
	Use landscaping to soften the appearance of the built form when viewed from the street and to respect	✓ Principle met
	the amenity of adjoining properties.	Sufficient landscaping provided to the street, side and rear setbacks
	Ensure that landscaping also addresses the Safety Design Principles.	✓ Principle met
	Canopy trees should be planted in well proportioned setbacks/private open space that are sufficient to accommodate their future growth to maturity.	✓ Principle met
	Landscaping should minimise the impact of increased storm water runoff through water sensitive urban	✓ Principle met
	design and reduced impervious surfaces.	Permeable paving provided to areas of secluded private open space
	Landscaping should be sustainable, drought tolerant, and include indigenous species and be supported through the provision of rainwater tanks.	✓ Principle met
Car parking	The existing level of on-street car parking should be maintained by avoiding second crossovers on	✓ Principle met
	allotments with frontage widths less than 17 metres.	One crossover to a frontage of 13 metres and two crossovers to a frontage of 30 metres

If the details of the attachment are unclear please contact Governance on 8571 5309.

	On-site car parking should be:	✓ Principle met
	 Well integrated into the design of the building, 	Car parking spaces are integrated into the
	 Generally hidden from view or appropriately screened where necessary, 	sides of each dwelling
	 Located to the side or rear of the site so as to not dominate the streetscape and to maximise soft landscaping opportunities at ground level. 	
	Where car parking is located within the front setback it should be:	✓ Principle met
	 Fully located within the site boundary; and 	Car parking spaces are fully located within
	 Capable of fully accommodating a vehicle between a garage or carport and the site boundary. 	tne site boundary
	Developments with basement car parking should consider flooding concerns where applicable.	NA
Setbacks, front	Residential developments should:	
boundary and width	Provide a front setback with fence design and height in keeping with the predominant street pattern.	✓ Principle met
		One dwelling fronting Ellen Street and two fronting Thames Avenue is keeping with the existing predominant street pattern with no front fencing corresponding with the existing low scale character
	Maintain the apparent frontage width pattern.	✓ Principle met
	Provide appropriate side setbacks between buildings to enable screen planting where required, and at least one generalise side setback to enable the retention of trees and/or the planting and future growth of	✓ Principle met
	reast one generous stud settack to enable the Tetention of tees and/or the pranting and lattice grown of	Appropriate setbacks provided for landscaping
	Provide open or low scale front fences to allow a visual connection between landscaping in front	✓ Principle met
	gardens and street tree planting.	No front fence proposed
Private open	All residential developments should provide good quality, useable private open space for each dwelling	✓ Principle met
space	grecuy accessible from the main nying area.	Private open space areas are easily accessible from the main ground floor living and dining areas

If the details of the attachment are unclear please contact Governance on 8571 5309.

	level private open space areas should be able to accommodate boundary landscaping, domestic	✓ Principle met
	services and outdoor furniture so as to maximise the useability of the space.	Private open spaces are appropriately dimensioned to accommodate domestic services and outdoor furniture
	Private open space should be positioned to maximise solar access.	✓ Principle met
		Sufficient setbacks are met to allow for solar access
	Upper floor levels of the same dwelling should avoid encroaching secluded private open space areas to	✓ Principle met
	ensure the solar access, useability and amenity of the space is not adversely affected.	First floors do not encroach onto areas of private open space
	Upper level dwellings should avoid encroaching the secluded private open space of a separate lower level dwelling so as to ensure good solar access and amenity for the lower level dwelling.	✓ Principle met
Bulk & Built Form	All residential developments should respect the dominant façade pattern of the streetscape by:	✓ Principle met
	 Using similarly proportioned roof forms, windows, doors and verandahs; and 	Pitched roof forms, varying materials and
	 Maintaining the proportion of wall space to windows and door openings. 	well proportioned window to wall space proposed to correspond with the streetscape
	Balconies should be designed to reduce the need for screening from adjoining dwellings and properties.	NA
	The development of new dwellings to the rear of existing retained dwellings is discouraged where:	NA
	 The siting of the retained dwelling would not enable an acceptable future site layout for either the proposed or future dwelling; or 	
	 The retention of the existing dwelling detracts from the identified future character. 	
	On sites adjacent to identified heritage buildings, infill development should respect the adjoining heritage by:	NA
	 Not exceeding the height of the neighbouring significant building; 	
	 Minimising the visibility of higher sections of the new building; and 	
	 Setting higher sections back at least the depth of one room from the frontage. 	
Site Design	Residential development should:	
	If the details of the attachment are unclear please contact Governance on 8571 5309.	

e details of the attachment are unclear please contact Governance on 8571 5309.

	Preserve the amenity of adjoining dwellings through responsive site design that considers the privacy,	V Principle met
	solar access and outlook of adjoining properties.	No overlooking or overshadowing issues as assessed under Clause 55
	Maximise thermal performance and energy efficiency of the built form by addressing orientation, passive	* Principle not met
	design and fabric performance	The proposed laundry areas to the ground floors of dwellings two (2) and three (3) restrict north facing solar access into the main living/dining area.
		A condition is required to amalgamate the laundry and bathroom to the side allowing for enhanced passive thermal performance
	Ensure that building height, massing articulation responds sensitively to existing residential interfaces,	✓ Principle met
	site circumstances, setbacks and streetscape and reduces the need for screening.	The double storey form responds to existing dwellings as the first floor setbacks are well recessed from the sensitive interfaces of areas of secluded private open space and habitable room windows
	Provide sufficient setbacks (including the location of basements) to ensure the retention of existing trees and to accommodate the future growth of new trees.	✓ Principle met
	Provide suitable storage provisions for the management of operational waste	✓ Principle met
		Bin storage is conveniently located
	Appropriately located suitable facilities to encourage public transport use, cycling and walking.	✓ Principle met
Materials &	Residential development should:	
rinisnes	Use quality, durable building materials and finishes that are designed for residential purposes.	✓ Principle met
		Materials are suited for residential development
	Avoid the use of commercial or industrial style building materials and finishes.	✓ Principle met

If the details of the attachment are unclear please contact Governance on 8571 5309.

	Avoid using materials such as rendered cement sheeting, unarticulated surfaces and excessive	✓ Principle met
	repetitive use of materials.	Varying materials are used creating visual interest
	Use a consistent simple palette of materials, colours finishes and architectural detailing.	✓ Principle met
		A consistent colour pallet is proposed
	Maximise the ongoing affordability and sustainability of residential developments through the selection of low maintenance, resource and energy efficient materials and finishes that can be reasonably expected to endure for the life of the building.	Principle met The proposed materials are durable and typical for this type of development
Domestic services normal	In order to minimise the impact of domestic and building services on the streetscape, adjacent properties, public realm and amenity of future residents, new residential development should:	
to a dwelling and Building services	Ensure that all domestic and building services are visually integrated into the design of the building and	✓ Principle met
	appropriately positioned or screened so as to not be seen from the street or adjoining properties.	Bin and recycling enclosures, mailboxes, clotheslines, and water tanks are all provided and are easily accessible for each dwelling
	Be designed to avoid the location of domestic and building services:	✓ Principle met
	 Within secluded private open space areas, including balconies; and 	Domestic services are predominantly located
	 Where they may have noise impacts on adjoining habitable rooms and secluded private open space areas. 	to the side and rear boundaries
Internal Amenity	Residential development should:	
	Ensure that dwelling layouts have connectivity between the main living area and private open space.	✓ Principle met
		Main living areas and private open spaces have good connectivity
	Be designed to avoid reliance on borrowed light to habitable rooms.	✓ Principle met
	Ensure that balconies and habitable room windows are designed and located to reduce the need for excessive screening.	✓ Principle met

If the details of the attachment are unclear please contact Governance on 8571 5309.

Ensure that dwellings without ground level main living areas meet the Standards of Clauses 55.03-5, Principle not met 55.04-1, 6 & 7, 55.05-3, 4 & 5.

Clause 55.03-5 and the principle is met through a permit condition

If the details of the attachment are unclear please contact Governance on 8571 5309.

Carports and garages are fully located to the sides of the development neighbourhood character, site circumstances Private open spaces are to the sides and rears of dwellings and appropriately located for the orientation and layout of the proposal The built form responds sensitively to the and streetscape. The first floors are well recessed from areas of secluded private open space and the front setbacks correspond with the existing site circumstances and preferred character The maximum height is double storey The proposal is for a medium density Principle met/Principle not met/NA Clause 22.09-3.3 Design principles for Incremental Change Areas – General Residential Zone (GRZ) Principle met Principle met Principle met Principle met Principle met Principle met development Parking, paving and car access within the front boundary setback should be limited in order to maximise the opportunity for soft landscaping and prevent the over dominance of carports and garages in the street. The preferred maximum building height for land within the GRZ1 and GRZ2 is up to 2 storeys, including ground level. Residential development should use landscaping to create a landscaped character, particularly canopy trees in front and rear gardens; and to protect the outlook of adjoining properties Ensure that the built form respects the scale of existing prevailing built form character and responds to site circumstances and streetscape; Residential development should provide secluded private open space at the side or rear of each dwelling to avoid the need for excessive screening or high front fencing. The preferred housing type for the Incremental Change Area is medium density. Residential development should: Principles Setbacks, front boundary and width **Building Height** Private open space housing type Landscaping Bulk & Built Form Objectives Preferred

If the details of the attachment are unclear please contact Governance on 8571 5309.

	Provide separation between dwellings at the upper level;	✓ Principle met
		Sufficient separation provided at the first floor
	Retain spines of open space at the rear of properties to maximise landscaping opportunities and protect private secluded open space;	✓ Principle met Private open spaces are provided to the rears of dwellings two (2) and three (3) to retain spines of open space
	Position more intense and higher elements of built form towards the front and centre of a site, transitioning to single storey elements to the rear of the lot.	 Principle met The double storey form is predominantly located to the two street frontages with increased first floor setbacks from the west and south
	The rearmost dwelling on a lot should be single storey to ensure the identified future character of the	✓ Principle met
	area and the amenity of adjoining properties is respected by maximising landscaping opportunities and protecting adjoining private secluded open space.	The proposed double storey form across the site is considered to be acceptable. The first
	Two storey dwellings to the rear of a lot may be considered where:	floor to dwellings two (2) and three (3) are
	 The visual impact of the building bulk does not adversely affect the identified future character of the area; 	well setback to 7.165 metres with a section of dwelling three to 3.93 metres reducing to bulk from the rear of the site and allowing for
	 Overlooking and/or overshadowing does not adversely affect the amenity of neighbouring properties; 	landscaping opportunities to grow to full maturity.
	 The building bulk does not adversely affect the planting and future growth of canopy trees to maturity; 	The directly abutting sites to the west and
	 Sufficient side and rear boundary landscaping can be provided to screen adjoining properties; 	south both have built form along the
	 Upper storey components are well recessed from adjoining sensitive interfaces. 	private open spaces to the south. The proposal does not overshadow or overlook these areas.
	Residential development should be well articulated through the use of contrast, texture, variation in forms, materials and colours.	✓ Principle met
Note: Other requirements al	ements also apply. These can be found at the schedule to the applicable zone.	

If the details of the attachment are unclear please contact Governance on 8571 5309.

STATUTORY PLANNING APPLICATIONS

TOWN PLANNING APPLICATION NO. 58 ELLEN STREET, SPRINGVALE (PLANNING APPLICATION NO. PLN19/0643)

ATTACHMENT 4

CLAUSE 52.06 ASSESSMENT

PAGES 6 (including cover)

If the details of the attachment are unclear please contact Governance on 8571 5309.

Assessment Table - Clause 52.06

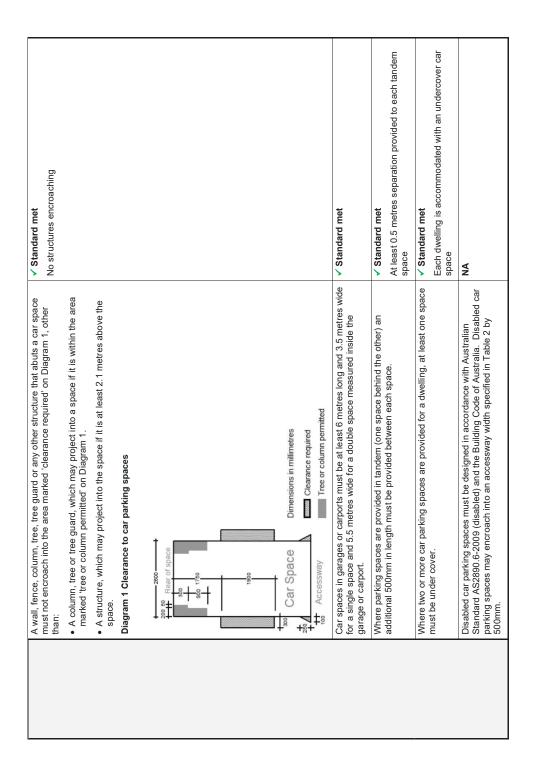
Clause 52.06-9 Design standards for car parking

Plans prepared in accordance with Clause 52.06-8 must meet the design standards of Clause 52.06-9, unless the responsible authority agrees otherwise. Design standards 1, 3, 6 and 7 do not apply to an application to construct one dwelling on a lot.

Design Standards	Assessment	Requirement met/Requirement not met/NA
Design standard 1 -	Accessways must:	✓ Standard met
Accessways	• Be at least 3 metres wide.	Each accessway is at least 3 metres wide
	 Have an internal radius of at least 4 metres at changes of direction or intersection or be at least 4.2 metres wide. 	NA
	Allow vehicles parked in the last space of a dead-end accessway in public car parks to exit in a forward direction with one manoeuvre.	NA
	Provide at least 2.1 metres headroom beneath overhead obstructions, calculated for a vehicle with a wheel base of 2.8 metres.	✓ Standard met No apparent obstructions
	 If the accessway serves four or more car spaces or connects to a road in a Road Zone, the accessway must be designed to that cars can exit the site in a forward direction. 	NA
	 Provide a passing area at the entrance at least 5 metres wide and 7 metres long if the accessway serves ten or more car parking spaces and is either more than 50 metres long or connects to a road in Road Zone. 	NA
	 Have a corner splay or area at least 50 percent clear of visual obstructions extending at least 2 metres along the frontage road from the edge of an exit lane and 2.5 metres along the exit lane from the frontage, to provide a clear view of pedestrians on the footpath of the frontage road. The area clear of visual obstructions may include an adjacent entry or exit lane where more than one lane is provided, or adjacent landscaped areas, provided the landscaping in those areas is less than 900mm in height. 	✓ Standard met
	If an accessway to four or more car parking spaces is from land in a Road Zone, the access to the car spaces must be at least 6 metres from the road carriageway.	NA
	If entry to the car space is from a road, the width of the accessway may include the road.	✓ Standard met

If the details of the attachment are unclear please contact Governance on 8571 5309.

Design standard 2 -		accessways must have	the minimum dimensior		✓ Standard met
Car parking spaces	In Table 2. Table 2. Minimum dimensions of car parking spaces and accessways	ensions of car parkin	g spaces and access	ways	Single garage and carports each dimensioned a minimum 3.5 metres by 6 metres, clear of all obstructions
	Angle of car parking spaces to access way	Accessway width	Car space width	Car space length	Each tandem space dimensioned 2.6 metres by 49 metres
	Parallel	3.6 m	2.3 m	6.7 m	
	45°	3.5 m	2.6 m	4.9 m	
	09°	4.9 m	2.6 m	4.9 m	
	°06	6.4 m	2.6 m	4.9 m	
		5.8 m	2.8 m	4.9 m	
		5.2 m	3.0 m	4.9 m	
		4.8 m	3.2 m	4.9 m	
	Note to Table 2: Some dimensions in Table 2 vary from those shown in the Australian Standard AS2890.1-2004 (off street). The dimensions shown in Table 2 allocate more space to aisle widths and less to marked spaces to provide improved operation and access. The dimensions in Table 2 are to be used in preference to the Australian Standard AS2890.1-2004 (off street) except for disabled spaces which must achieve Australian Standard Standard AS280.6-2009 (disabled).	mensions in Table 2 van (off street). The dimen. ess to marked spaces to p 2 are to be used in p 1 except for disabled sitsabled sitsabled.	ry from those shown in 1 sions shown in Table 2 o provide improved operatic reference to the Austra paces which must achie	the Australian allocate more on and access. Itan Standard we Australian	



Design standard 3: Gradients	Accessway grades must not be steeper than 1:10 (10 per cent) within 5 metres of the frontage to ensure safety for pedestrians and vehicles. The design must have regard to the wheelbase of the vehicle being designed for; pedestrian and vehicular traffic volumes; the nature of the car park; and the slope and configuration of the vehicle crossover at the site frontage. This does not apply to accessways serving three dwellings or less.	e steeper than 1:10 (10 pr bedestrians and vehicles. e being designed for; pede park; and the slope and c This does not apply to a	ar cent) within 5 metres of the The design must have regard sstrian and vehicular traffic onfiguration of the vehicle ccessways serving three	✓ Standard met Accessway grades are less than 1:10
	Ramps (except within 5 metres of the frontage) must have the maximum grades as outlined in Table 3 and be designed for vehicles travelling in a forward direction.	is of the frontage) must hai	ve the maximum grades as ig in a forward direction.	NA
	Table 3: Ramp gradients	adients		
	Type of car park	Length of ramp	Maximum grade	
	Public car parks	20 metres or less	1:5 (20%)	
		longer than 20 metres	1:6 (16.7%)	
	Private or residential car	20 metres or less	1:4 (25%)	
		longer than 20 metres	1:5 (20%)	
	Where the difference in grade between two sections of ramp or floor is greater than 1:8 (12.5 per cent) for a summit grade change, or greater than 1:6.7 (15 per cent) for a sag grade change, the ramp must include a transition section of at least 2 metres to prevent vehicles scraping or bottoming.	between two sections of rail grade change, or greate or must include a transition outtoming.	There the difference in grade between two sections of ramp or floor is greater than 8 (12.5 per cent) for a summit grade change, or greater than 1:6.7 (15 per cent) for sag grade change, the ramp must include a transition section of at least 2 metres to revent vehicles scraping or bottoming.	✓ Standard met
	Plans must include an assessment of grade changes of greater than 1:5.6 (18 per cent) or less than 3 metres apart for clearances, to the satisfaction of the responsible authority.	ment of grade changes of lart for clearances, to the s	greater than 1:5.6 (18 per atisfaction of the responsible	✓ Standard met
Design standard 4:	Mechanical parking may be used to meet the car parking requirement provided:	sed to meet the car parking	g requirement provided:	NA
Mechanical parking	 At least 25 per cent of the mechanical car parking spaces can accommodate a vehicle clearance height of at least 1.8 metres. 	nechanical car parking spa at least 1.8 metres.	ces can accommodate a	
	Car parking spaces the require the operation of the system are not allowed to visitors unless used in a valet parking situation.	uire the operation of the sy et parking situation.	stem are not allowed to	NA
	The design and operation is to the satisfaction of the responsible authority.	to the satisfaction of the r	esponsible authority.	NA
Design standard 5: Urban design	Ground level car parking, garage doors and accessways must not visually dominate public space.	age doors and accessways	s must not visually dominate	✓ Standard met Car parking spaces are to the sides of the development

	Car parking within buildings (including visible portions of partly submerged	* Standard not met
	basements) must be screened or obscured where possible, including through the use of occupied tenancies, landscaping, architectural treatments and artworks.	The carports to dwelling two (2) and three (3) are inappropriately open and not screened in any way. A condition is to be placed on the permit to have roller doors to the streetscape to enhance the streetscape design and screen the car parking spaces
	Design of car parks must take into account their use as entry points to the site.	✓ Standard met
	Design of new internal streets in developments must maximise on street parking	Car parking spaces are easily accessible NA
	opportunities.	
Design standard 6:	Car parking must be well lit and clearly signed.	✓ Standard met
sarety		External lighting provided
	The design of car parks must maximise natural surveillance and pedestrian visibility from adjacent buildings.	✓ Standard met
	Pedestrian access to car parking areas from the street must be convenient.	✓ Standard met
		Pedestrian access is convenient to car parking areas
	Pedestrian routes through car parking areas and building entries and other destination points must be clearly marked and separated from traffic in high activity parking areas.	✓ Standard met
Design standard 7: Landscaping	The layout of car parking areas must provide for water sensitive urban design treatment and landscaping.	✓ Standard met
	Landscaping and trees must be planted to provide shade and shelter, soften the appearance of ground level car parking and aid in the clear identification of pedestrian paths.	 Standard met Landscaping is provided to either sides of accessways
	Ground level car parking spaces must include trees planted with flush grilles. Spacing of trees must be determined having regard to the expected size of the selected species at maturity.	✓ Standard met

STATUTORY PLANNING APPLICATIONS

TOWN PLANNING APPLICATION NO. 58 ELLEN STREET, SPRINGVALE (PLANNING APPLICATION NO. PLN19/0643)

ATTACHMENT 5

CLAUSE 55 ASSESSMENT

PAGES 42 (including cover)

If the details of the attachment are unclear please contact Governance on 8571 5309.

Assessment Table - Two or More Dwellings on a Lot and Residential Buildings (Clause 55)

Clause 55.02-	1 Neig	Chandral Matthews and Matthe
Title & Objective	Standard (Summarised)	Standard Met/Standard Not Met/NA
Standard B1	The design response must be appropriate to the neighbourhood and the site.	✓ Standard met
		The proposed development is site responsive for a corner site within an incremental change area with sufficient setbacks, private open space areas and landscaping to correspond with the surrounding existing character
	The proposed design response must respect the existing or preferred neighbourhood	✓ Standard met
	character and respond to the features of the site.	The design respects the existing character and responds sensitively to abutting areas of open space and habitable room windows with increased setbacks to the side and rear of the site and clear separation between each dwelling to the first floor.
Decision	Any relevant neighbourhood character objective, policy or statement set out in this scheme.	
Guidelines	The neighbourhood and site description.	
	The design response.	
Objectives	To ensure that the design respects the existing neighbourhood character or contributes to a preferred neighbourhood character.	✓ Objectives met
	To ensure that development responds to the features of the site and the surrounding area.	

If the details of the attachment are unclear please contact Governance on 8571 5309.

Title & Objective Standards	Standards	Standard Met/Standard Not Met/NA
Standard B2	An application must be accompanied by a written statement to the satisfaction of the responsible authority that describes how the development is consistent with any relevant policy for housing in the SPPF and the LPPF, including the MSS and local planning policies.	 Standard met The application was accompanied with a written statement against all relevant policy
Decision Guidelines	The SPPF and the LPPF including the MSS and local planning policies. The design response.	
Objectives	To ensure that residential development is provided in accordance with any policy for housing Objectives met in the SFFP and the LPPF, including the MSS and local planning policies. To support medium densities in areas where development can take advantage of public and community infrastructure and services.	✓ Objectives met

Clause 55.02-2 Residential policy objectives

Title & Objective Standard	Standards	Standard Met/Standard Not Met/NA
Standard B3	Developments of ten or more dwellings should provide a range of dwelling sizes and types, including:	NA
	 Dwellings with a different number of bedrooms. 	
	 At least one dwelling that contains a kitchen, bath or shower, and a toilet and wash basin at ground floor level. 	
Objective	To encourage a range of dwellings sizes and types in developments of ten or more dwellings.	

Clause 55.02-3 Dwelling diversity objective

Clause 55.02.	Clause 55.02-4 Infrastructure objectives	
Title & Objective	Standards	Standard Met/Standard Not Met/NA
Standard B4	Development should be connected to reticulated services, including reticulated sewerage, drainage, electricity and gas, if available.	✓ Standard met The site is located within an established residential area which can suitably accommodate for a development
	Development should not unreasonably exceed the capacity of utility services and infrastructure, including reticulated services and roads.	✓ Standard met
	In areas where utility services or infrastructure have little or no spare capacity, developments should provide for the upgrading of or mitigation of the impact on services or infrastructure.	✓ Standard met
Decision	The capacity of the existing infrastructure.	
	In the absence of reticulated sewerage, the capacity of the development to treat and retain all wastewater in accordance with the SEPP (Waters of Victoria) under the EPA 1970.	
	If the drainage system has little or no spare capacity, the capacity of the development to provide for stormwater drainage mitigation or upgrading of the local drainage system.	
Objectives	To ensure development is provided with appropriate utility services and infrastructure.	✓ Objectives met
	To ensure development does not unreasonably overload the capacity of utility services and infrastructure.	

Title & Objective	Title 9 Objective Ctandards	Ctandard Mot/Ctandard Not Mot/NIA
ille & Objective		
Standard B5	Developments should provide adequate vehicle and pedestrian links that maintain or	✓ Standard met
	enhance local accessibility.	Adequate vehicle and pedestrian links provided
	Developments should be oriented to front existing and proposed streets.	✓ Standard met
		Dwelling one is orientated towards Ellen Street with dwellings two and three towards Thames Avenue
	High fencing in front of dwellings should be avoided if practicable.	✓ Standard met
		No front fence proposed
	Development next to existing public open space should be laid out to complement the open	✓ Standard met
	space.	The development is not next to open space
Decision	Any relevant urban design objective, policy or statement set out in this scheme.	
Sauldellines	The design response.	
Objective	To integrate the layout of development with the street.	✓ Objectives met

Title & Objective				Standard Met/Standard Not Met/NA
Standard B6	Walls of buildings should be set be school schedule to the zone:	buildings should be set back from streets at least the distance specified in a to the zone:	e distance specified in a	Standard met
	RGZ: 5 metres or as per Table B1, whichever is the lesser.	B1, whichever is the lesse	Jr.	GKZ1 7.5 m or as per table B1, whichever the lesser
	GRZ: 7.5 metres or as per Table B1, whichever is the lesser.	le B1, whichever is the les:	ser.	Front street = Fllen Street
	NRZ: As per Table B1.			If there is a building facing the front street, the same or 9
	Table B1 Street setback			metres, whichever the lesser
	Development context	Minimum setback from front street (metres)	Minimum setback from a side street (metres)	Dwelling one (1) front wall setback
	There is an existing building on both the abutting allotments	The average distance of the setbacks of the front	Not applicable	Proposed setback = 7.5 metres Abutting dwelling = 8.5 metres Required = 7.5 metres
	site is not on a comer.	igs on the ents facing or 9		Complies
	There is an existing building on	The same distance as the	Not applicable	Side Street = Thames Avenue
	one abutting allotment facing the same street and no existing	setback of the front wall of the existing building on the		Front walls on side street same distance as the front wall
	building on the other abutting	abutting allotment facing		oi abutilig allotrients of 3 metres
	allotment facing the same street, and the site is not on a corner.	the front street or 9 metres, whichever is the lesser.		Side walls on side street same distance as the front wall of abutting allotments or 2 metres
	There is no existing building on either of the abutting allotments	6 metres for streets in a Road Zone, Category 1,	Not applicable	Dwelling one (1) side wall setback
	facing the same street, and the site is not on a corner.	and 4 metres for other streets.		Proposed setback = 5 metres
	The site is on a corner.	If there is a building on the	Front walls of new	abutilig dwelling – 7.0 metres
		the front street, the same	side street of a corner site	Required = 2 metres minimum
		distance as the setback of the front wall of the existing	should be setback at least the same distance as the	 Dwelling two (2) front wall setback
		building on the abutting	setback of the front wall of	Proposed = 3 metres
		street or 9 metres,	any existing building on the abutting allotment facing	Abutting aweiling = 7.0 metres Required = 3 metres minimum
		whichever is the lesser. If there is no huilding on	the side street or 3 metres, whichever is the lesser.	Dwelling three (3) front wall setback
		the abutting allotment	Side walls of new	Proposed = 3 metres
		racing the front street, by metres for streets in a	development on a corner site should be setback the	Abutting dwelling = 7.6 metres
		Road Zone, Category 1,	same distance as the	Required = 3 metres minimum
		streets.	any existing building on the	
			abutting allotment facing the side street or 2 metres,	
			whichever is the lesser	

		Porches, pergolas and verandahs that are less than 3.6 metres high and eaves may encroach not more than 2.5 metres into the setbacks of this standard.
		The porches to both dwellings two (2) and three (3) extend to 2.5 metres and are 3.57 metres high.
		Complies
Decision	Any relevant neighbourhood character objective, policy or statement set out in this scheme.	
Sauldelines	The design response.	
	Whether a different setback would be more appropriate taking into account the prevailing setbacks of existing buildings on nearby lots.	
	The visual impact of the building when viewed from the street and from adjoining properties.	
	The value of retaining vegetation within the front setback.	
Objective	To ensure that the setbacks of buildings from a street respect the existing or preferred neighbourhood character and make efficient use of the site.	✓ Objectives met

Clause 55.03	التاميرية عن 20.03-2 Building neignt objective	Change of Mark/Other dead Nat Mat/NA
I III e & Objective	Standards	Standard Met/Standard Not Met/NA
Standard B7	The maximum building height should not exceed the maximum height specified in the zone, schedule to the zone or an overlay that applies to the land. RGZ: 13.5 metres discretionary maximum (refer Clause 32.07-8 for details) GRZ: 11 metres / 3 storeys mandatory maximum (refer Clause 32.08-9) NRZ: 9 metres / 2 storeys mandatory maximum (refer Clause 32.09-9)	✓ Standard met Maximum heights Dwelling one = 7.42 metres Dwelling three = 7.29 metres Dwelling three = 7.29 metres The proposal compiles with the GRZ maximum building
	If no maximum height is specified in the zone, schedule to the zone or an overlay, the maximum building height should not exceed 9 metres, unless the slope of the natural ground level at any cross section wider than 8 metres of the site of the building is 2.5 degrees or more, in which case the maximum building height should not exceed 10 metres.	N/A
	Changes of building height between existing buildings and new buildings should be graduated.	✓ Standard met
Decision Guidelines	Any relevant neighbourhood character objective, policy or statement set out in this scheme. Any maximum building height specified in the zone, a schedule to the zone or an overlay applying to the land.	
	The design response.	
	The effect of the slope of the site on the height of the building.	
	The relationship between the proposed building height and the height of existing adjacent buildings.	
	The visual impact of the building when viewed from the street and from adjoining properties.	
Objective	To ensure that the height of buildings respects the existing or preferred neighbourhood character	✓ Objectives met

Clause 55.03-3 Site	-3 Site coverage objective	
Title & Objective	Standards	Standard Met/Standard Not Met/NA
Standard B8	The site area covered by buildings should not exceed:	✓ Standard met
	• The maximum site coverage specified in a schedule to the zone, or	Site Coverage is 234.7 sqm which equates to 42.32%,
	• If no maximum site coverage is specified in a schedule to the zone, 60 per cent.	this is compilant with the GRZ I maximum of 60%
	<u>RGZ1: 70%</u> <u>RGZ2</u> : 70% <u>RGZ3</u> : 70%	
	GRZ1: 60% (none specified) GRZ2: 60% (none specified)	
	<u>NRZ1</u> : 50%	
Decision	Any relevant neighbourhood character objective, policy or statement set out in this scheme.	
Sanidellines	The design response.	
	The existing site coverage and any constraints imposed by existing development or the features of the site.	
	The site coverage of adjacent properties	
	The effect of the visual bulk of the building and whether this is acceptable in the neighbourhood.	
Objective	To ensure that the site coverage respects the existing or preferred neighbourhood character and responds to the features of the site.	✓ Objectives met

Clause 55.03	Clause 55.03-4 Permeability objectives	
Title & Objective	Standards	Standard Met/Standard Not Met/NA
Standard B9	The site area covered by the pervious surfaces should be at least:	✓ Standard met
	• The minimum areas specified in a schedule to the zone, or	Permeability is 262.4 sqm which equates to 47.32%, this
	• If no minimum is specified in a schedule to the zone, 20 per cent of the site.	compiles with the GRZ1 minimum of 30%
	RGZ1: 20% RGZ2: 20% (none specified) RGZ3: 20% (none specified)	
	<u>GRZ1</u> : 30% <u>GRZ2</u> : 20% (none specified)	
	<u>NRZ1</u> : 40%	
Decision	The design response.	
Guidelines	The existing site coverage and any constraints imposed by existing development.	
	The capacity of the drainage network to accommodate additional stormwater.	
	The capacity of the site to absorb run-off.	
	The practicality of achieving the minimum site coverage of pervious surfaces, particularly on lots of less than 300 square metres.	
Objectives	To reduce the impact of increased stormwater run-off on the drainage system.	✓ Objectives met
	To facilitate on-site stormwater infiltration.	

Title & Objective	Title & Objective Standards	Standard Met/Standard Not Met/NA
Standard B10	Buildings should be:	* Standard not met
	 Oriented to make appropriate use of solar energy. Sited and designed to ensure that the energy efficiency of existing dwellings on adjoining lots is not unreasonably reduced. 	The development is designed to ensure that the energy efficiency of each dwelling is maximised with the maximum number of north facing windows and sufficient setbacks to allow solar access into open space.
	Sited and designed to ensure that the performance of existing rooftop solar energy systems on dwellings on adjoining lots in a General Residential Zone, Neighbourhood Residential Zone or Township Zone are not unreasonably reduced. The existing rooftop solar energy system must exist at the date the application is lodged.	The proposal has not been designed to limit overshadowing of north facing solar panels to the abutting dwelling to No. 60 Ellen Street which have been located to the site since 2015.
	Living areas and private open space should be located on the north side of the development,	* Standard not met
	If practicable.	Dwellings are orientated to make the most efficient where possible, given the site circumstances of Thames Avenue fronting north, the proposal has allowed for an increased rear setback for sufficient solar access into the secluded private open spaces to dwellings two and three.
		The main living areas internal to dwellings two and three are unreasonably restricted from northern solar access due to the placement of the laundry and bathrooms to the ground floor.
	Developments should be designed so that solar access to north-facing windows is	✓ Standard met
	тахітізед.	The proposal has provided the maximum amount of north facing windows where possible
Decision	The design response.	The proposal has designed a site responsive proposal to
Guidelines	The size, orientation and slope of the lot.	ennance tne energy emclency of the site with the abovementioned exceptions.
	The existing amount of solar access to abutting properties.	The location of the solar panels to No. 60 Ellen Street
	The availability of solar access to north-facing windows on the site.	are north facing to allow for a maximum amount of solar
	The extent to which an existing rooftop solar energy system on an adjoining lot is overshadowed by existing buildings or other permanent structures.	first floor to dwelling one overshadows approximately 50% of the north facing solar panels at 12pm. The
	Whether the existing rooftop solar energy system on an adjoining lot is appropriately located.	bedroom 1 to dwelling one (1) is required to be setback an additional 0.5 metres to be in line with the Clause

Standard B11	itle & Objective Standards	Standard Met/Standard Not Met/NA
	If any public or communal open space is provided on site, it should:	NA
	 Be substantially fronted by dwellings, where appropriate. 	
	 Provide outlook for as many dwellings as practicable. 	
	 Be designed to protect any natural features on the site. 	
	Be accessible and useable.	
Decision Guidelines	Any relevant plan or policy for open space in the SPPF and the LPPF, including the MSS and local planning policies.	
	The design response.	
Objective	To integrate the layout of development with any public and communal open space provided in or adjacent to the development.	

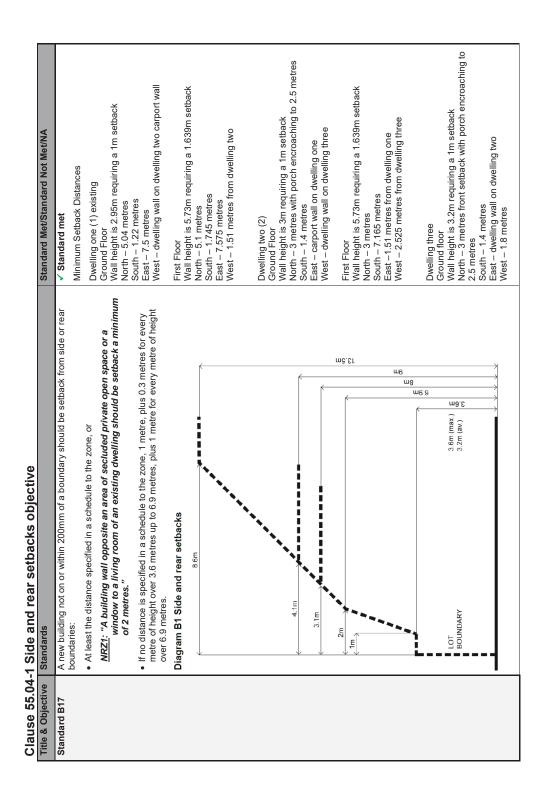
Clause 55.03-7 Safe	-7 Safety objective	
Title & Objective	Standa	Standard Met/Standard Not Met/NA
Standard B12	Entrances to dwellings and residential buildings should not be obscured or isolated from the	✓ Standard met
	street and internal accessways.	Entries are not obscured or isolated
	Planting which creates unsafe spaces along streets and accessways should be avoided.	✓ Standard met
		Planting does not appear to create unsafe areas
	Developments should be designed to provide good lighting, visibility and surveillance of car	✓ Standard met
	parks and internal accessways.	External lighting provided to the vehicular and pedestrian access points
	Private spaces within developments should be protected from inappropriate use as public	✓ Standard met
	thoroghtares.	Private open spaces are fenced or blocked by buildings
Decision Guidelines	The design response.	
Objectives	To ensure the layout of development provides for the safety and security of residents and property.	✓ Objectives met

Clause 55.03	Clause 55.03-6 Landscaping objectives	
Title & Objective	Standards	Standard Met/Standard Not Met/NA
Standard B13	The landscape layout and design should:	✓ Standard met
	 Protect any predominant landscape features of the neighbourhood. 	
	 Take into account the soil type and drainage patterns of the site. 	
	 Allow for intended vegetation growth and structural protection of buildings. 	
	 In locations of habitat importance, maintain existing habitat and provide for new habitat for plants and animals. 	
	 Provide a safe, attractive and functional environment for residents. 	
	Development should provide for the retention or planting of trees, where these are part of the character of the neighbourhood.	✓ Standard met No mature trees present
	Development should provide for the replacement of any significant trees that have been removed in the 12 months prior to the application being made	Standard met No significant trees have been removed in the last 12 month
	The landscape design should specify landscape themes, vegetation (location and species), paving and lighting.	✓ Standard met
	the zone. All schedules to all residential zones: All schedules to all residential zones: "70% of ground level front setback, and side and rear setbacks, planted with substantial landscaping and canopy trees."	Northern frontage to Thames Avenue 31.09 metres wide 81.4 square metres total from the proposed development 68 square metres set aside for landscaping = 83.5% provided Eastern frontage to Ellen Street is 13.33 metres wide 90.2 square metres total from the proposed development 72.2 square metres set aside for landscaping = 80% provided
		The proposal has set aside more than 70% of ground level front setbacks for landscaping
Decision Guidelines	Any relevant neighbourhood character objective, policy or statement set out in this scheme. Any relevant plan or policy for landscape design in the SPPF and the LPPF, including the MSS and local planning policies.	

	The design response.	
	The location and size of gardens and the predominant plant types in the neighbourhood.	
	THE IOCAROLI AILA SIZE OF BALGERS AILA RIP PICAGIIII AILE PICAGIIII AILE PICAGIII DOGI.	
	The health of any trees to be removed.	
	Whether a tree was removed to gain a development advantage.	
Objectives	To encourage development that respects the landscape character of the neighbourhood.	✓ Objectives met
	To encourage development that maintains and enhances habitat for plants and animals in locations of habitat importance.	
	To provide appropriate landscaping.	
	To encourage the retention of mature vegetation on the site.	
Clause 55.03-	Clause 55.03-9 Access objective	
Title & Objective	Standards	Standard Met/Standard Not Met/NA
Standard B14	The width of accessways or car spaces should not exceed:	✓ Standard met
	• 33 per cent of the street frontage, or	Northern frontage = 31.09 metres
	• if the width of the street frontage is less than 20 metres, 40 per cent of the street frontage.	Accessways = 6 metres
		= 19.29%
		Complies with the standard of less than 33%
		Eastern frontage = 13.33 metres
		Accessway = 3 metres
		= 22%
		Complies with the standard of less than 40%
	No more than one single-width crossover should be provided for each dwelling fronting a	✓ Standard met
	street.	Two crossovers proposed to the two dwellings fronting Thames Avenue and one to the one dwelling fronting Ellen Street
	The location of crossovers should maximise retention of on-street car parking spaces.	✓ Standard met
	The number of access points to a road in a Road Zone should be minimised.	NA
	, , , , , , , , , , , , , , , , , , ,	

	Developments must provide for access for service, emergency and delivery vehicles.	✓ Standard met
		The 3 metres wide accessway would be accessible for emergency and delivery vehicles
Decision	The design response.	
Salliaging	The impact on neighbourhood character.	
	The reduction of on-street car parking spaces.	
	The effect on any significant vegetation on the site and footpath.	
Objectives	To ensure the number and design of vehicle crossovers respects the neighbourhood character.	✓ Objectives met

Title & Objective	Standards	Standard Met/Standard Not Met/NA
Standard B15	Car parking facilities should:	* Standard not met
	 Be reasonably close and convenient to dwellings and residential buildings. 	Car parking is conveniently located to residential
	Be secure.	buildings. I he carports to dwellings two (2) and three (3) are not well secure.
	• Be well ventilated if enclosed.	
		✓ Standard met
	located at least 1.5 metres from the windows of habitable rooms. This setback may be reduced to 1 metre where there is a fence at least 1.5 metres high or where window sills are at least 1.4 metres above the accessway.	Each dwelling is accommodated with an individual accessway
	The design response.	It is considered that the carports to dwellings two (2) and
Guidelines		three (3) are required to have a door to the Thames Avenue frontage to secure the car parking space.
Objectives	To provide convenient parking for residents and visitors vehicles.	* Objective not met
	To protect residents from vehicular noise within developments.	The proposal complies with the objective to secure convenient car parking spaces with the inclusion of the following condition:
		 Inclusion of a roller door to dwelling two (2) and three (3) carports.

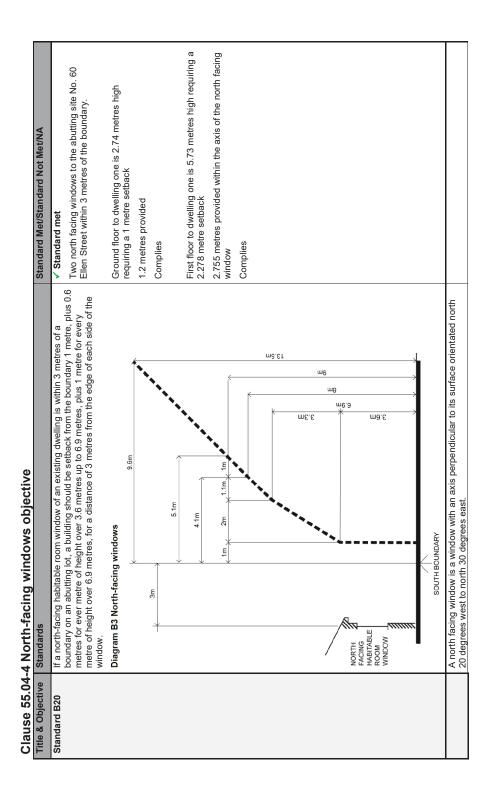


		First Floor Wall height is 5.73m requiring a 1.639m setback North – 3 metres South – 3.93 metres East – 2.525 metres West – 1.83 metres
	Sunblinds, verandahs, porches, eaves, fascias, gutters, masonry chimneys, flues, pipes, domestic fuel or water tanks, and heating or cooling equipment or other services may encroach not more than 0.5 metres into the setbacks of this standard.	 Standard met No encroachments more than 0.5 metres
	Landings having an area of not more than 2 square metres and less than 1 metre high, stairways, ramps, pergolas, shade sails and carports may encroach into the setbacks of this standard.	 Standard met No landings encroaching into the minimum setbacks
Decision Guidelines	Any relevant neighbourhood character objective, policy or statement set out in this scheme. The design response.	
	The impact on the amenity of the habitable room windows and secluded private open space of existing dwellings.	
	Whether the wall is opposite an existing or simultaneously constructed wall built to the boundary.	
	Whether the wall abuts a side or rear lane.	
Objectives	To ensure that the height and setback of a building from a boundary respects the existing or preferred neighbourhood character and limits the impact on the amenity of existing dwellings.	✓ Objectives met

Clause 55.04-2 Wal	-2 Walls on boundaries objective	
Title & Objective		Standard Met/Standard Not Met/NA
Standard B18	A new wall constructed on or within 200mm of a side or rear boundary of a lot or a carport constructed on or within 1 metre of a side or rear boundary of lot should not abut the boundary:	 Standard met No proposed walls on or within 0.2 metres of a boundary
	• For a length of more than the distance specified in the schedule to the zone; or	
	• If no distance is specified in a schedule to the zone, for a length of more than:	
	- 10 metres plus 25 per cent of the remaining length of the boundary of an adjoining lot, or	
	 Where there are existing or simultaneously constructed walls or carports abutting the boundary on an abutting lot, the length of the existing or simultaneously constructed walls or carports, 	
	whichever is the greater.	
	A new wall or carport may fully abut a side or rear boundary where slope and retaining walls or fences would result in the effective height of the wall or carport being less than 2 metres on the abutting property.	/ Standard met
	A building on a boundary includes a building set back up to 200mm from a boundary.	✓ Standard met
	The height of a new wall constructed on or within 200 mm of a side or rear boundary or a carport constructed on or within 1 metre of a side or rear boundary should not exceed an average of 3.2 metres with no part higher than 3.6 metres unless abutting a higher existing or simultaneously constructed wall.	✓ Standard met
Decision	Any relevant neighbourhood character objective, policy or statement set out in this scheme.	
enidellines	The design response.	
	The extent to which walls on boundaries are part of the neighbourhood character.	
	The impact on the amenity of existing dwellings.	
	The opportunity to minimise the length of walls on boundaries by aligning a new wall on a boundary with an existing wall on a lot of an adjoining property.	
	The orientation of the boundary that the wall is being built on.	
	The width of the lot.	
	The extent to which the slope and retaining walls or fences reduce the effective height of the wall.	
	Whether the wall abuts a side or rear lane.	
	The need to increase the wall height to screen a box gutter.	

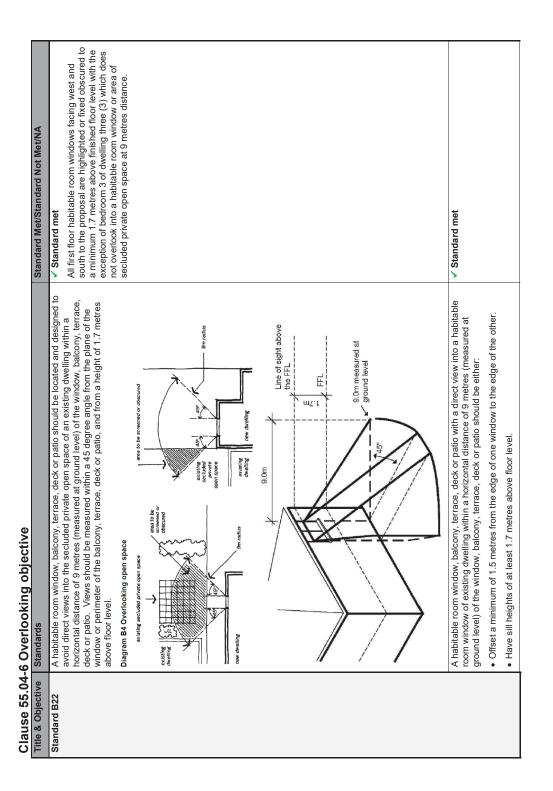
Clause 55.04-3 Daylight to e Title & Objective Standards Standard B19 Buildings opposite a existing window that metre clear to the skindle or carports metre clear to the skindle or carports metre clear to the skindle or carports metre clear to the skindle or carborts metre clear to the skindle or carports metre clear to the skindle or carborts metre clear to the ski		
Buildings existing v metre cle wetre cle wells or carrows walls or carrows walls or carrows walls or carrows walls or carrows to withis will to within will bingram	ght to existing windows objective	
Buildings existing vesting yes a metre cle walls or should be wall is will to will is will be to be presented to be wall is will be wall in the wall in the wall is will be wall in the wall in the wall in the wall is will be wall in the wall i		Standard Met/Standard Not Met/NA
walls or carports me should be set back for wall is within a 55 de to within 35 degrees	Buildings opposite an existing habitable room window should provide for a light court to the existing window that has a minimum area of 3 square metres and minimum dimension of 1 metre clear to the sky. The calculation of the area may include land on the abutting lot.	✓ Standard met No. 60 Ellen Street has two north facing habitable room windows 1.2 metres from the boundary. Existing site circumstances is a paling fence 1.8 metres high. The proposed 1.2 metres to the ground floor of dwelling one (1) would allow for a minimum of 3 square metres and 1 metre clear to the sky for the eastern window and the western window adjoins the area of secluded private popen space with a minimum 5 metres setback from the proposed dwelling two (2).
Existing Pro Mall He wall Where the existing a floor level of the roo	Walls or carports more than 3 metres in height opposite an existing habitable room window should be set back from the window at least 50 per cent of the height of the new wall if the wall is within a 55 degree arc from the centre of the existing window. Diagram B2 Daylight to existing windows Existing Proposed Existing Proposed The arc may be swung to within a 55* of the plane of the wall serback from the window half the window half the height of the window is above ground floor level, the wall height is measured from the room containing the window.	✓ Standard met The garage to dwelling one (1) is proposed to be a maximum 2.91 metres high
Decision The design response. Guidelines The extent to which the	The design response. The extent to which the existing dwelling has provided for reasonable daylight access to its	

The impact on the amenity of existing dwellings. Objective To allow adequate daylight into existing habitable room windows.		habitable rooms through the siting and orientation of its habitable room windows.	
•		The impact on the amenity of existing dwellings.	
	Objective	To allow adequate daylight into existing habitable room windows.	Objectives met



	Applies where existing HRW is between 20 west and 30 east from north	
Decision	The design response.	
Sallapino	Existing sunlight to the north-facing habitable room window of the existing dwelling.	
	The impact on the amenity of existing dwellings.	
Objective	To allow adequate solar access to existing north-facing habitable room windows.	✓ Objectives met

Clause 55.04	Clause 55.04-5 Overshadowing open space objective	
Title & Objective	Standards	Standard Met/Standard Not Met/NA
Standard B21	Where sunlight to the secluded private open space of an existing dwelling is reduced, at least 75 per cent, or 40 square metres with a minimum dimension of 3 metres, whichever is the lesser area, of the secluded private open space should receive a minimum of five hours of sunlight between 9am and 3pm on 22 Sept.	Standard met Shadow diagrams are provided with the submitted plans demonstrating that the directly abutting lots to the west and the south are not overshadowed with at least 75% of the areas of secluded private open space unaffected at all times of day
	If existing sunlight to the secluded private open space of an existing dwelling is less than the requirements of this standard, the amount of sunlight should not be further reduced.	Standard met Existing areas of secluded private open space exceed the requirement
Decision Guidelines	The design response. The impact on the amenity of existing dwellings. Existing sunlight penetration to the secluded private open space of the existing dwelling. The time of day that sunlight will be available to the secluded private open space of the existing dwelling. The effect of a reduction in sunlight on the existing use of the existing secluded private open space.	
Objective	To ensure buildings do not significantly overshadow existing secluded private open space.	✓ Objectives met



	Have fixed, obscure glazing in any part of the window below 1.7 metre above floor level.	
	 Have permanently fixed external screens to at least 1.7 metres above floor level and be no more than 25 per cent transparent. 	
	Obscure glazing in any part of the window below 1.7 metres above floor level may be openable provided that there are no direct views as specified in this standard.	✓ Standard met
	Screens used to obscure a view should be:	✓ Standard met
	 Perforated panels or trellis with a maximum of 25 per cent openings or solid translucent panels. 	
	 Permanent, fixed and durable. 	
	 Designed and coloured to blend in with the development. 	
	The standard does not apply to a new habitable room window, balcony, terrace, deck or patio which faces a property boundary where there is a visual barrier at least 1.8 metres high and the floor level of the habitable room, balcony, terrace, deck or patio is less than 0.8 metres	Standard met The maximum finished floor level to the ground floor is Standard floor level to the ground floor is
	above ground level at the boundary.	 0.5 metres above hatural ground level. There is no area to the ground floor above 0.8 metres of natural ground level.
Decision	The design response.	
sallianing	The impact on the amenity of the secluded private open space or habitable room window.	
	The existing extent of overlooking into the secluded private open space and habitable room window of existing dwellings.	
	The internal daylight to and amenity of the proposed dwelling or residential building.	
Objective	To limit views into existing secluded private open space and habitable room windows.	✓ Objectives met

Clause 55.04-7 Inter	7 Internal views objective	
Title & Objective Standards	Standards	Standard Met/Standard Not Met/NA
Standard B23	Windows and balconies should be designed to prevent overlooking of more than 50 per cent 💉 Standard met	✓ Standard met
	of the sectuded private open space of a lower-level dwelling or residential building directly below and within the same development.	All first floor windows facing south are highlighted to 1.7 metres above finished floor level.
		There are no possibilities of internal views.
Decision Guidelines	The design response.	
Objective	To limit views into the secluded private open space and habitable room windows of dwellings Objectives met and residential buildings within a development.	✓ Objectives met

Clause 55.04-	Clause 55.04-8 Noise impacts objectives	
Title & Objective	Standards	Standard Met/Standard Not Met/NA
Standard B24	Noise sources, such as mechanical plant, should not be located near bedrooms of	✓ Standard met
	Immediately adjacent existing dwellings.	No noise sources apparent
	Noise sensitive rooms and secluded private open spaces of new dwellings and residential buildings should take into account of noise sources on immediately adjacent properties.	✓ Standard met
	Dwellings and residential buildings close to busy roads, railway lines or industry should be	Standard met
	designed to limit noise levels in habitable rooms.	
Decision Guidelines	The design response.	
Objectives	To contain noise sources within development that may affect existing dwellings.	✓ Objectives met
	To protect residents from external noise.	

Title & Objective	Standards	Standard Met/Standard Not Met/NA
Standard B25	The dwelling entries of the ground floor of dwellings and residential buildings should be accessible or able to be easily made accessible to be easily made accessible to be able to be abl	✓ Standard met
		The design ensures easy accessibility into each dwelling
Objective	To encourage the consideration of the needs of people with limited mobility in the design of	✓ Objectives met
	developments.	

Clause 55.05-	Clause 55.05-2 Dwelling entry objective	
Title & Objective Standards	Standards	Standard Met/Standard Not Met/NA
Standard B26	Entries to dwellings and residential buildings should:	✓ Standard met
	 Be visible and easily identifiable from streets and other public areas. Provide shelter, a sense of personal address and a transitional space around the entry. 	The design is easily identifiable to the street view, provides shelter and allows each dwelling to have its own sense of identity through separation at the first floor, individual accessways and the porch detailing.
Objective	To provide each dwelling or residential building with its own sense of identity.	✓ Objectives met

Title & Objective Standard	Standards	Standard Met/Standard Not Met/NA
Standard B27	A window in a habitable room should be located to face:	✓ Standard met
	 An outdoor space clear to the sky or a light court with a minimum area of 3 square metres and minimum dimension of 1 metre clear to the sky, not including land on an abutting lot, or 	Each new window is accommodated with a minimum 3 square metres and 1 metre clear to the sky
	A verandah provided it is open for at least on third of its perimeter, or	
	A carport provided it has two or more open sides and is open for at least on third of its perimeter.	
Decision	The design response.	
Guidelines	Whether there are other windows in the habitable room which have access to daylight.	
Objective	To allow adequate daylight into new habitable room windows.	✓ Objectives met

Clause 55.05-4 Private open space objective

Fitle & Objective	Standards	Standard Met/Standard Not Met/NA
Standard B28	A dwelling or residential building should have private open space of an area and dimensions specified in a schedule to the zone.	✓ Standard met Ground floor private open space
	GRZ1: "An area of 50 square metres of ground level, private open space, with an area of secluded private open space at the side or rear of the dwelling with a minimum area of 30 square metres and a minimum dimension of 5 metres and convenient access from a living room; or A balcony or rooftop with a minimum area of 10 square metres with a minimum width of 2 metres that is directly accessible from the main living area."	Dwelling one (1) A total area of 113.9 square metres to the front and side of the dwelling consisting of a minimum area of 30.5 square metres to the side with a minimum dimension of 5.04 metres and convenient access to the main living area and with an additional 5.4 square metres to the rear of the garage.
		Dwelling two (2) A total area of 51 square metres provided to the front and rear of the dwelling consisting of a minimum area of 30.1 square metres to the rear with a minimum dimension of 5 metres and convenient access to the main ground floor living area
		Dwelling three (3) A total area of 73.8 square metres to the front side and rear of the dwelling consisting of a minimum area of 31.2 square metres with a minimum dimension of 5 metres and convenient access to the main living area
	If no area or dimensions are specified in a schedule to the zone, a dwelling or residential building should have private open space consisting of:	NA
	 An area of 40 square metres, with one part of the private open space to consist of secluded private open space at the side or rear of the dwelling or residential building with a minimum area of 25 square metres, a minimum dimension of 3 metres and convenient access from a living room, or 	
	A balcony of 8 square metres with a minimum width of 1.6 metres and convenient access from a living room, or	
	 A roof-top area of 10 square metres with a minimum width of 2 metres and convenient access from a living room. 	
	The balcony requirements in Clause 55.05-4 do not apply to an apartment development.	
Decision	The design response.	
callianing	The useability of the private open space, including its size and accessibility.	

Ė	he availability of and access to public or communal open space.	
Ţ	he orientation of the lot to the street and the sun.	
Objective To	o provide adequate private open space for the reasonable recreation and service needs of ssidents.	✓ Objectives met

Clause 55.05-5 Solar	-5 Solar access to open space objective	A THE CONTRACTOR OF THE CONTRA
Title & Objective	Standards	Standard Met/Standard Not Met/NA
Standard B29	The private open space should be located on the north side of the dwelling or residential building, if appropriate.	✓ Standard met
	The southern boundary of secluded private open space should be set back from any wall on	✓ Standard met
	the north of the space at least (2 +0.9h) metres, where 'h' is the height of the wall. Diagram B5 Solar access to open space	The primary area of secluded private open space to dwelling two and three are located to the south of a wall
		Dwelling two (2)
	Z	Ground floor wall height is 3.317 metres 2 + 0.9 x 3 = 4.99 metres required 5.03 metres provided
	secluded private open space Secluded private open space	First floor wall height is 5.73 metres 2 + 0.9 x 5.4 = 7.157 metres
	Approximate angle of sun at equinox	7.165 metres provided
		Dwelling three (3)
	(u) Iran	Ground floor wall height is 3.317 metres 2 + 0.9 x 3.2 = 4.99 metres required 5.03 metres provided
	Setback 0.9h + 2m *	First floor wall height is 5.73 metres 2+ 0.9 x 5.6 = 7.1574 metres 7 165 metres provided
		Complies
Decision	The design response.	
Guidelines	The useability and amenity of the secluded private open space based on the sunlight it will receive.	
Objective	To allow solar access into the secluded private open space of new dwellings and residential buildings.	✓ Objectives met

Clause 55.05-	Clause 55.05-6 Storage objective	
Title & Objective Standards	Standards	Standard Met/Standard Not Met/NA
Standard B30	Each dwelling should have convenient access to at least 6 cubic metres of externally	✓ Standard met
	accessible, secure storage space.	6 cubic metres of externally accessible storage within the
		garage to dwelling one and both under the internal stairs
		and as overhead storage to dwelling two and three
Objective	To provide adequate storage facilities for each dwelling.	✓ Objectives met

Clause 55.06·	Clause 55.06-1 Design detail objective	
Title & Objective	Standards	Standard Met/Standard Not Met/NA
Standard B31	The design of buildings, including:	✓ Standard met
	 Façade articulation and detailing, 	The proposed pitched roof forms, clear separation
	Window and door proportions,	between each dwelling at the first floor and visual interest utilised with the variation of colours and materials
	Roof form, and	correspond with the preferred character.
	 Verandahs, eaves and parapets, 	
	should respect the existing or preferred neighbourhood character.	
	Garages and carports should be visually compatible with the development and the existing or preferred neighbourhood character.	 Standard met Garages and carborts are visually compatible with the
		development
Decision	Any relevant neighbourhood character objective, policy or statement set out in this scheme.	
cuideillies	The design response.	
	The effect on the visual bulk of the building and whether this is acceptable in the neighbourhood setting.	
	Whether the design is innovative and of a high architectural standard.	
Objective	To encourage design detail that respects the existing or preferred neighbourhood character.	✓ Objectives met

Standard B32	Standards		Standard Meustandard Not MeunA
	The design of front fences should complement the de building and any front fences on adjoining properties.	of front fences should complement the design of the dwelling or residential d any front fences on adjoining properties.	✓ Standard met No front fence proposed
	A front fence within 3 metres of a street should not exceed:	et should not exceed:	* Standard not met
	• The maximum height specified in a schedule to the zone, or	schedule to the zone, or	1.8 metre high fence within 3 metres of the boundary to
	All schedules to all residential zones:	ones:	trie al ea or sectuded private open space of dwelling of let (1).
	"Maximum 1.5 metre height in streets in Road Zone Category 1 1.2 metre maximum height for other streets"	treets in Road Zone Category 1 ther streets"	
	 If no maximum height is specified in Table B3. 	 If no maximum height is specified in a schedule to the zone, the maximum height specified in Table B3. 	
	Table B3 Maximum front fence height	eight	
	Street Context	Maximum front fence height	
	Streets in a Road Zone, Category 1	2 metres	
	Other streets	1.5 metres	
Decision	Any relevant neighbourhood characte	Any relevant neighbourhood character objective, policy or statement set out in this scheme.	It is considered that the location of the primary area of
euideiines	The design response.		sectuded private open space to dwelling one (1) is acceptable due to the orientation of the site and design of
	The setback, height and appearance	The setback, height and appearance of front fences on adjacent properties.	the development for connectivity and solar access. This has led to the requirement of a 1.8 metre high boundary
	The extent to which slope and retaini	to which slope and retaining walls reduce the effective height of the front fence.	fence to the area of secluded private open space for
	Whether the fence is needed to minimise noise intrusion.	mise noise intrusion.	security and safety. The boundary fence is acceptable and corresponds with the neighbourhood character with a 1.5 metre high timber fence directly opposite to the corner at No. 56 Ellen Street and the existing site circumstances of a 1.5 metre high colorbond fence along Thames
			Avenue to the subject site.
Objective	To encourage front fence design that	To encourage front fence design that respects the existing or preferred neighbourhood	✓ Objectives met
	cnaracter.		The proposed 1.8 metre high vertical monument fence is considered to be acceptable to the site and is responding to the existing neighbourhood character.

Title & Objective Standard	Standards	Standard Met/Standard Not Met/NA
Standard B33	Developments should clearly delineate public, communal and private areas.	✓ Standard met
		No common property proposed
	Common property, where provided, should be functional and capable of efficient management.	✓ Standard met
Objectives	To ensure that communal open space, car parking, access areas and site facilities are practical, attractive and easily maintained.	✓ Objectives met
	To avoid future management difficulties in areas of common ownership.	

The design and layout of dwellings and residential buildings should provide sufficient space (including easements where required) and facilities for services to be installed and maintained efficiently and economically. Bin and recycling enclosures, mallboxes and other site facilities should be adequate in size, durable, waterproof and blend in with the development. Bin and recycling enclosures should be located for convenient access by residents. Mailboxes should be provided and located for convenient access as required by Australia Post. The design response. To ensure that site services can be installed and easily maintained.	Clause 55.00		
The design and layout of dwellings and residential buildings should provide sufficient space (including easements where required) and facilities for services to be installed and maintained efficiently and economically. Bin and recycling enclosures, mailboxes and other site facilities should be adequate in size, durable, waterproof and blend in with the development. Bin and recycling enclosures should be located for convenient access by residents. Mailboxes should be provided and located for convenient access as required by Australia Post. The design response. To ensure that site services can be installed and easily maintained. To ensure that site facilities are accessible, adequate and attractive.	Title & Objective	Standards	Standard Met/Standard Not Met/NA
(including easements where required) and facilities for services to be installed and maintained efficiently and economically. Bin and recycling enclosures, mailboxes and other site facilities should be adequate in size, durable, waterproof and blend in with the development. Bin and recycling enclosures should be located for convenient access by residents. Mailboxes should be provided and located for convenient access by Australia Post. The design response. To ensure that site services can be installed and easily maintained. To ensure that site facilities are accessible, adequate and attractive.	Standard B34	The design and layout of dwellings and residential buildings should provide sufficient space	✓ Standard met
Bin and recycling enclosures, mailboxes and other site facilities should be adequate in size, durable, waterproof and blend in with the development. Bin and recycling enclosures should be located for convenient access by residents. Mailboxes should be provided and located for convenient access as required by Australia Post. The design response. To ensure that site services can be installed and easily maintained. To ensure that site facilities are accessible, adequate and attractive.		(including easements where required) and facilities for services to be installed and maintained efficiently and economically.	A sufficient side setback is provided to the western easement and drainage asset from dwelling three (3).
Bin and recycling enclosures, mailboxes and other site facilities should be adequate in size, durable, waterproof and blend in with the development. Bin and recycling enclosures should be located for convenient access by residents. Mailboxes should be provided and located for convenient access as required by Australia Post. The design response. To ensure that site services can be installed and easily maintained. To ensure that site facilities are accessible, adequate and attractive.			Side or rear setbacks are provided to each dwelling for domestic services to be installed and maintained efficiently
Adurable, waterprior and blend in with the development. Bin and recycling enclosures should be located for convenient access by residents. Mailboxes should be provided and located for convenient access as required by Australia Post. The design response. To ensure that site services can be installed and easily maintained. To ensure that site facilities are accessible, adequate and attractive.			✓ Standard met
Bin and recycling enclosures should be located for convenient access by residents. Mailboxes should be provided and located for convenient access as required by Australia Post. The design response. To ensure that site services can be installed and easily maintained. To ensure that site facilities are accessible, adequate and attractive.			Site services are located within the development and blend in
Mailboxes should be provided and located for convenient access as required by Australia Post. The design response. To ensure that site services can be installed and easily maintained. To ensure that site facilities are accessible, adequate and attractive.		Bin and recycling enclosures should be located for convenient access by residents.	✓ Standard met
Mailboxes should be provided and located for convenient access as required by Australia Post. The design response. To ensure that site services can be installed and easily maintained. To ensure that site facilities are accessible, adequate and attractive.			Bin and recycling enclosures are conveniently located
The design response. To ensure that site services can be installed and easily maintained. To ensure that site facilities are accessible, adequate and attractive.		Mailboxes should be provided and located for convenient access as required by Australia	✓ Standard met
The design response. To ensure that site services can be installed and easily maintained. To ensure that site facilities are accessible, adequate and attractive.		Post.	Mailboxes are conveniently located to each pedestrian access point
To ensure that site services can be installed and easily maintained. To ensure that site facilities are accessible, adequate and attractive.	Decision Guidelines	The design response.	
To ensure that site facilities are accessible, adequate and attractive.	Objectives	To ensure that site services can be installed and easily maintained.	✓ Objectives met
		To ensure that site facilities are accessible, adequate and attractive.	

3 QUESTION TIME - PUBLIC

Question

Raymond Lamb, Dandenong

The Hemmings Street Shopping Strip construction works look good but at this time of year, the street looks depressing with trees with no leaves. Will there be more trees planted and native ones so the strip looks better and will there be green shrubs with flowers that brighten the place up?

Response

Paul Kearsley, Director Business, Engineering and Major Projects

I would like to thank Mr Lamb for the question and advise that the project is currently under construction and the landscaping will be put into place once construction has completed. I would be happy to get Mr Lamb some more details with regards to the specifics of the trees and additional landscaping that will be put in at that time. It will look different to how it is now and unfortunately with this time of year things can look somewhat dead but we will be planting after the first stage of construction is completed.

Question

Silva Zavarsek, Springvale

Regarding Agenda item 2.3.3 -PLN19/0643. We currently have no overshadowing of our solar panels. The agenda papers report that the original plans would have resulted in our solar panels being overshadowed by approximately 50 percent at 12pm. With the required condition placed on the permit to increase the setback from the southern boundary of the first floor of dwelling 1 by 0.5 metres, how much overshadowing, i.e. as a percentage, of our solar panels is expected at 12pm?

The plans clearly indicate that there be no obstruction over 900 millimetres within driveway visibility splays for dwelling 1. The majority of the visibility splays for dwelling 1 extend over our property. Are visibility splays supposed to be contained within a property's boundary, noting this is the case for dwellings 2 and 3 according to the plans? We have a brick pillar and plants that exceed that height within the visibility splays for dwelling 1. Please clarify how that driveway can be constructed where proposed, given the height restriction of the visibility splays cannot be met.

Response

Jody Bosman, Director City Planning, Design and Amenity

This is the item that we have just discussed around the overshadowing of the solar panels. The development as proposed does indicate some shading of the solar panels at midday and it is relatively free of shadowing for the remainder of the day. There is no specific numerical measure for protecting solar panels. Rather as I explained earlier, it seeks that the performance of solar panels is not unreasonably reduced. By relocating the first floor of dwelling 1 a further half metre from the neighbour and that was a condition in the permit, it will achieve the numerical measure required for north-facing windows which will diminish any overshadowing of the neighbouring property. As such, it is considered that the performance of the solar panels will not be unreasonably reduced.

3 QUESTION TIME - PUBLIC (Cont.)

As to the second part of the question in terms of the visibility splay, the planning scheme requires that pedestrian safety is adequately maintained. In this instance, due to the reduced obstructions within the subject site and the location of the parking, pedestrian safety is considered acceptable and if a permit is issued as it has been or a notice of decision to issue a permit has been, no restrictions will be placed on any property other than on the subject site.

John Bennie PSM, Chief Executive Officer tabled a listing of responses to questions taken on notice/requiring further action at the previous Council meeting. A copy of the responses provided as an attachment.

3 QUESTION TIME - PUBLIC (Cont.)

PUBLIC QUESTIONS TAKEN ON NOTICE/REQUIRING FURTHER ACTION

Question Asked By	Subject & Summary of Question	Responsible Officer	Date of Completion	Summary of Response
Gaye Guest, Keysborough	Keysborough Uniting Church Building Preservation		19/05/20	Initial Response provided 11/05/20: I can advise that Council officers have
	A month ago, I sent this question through			written to the Uniting Church some time
	and it appears to have been lost in cyberspace. Further to my question at a	Amenity		ago raising their concerns and offering to assist in ways to preserve the
	recent Council meeting about the			building. We will follow that up and can
	Keysborough Uniting Church at 176			provide further information to the
	Chapel Road, Keysborough, it has become evident that this church was			resident once we receive a response.
	designed by John Beswicke, a heritage			Further Response Provided
	architect and soll of Elizabeth Neys. IVII Reswicke also designed the Dandenong			13/03/20: As advised by the Chief Evecutive
	Town Hall. Hawthorn Town Hall in 1889			Officer at the Council meeting on the
	and many of the beautiful homes in			night in response to your question, I
	Harcourt Street, Hawthorn, in which he			can confirm that I as well as the Mayor,
	and his family lived to name a few. These			Cr Jim Memeti have separately written
	homes are heritage listed. The Facebook			to the Uniting Church on 26 March and
	page and Change.org petition have been			30 March 2020 respectively. Whilst
	set up to save the historic Keysborough			Council received acknowledgement
	Uniting Church. Both are gathering			soon thereafter to these letters, no
	momentum and another person has had			further correspondence or response to
	contact and discussion with a			the issues Council raised has been
	representative of UCPT over this			received. Council Officers have
	precious building. That person has been			followed up and have been advised
	told that the church does have historical			that we should expect a response or
	relics in it. Moving forward, what			communication within the coming
	discussions can Council have with the			week.
	following:			Council officers have raised the
	(1) the building:			heritage significance of the building and
	(2) a list of what relics are in the church			concerns over the structural decline of
	apart from the heritage-listed window;			the church and the apparent lack of
	(3) where is the World War I honour			intervention by the building's
	board; and			custodians to safeguard both the
	(4) why has Council not prepared a			structure and the artefacts within it.
	document for Heritage Victoria to protect			Council is seeking the opportunity with

Reports from Councillors/Delegates & Councillors' Questions – Questions Taken on Notice

3 QUESTION TIME - PUBLIC (Cont.)

Date of Council Meeting	Question Asked By	Subject & Summary of Question	Responsible Date of Officer	Date of Completion	Summary of Response
		this 1877 building? It is the only remaining relic of early Keysborough pastoral history. We cannot afford to allow this building to disintegrate any further.			the Uniting Church authorities to discuss providing technical advice and support on advice on potential future uses along with supporting applications being made by the Uniting Church authorities to Heritage Victoria to
		Response John Bennie PSM, Chief Executive Officer will refer the question to Mr Jackson.			facilitate the protection of the building.
		but I would add at the outset that I have a clear recollection that this question was raised in this Chamber a little while ago. I received this late today and I have not had time to check our records but I feel sure that we have addressed it or			
		responded. Mr Jackson has only received this in the last half an hour himself so we will see if he has anything more to add to that at the moment but we will otherwise, take it on notice.			

At the Ordinary meeting of Council on Monday, 24 March 2014, Council resolved to change the way Councillors and Public questions taken on notice are answered and recorded from 14 April 2014 meeting of Council onwards.

Reports from Councillors/Delegates & Councillors' Questions – Questions Taken on Notice

2/2

4 OFFICERS' REPORTS - PART TWO

4.1 CONTRACTS

4.1.1 Contract No: 1920-62 Reconstruction of the Wachter Reserve Wetland

File Id: qA415843

Responsible Officer: Director Business, Engineering & Major Projects

Attachment: Tender Information (CONFIDENTIAL)

This report was deferred at Council's Ordinary Meeting of 11 May 2020 to allow further information to be included in the report. Further information has been added and it is now tabled again for Council's consideration.

Report Summary

This report outlines the tender process undertaken to select a suitably qualified and experienced contractor for the earthworks and drainage elements of the Wachter Reserve Wetland reconstruction.

Recommendation Summary

This report recommends that Council award Contract No. 1920-62 Wachter Reserve Wetland Reconstruction to JNR Civil Pty Ltd for fix Lump Sum of Five Hundred & Seventy Four Thousand, Eight Hundred & Sixty Five Dollars and Nine Cents (\$574,865.09) including GST of \$52,260.46.

Introduction

This contract is for the earthworks and drainage elements of the reconstruction of the Wachter Reserve Wetland. The works will see the existing wetland extended to improve its ability to treat storm water run-off from the adjacent catchments. The new wetland will be lined with a layer of low permeability clay to reduce the amount of water that infiltrates into the ground.

The works include:

- Stripping the extent of the wetland reconstruction area
- Over excavating the wetland extents to allow for the 500mm thick clay liner
- Compaction of the clay liner
- Installation of the sediment pond base and access track
- Installation of balance pipes, inlet and outlet structures
- Topsoiling and general reinstatement

The planting and establishment of the wetland vegetation will follow and be handled under a separate contract.

This work was identified as part of the Wachter Reserve masterplan and has been designed to integrate with future landscape improvements and planting within the reserve.

Tender Process

The tender was advertised on 15 February 2020 in The Age newspaper, Vendor Panel and Council's website. The tender closed at 2:00pm on 10 March 2020.

At the close of the tender advertising period, submissions were received from Ten (10) contractors, being:

- 1. JNR Civil Pty Ltd
- 2. Ground Technique Pty Ltd
- 3. LincRoads Pty Ltd
- 4. Shamrock Civil
- 5. 2Construct Pty Ltd
- 6. Optimal Stormwater Pty Ltd
- 7. Entracon Civil Pty Ltd
- 8. Gearon Civil Pty Ltd
- 9. CDN Constructors Pty Ltd
- 10. Drouin Concrete Pipes & Products Pty Ltd (Non-Conforming)

Tender Evaluation

The tender evaluation panel comprised of the Coordinator Civil Projects, Coordinator Open Space Projects, Graduate Engineer and Contracts & Administration Officer.

The Tenders were evaluated using Council's Weighted Attributed Value Selection Method. The advertised evaluation criteria and the allocated weightings for evaluation are as follows

Evaluation Criteria	Weighting
Price	45%
Relevant Experience and Past Performance	25%
Project Plan and Program	15%
Social Procurement	5%
Local Industry	5%
Environmental	5%

Points were awarded on a scale 0-5 based on the score parameters listed below.

Score	Description
5	Excellent
4	Very Good
3	Good, better than average
2	Acceptable
1	Marginally Acceptable
0	Not Acceptable

Each submission was assessed and ranked against all evaluation criteria to ensure that each tenderer met the standards required for Council contractors. A fail in any criterion would automatically exclude a tenderer from further consideration for this contract.

The nine (9) submissions were assessed and weighted attribute points scores resulting from the assessment are shown in the following table:

Tenderer	Price Points	Non-Price Points	Total Score	OHS	EMS
JNR Civil Pty Ltd	1.99	1.23	3.22	Pass	Pass
				Register pre-qualified Glob	with Rapid

Tenderer	Price Points	Non-Price Points	Total Score	OHS	EMS
Ground Technique Pty Ltd	1.64	1.53	3.17	No assessm shortlisted an registered v Glob	id not being vith Rapid
LincRoads Pty Ltd	1.34	0.95	2.29	Not assess shortlisted registered v Glob	l and not vith Rapid
Shamrock Civil	1.17	1.96	3.03	Not assess shortlisted registered v Glob	and not vith Rapid
2Construct Pty Ltd	1.08	1.66	2.74	Register pre-qualified Global hov assessed shortli	with Rapid vever not d as not
Optimal Stormwater Pty Ltd	1.05	0.96	1.91	Registered and pre-qualified with Rapid Global however not assessed as not shortlisted	
Entracon Civil Pty Ltd	0.88	1.65	2.53	Registered and pre-qualified with Rapi Global however not assessed as not shortlisted	
Gearon Civil Pty Ltd	0.66	1.86	2.52	Not assessed as not shortlisted and not registered with Rapid Global	
CDN Constructors Pty Ltd	0.09	1.20	1.29	Global Registered and pre-qualified with Rapid Global however not assessed as not shortlisted	

Please Note: Rapid Global is a third-party pre-qualification and verification system used by Council and six (6) other Victorian Councils enabling the sharing of OH&S data. It is a Risk and OH&S system where contractors can upload their Occupational Health & Safety, Risk and Environment Plans and Policies as well as up to date insurances.

All respondents must provide a completed Risk Management Questionnaire as part of the tender response. Council requires the successful tenderer to be registered and pre-qualified with Rapid Global.

Relevant Experience:

JNR Civil Pty Ltd has nominated the following relevant experience:

- Bloomdale Estate Stage 29 & 30 Wetland Construction Diggers Rest \$201k
- Aurora Treatment Plant Craigieburn and Epping \$280k
- Annual Capital Maintenance Works \$500k annually to 2021 Moreland City Council
- Car Park Asphalting, Crossover, Kerb and Channel and Barrier Kerb \$350k Procon Developments

The work required of this contractor is mostly civil engineering in nature with a strong emphasis on drainage and earthworks. The examples of past works show their ability in these areas especially the wetland project at Diggers Rest and the Aurora Treatment plant. The objective of this part of the overall project is technical rather than aesthetic. The aesthetic landscape works will follow.

In their submission the company noted that it is a capable and adaptable civil construction firm that enables it to work on a broad range of Civil Construction and Infrastructure projects including Bulk earthworks, Wetland developments, Subdivisions and Commercial and residential plumbing and drainage works.

The key performance outcomes for this contract are the compliance with material performance standards and the safe and efficient completion of the works. The material performance standards come from the earthworks specification and relate to the finished earthworks being able to hold water. Clay that is brought in to line a pond must meet specifications and then be moulded to form a waterproof bowl. The reverse is used in landfills to keep water out. Based on their past experience in civil and drainage works there is enough confidence that they will perform these works well.

Note 1: The higher the price score – lower the tendered price.

Note 2: The higher the non-price score – represents better capability and capacity to undertake the service.

Victorian Charter of Human Rights and Responsibilities

All matters relevant to the Victorian Human Rights Charter have been considered in the preparation of this report and are consistent with the standards set by the Charter.

Financial Implications

The funding requirement associated with this contract is \$522,604.63 excluding GST. The allocated budget for the whole project is \$700,000 excluding GST.

There is sufficient budget available for this contract to be let with the remaining project budget to be put towards the planting and establishment of wetland vegetation. This work will follow immediately after the conclusion of the civil works and be the subject of a separate procurement process.

Note: Schedule of Rates – A schedule of rates contract is one under which the amount that is payable to the contractor is calculated by applying an agreed schedule of rates to the quantity of work that is actually performed.

Lump Sum – A lump sum contact or a stipulated sum contract will require that the supplier agree to provide specified services for a stipulated or fixed price.

Social Procurement

The preferred Tenderer is a gold member of a cancer charity team. It periodically contributes to fundraisers such as the Royal Children's Hospital appeal.

Local Industry

The preferred tenderer estimates it will spend 10% of material purchases within the City of Greater Dandenong.

Environmental

The preferred Tenderer is ISO 14001 certified and is committed to continual improvement of its environmental performance by identifying, evaluating and managing the environmental risks associated with its business operations. This company will continue to monitor the impacts its activities have on the environment and by applying an approach of avoid, minimise and mitigate. It will achieve compliance with relevant environmental legislation.

Consultation

During the tender evaluation process and in preparation of this report, relevant Council Officers from Risk Management and OHS were consulted.

Conclusion

The evaluation panel is satisfied that the tenderer recommended for appointment has the relevant experience and resources to carry out the works in a timely, safe and efficient manner.

At the conclusion of the tender evaluation process the evaluation panel agreed that the tender submission from **JNR Civil Pty Ltd** represented the best value outcome for Council and should be accepted due to:

1. Their price submitted as part of the tender process

- 2. Their tender was conforming.
- 3. Good references were received.
- 4. The demonstrated level of experience undertaking similar works.

Recommendation

That Council:

- 1. awards Contract No. 1920-62 Wachter Reserve Wetland Reconstruction to JNR Civil Pty Ltd for fixed Lump Sum of Five Hundred & Seventy Four Thousand, Eight Hundred & Sixty Five Dollars and Nine Cents (\$574,865.09) including GST of \$52,260.46; and
- 2. signs and seals the contract documents when prepared.

MINUTE 1452

Moved by: Cr Tim Dark

Seconded by: Cr Peter Brown

That Council:

- awards Contract No. 1920-62 Wachter Reserve Wetland Reconstruction to JNR Civil Pty Ltd for fixed Lump Sum of Five Hundred & Seventy Four Thousand, Eight Hundred & Sixty Five Dollars and Nine Cents (\$574,865.09) including GST of \$52,260.46; and
- 2. signs and seals the contract documents when prepared.

CARRIED

CONTRACTS

CONTRACT NO. 1920-62 RECONSTRUCTION OF THE WACHTER RESERVE WETLAND

ATTACHMENT 1

TENDER INFORMATION (CONFIDENTIAL)

PAGES 2 (including cover)

This attachment has been deemed confidential by the Chief Executive Officer under section 77(2)(c) of the Local Government Act 1989 and section 125(1) of the Local Government Act 2020 and has not been provided within the Public Agenda.

If the details of the attachment are unclear please contact Governance on 8571 5235.

4.2 FINANCE AND BUDGET

4.2.1 Loan Funding Tender

File Id:

Responsible Officer: Director Corporate Services

Attachments: Instrument of Delegation

Report Summary

The report covers Council's loan funding requirements for the 2019-20 financial year. It is proposed to invite tenders and delegate authority to the Chief Executive Officer to appoint the successful tenderer based on the preferred interest rate and terms.

Recommendation Summary

This report recommends that Council exercises its powers to borrow \$10 million, by way of a tender process, as a principal and interest loan for a maximum period of 10 years.

Background

Council's Long Term Financial Strategy proposes a total of \$20 million in borrowings split evenly over the 2018-19 and 2019-20 financial years for the purpose of completing the Springvale Community Precinct Master Plan. These funds combine with proceeds from the sale of the former View Road depot and rate funding to complete this project which is estimated at \$51.5 million.

Council's 2019-20 Adopted Budget was formulated based on conducting a public tender process to raise \$10 million of loan funds to partly fund the Springvale Community Precinct project.

To ensure compliance with Section 186 of the Local Government Act (1989), a public tender process is necessary for the procurement of goods and services to the value in excess of \$150,000. As the service value of the loan contract (being the total amount of loan interest over the life of the loan) will exceed this amount, Council is required to give public notice and invite tenders from banks for the provision of this loan.

The 2019-20 Adopted Budget included proposed borrowings of \$10 million (and estimated servicing costs). Council's total loan borrowings are projected to be \$60.03 million at the end of the current 2019-20 financial year and remain within prudential loan limits

Proposal

It is proposed to invite tenders and delegate authority to the Chief Executive Officer to appoint the successful tenderer based on the preferred interest rate and terms. Whilst typically the lowest interest rate will be chosen, this may not be the case where a slightly higher rate is offered but for a longer fixed period.

Acceptance of a loan, by way of delegated authority to the Chief Executive Officer, is time critical in order for Council to secure the most competitive rate of interest by approving the loan the day the tenders are submitted. As interest rates are market sensitive, banks will only guarantee interest rates for a period of hours.

Councils who request banks to provide interest rates for a longer period of time (in order to satisfy the normal tender process of evaluation, recommendation and Council approval), results in financiers responding in either of two ways:

- **1. Indicative interest rates**. The provision of an indicative interest rate is where the bank provides a rate of interest that is current for that day only. A tender evaluation based on indicative interest rates does not reflect a competitive assessment as the preferred banker is then able to unfavourably change their rate of interest after Council approval; or
- **2.** Higher interest rate that provides a hedge (additional interest %) for market movements. Some banks may offer Council a firm rate of interest for a longer period (days or weeks) however this rate of interest is higher and uncompetitive as the banks are then required to estimate the future movement in rates that include a hedge (additional interest %) factor.

Securing the most competitive interest rate, by approving the loan the day the tenders are submitted, is critical to minimise the cost to Council. At the time of writing, indicative interest rates are currently around 2.45% for a 10-year fixed rate loan of \$10 million.

Community Plan 'Imagine 2030' and Council Plan 2017-2021 – Strategic Objectives, Strategies and Plans

After consultation with the Greater Dandenong community on what kind of future they wanted to see for themselves and the City in 2030, the result was the Greater Dandenong Community Plan 'Imagine 2030'. This report is consistent with the following community visions:

Community Plan 'Imagine 2030'

Opportunity

Leadership by the Council – The leading Council

Council Plan 2017-2021

The Council Plan describes the kind of future the Council is working for, and how Council will do this over four years. This report is consistent with the following goals:

Opportunity

An open and effective Council

The strategies and plans that contribute to these outcomes are as follows:

- Long Term Financial Strategy
- Annual Budget 2019-20

Related Council Policies

The borrowing of loan proceeds to partly fund Council's Capital Works program is pursuant to the adopted Long Term Financial Strategy 2019-20 – 2023-24 and the Proposed Long Term Financial Strategy 2020-21 – 2024-25.

Financial Implications

An amount of \$3.06 million has been included within the 2019-20 Annual Mid-Year Budget to fund interest payments in respect of Council's loan portfolio in accordance with Council's Long Term Financial Strategy.

Consultation

There is no requirement for consultation and engagement in this matter.

Conclusion

The delegation of authority to the Chief Executive Officer enables the acceptance of a loan tender and the execution of loan documents on behalf of Council.

Recommendation

That Council:

- 1. exercises its powers to borrow \$10 million, by way of a tender process, as a principal and interest loan for a maximum period of 10 years;
- 2. delegates authority to the Chief Executive Officer to accept a tender for Contract No. 1920-84 subject to debt servicing costs for all loans (repayment of principal and interest) remaining within Council's 2019-20 Adopted Budget; and
- 3. authorises the signing and sealing of the specified Instrument of Delegation for the Chief Executive Officer to accept a tender for Contract No. 1920-84 at the preferred tendered interest rate and terms and to execute all documentation required for the acceptance of the tender for Contract No. 1920-84; and
- 4. directs the Chief Executive Officer to advise Councillors via email of the preferred interest rate and loan terms prior to acceptance of Contract No. 1920-84.

MINUTE 1453

Moved by: Cr Matthew Kirwan Seconded by: Cr Tim Dark

That Council:

- 1. exercises its powers to borrow \$10 million, by way of a tender process, as a principal and interest loan for a maximum period of 10 years;
- delegates authority to the Chief Executive Officer to accept a tender for Contract No. 1920-84 subject to debt servicing costs for all loans (repayment of principal and interest) remaining within Council's 2019-20 Adopted Budget; and
- 3. authorises the signing and sealing of the specified Instrument of Delegation for the Chief Executive Officer to accept a tender for Contract No. 1920-84 at the preferred tendered interest rate and terms and to execute all documentation required for the acceptance of the tender for Contract No. 1920-84; and
- 4. directs the Chief Executive Officer to advise Councillors via email of the preferred interest rate and loan terms prior to acceptance of Contract No. 1920-84.

CARRIED

FINANCE AND BUDGET

LOAN FUNDING TRANSFER

ATTACHMENT 1

INSTRUMENT OF DELEGATION

PAGES 3 (including cover)

If the details of the attachment are unclear please contact Governance on 8571 5235.

Instrument of Delegation

In exercise of the power conferred by section 98(1) of the *Local Government Act* 1989 (**the Act**) and all other powers enabling it and as a consequence of a Resolution to borrow money authorised by section 144(1) of the Act, the City of Greater Dandenong (**Council**) delegates to the member of Council staff holding, acting in or performing the position of Chief Executive Officer, the powers, duties and functions set out in the Schedule to this Instrument of Delegation,

AND declares that

- this Instrument of Delegation is authorised by a Resolution of Council passed on 25 May 2020;
- 2. the delegation
 - 2.1 comes into force immediately the common seal of Council is affixed to this Instrument of Delegation;
 - 2.2 is subject to any conditions and limitations set out in the Schedule;
 - 2.3 must be exercised in accordance with any guidelines or policies which Council from time to time adopts; and
 - 2.4 remains in force until Council resolves to vary or revoke it.
- 3. The member of Council staff occupying the position or title of or acting in the position of Chief Executive Officer may delegate to a member of Council staff any of the powers (other than the power of delegation conferred by section 98(3) of the Act or any other powers not capable of sub-delegation) which this Instrument of Delegation delegates to him or her.

THE COMMON SEAL of the GREATER DANDENONG CITY COUNCIL was hereunto affixed in the presence of)
Councillor	
Chief Executive Officer	

4.2.1 Loan Funding Tender (Cont.)

SCHEDULE

The power to:

- 1. Accept a tender for Contract No. 1920-84 at the lowest tendered interest rate; and
- Execute documents giving effect to the acceptance of a tender for Contract No. 1920-84.

4.3 OTHER

4.3.1 Response to Notice of Motion No. 71 – Springvale North-East Quadrant

File Id:

Responsible Officer: Director Business, Engineering & Major Projects

Attachments: Springvale North-East Quadrant

Congestion and Road Safety Issues Discussion

Paper May 2020

Report Summary

This report provides a response to Notice of Motion 71 relating to congestion and road safety issues around Lindsay Williams Crossing and the North-East Quadrant of Springvale.

It outlines a plan for continuing advocacy in this space, supported by the findings of a recent community engagement exercise in the area.

The advocacy focuses on the facilitation of a project to install signals at the intersection between Virginia Street and Springvale Road.

Recommendation Summary

This report recommends a letter be sent to the Department of Transport (DoT), the Premier, relevant Ministers and local MP's requesting:

- urgent consideration of the installation of signals at the intersection of Virginia Street and Springvale Road, and
- Department of Transport Officers work with Council on the reintroduction of the left turn from Springvale Road into Lightwood Road.

The recommendations also seek to provide supporting information with the letter, and to update residents and businesses in the area regarding the progress.

Background

Notice of Motion 71 was passed by Council in July 2019 relating to ongoing issues in the area to the North-East of the Springvale Activity Centre.

The preamble highlighted that since the upgrade of Springvale Railway station, growing numbers of residents have found it highly difficult to exit the quadrant north-east of Springvale Railway Station. This is due to the lack of signalisation. Residents can only choose to exit this residential area via:

- right turn into the busy Lightwood Road (with no signalisation)
- right turn into the busy Springvale Road (with no signalisation)

This presents serious safety risks, particularly during peak times. A recent fatality at the intersection of Rosalie Street and Springvale Road has highlighted the importance of gaining a better understanding of road safety and traffic issues in this precinct.

The Notice of Motion:

- Council commences advocacy to State and Federal Governments seeking funding to address the current and expected future traffic issues in the Springvale north-east quadrant;
- the Mayor writes to local Members of Parliament and the State Minister for Roads seeking funding support; and
- a report be presented to Council no later than 30 September 2019 that outlines an evidence base for advocacy of this issue to VicRoads and Victorian MPs, including;
 - a population growth forecast;
 - traffic analyses;
 - traffic growth forecasts;
 - surveys of local residents about their experiences; and
 - recommended options and estimated costs to remediate issues.

Letters have since been sent to local Members of Parliament and the State Minister for Roads and some discussions between officers and the DoT have been held. These discussions have been informed by analysis of current and forecast traffic issues in the area.

The completion of this report was delayed to allow for consultation to take place with the local community.

Proposal

This report seeks to progress advocacy further following a recent community engagement exercise.

This public engagement involved a letter to residents which provided a link to an online survey. The letter was sent to 623 properties and 71 responses were received.

The survey respondents provided some information regarding their travel patterns, the issues they experience, and their views on a number of potential projects in the area.

Key findings are:

- The data confirms that many residents wanting to travel north on Springvale Road use Lindsay
 Williams Crossing to avoid the unsafe intersections at Virginia Street and Rosalie Street
- Most respondents are frustrated by congestion in the area
- The signalisation of Virginia Street is a very popular proposal
- Residents are divided over the introduction of a turn ban at Lindsay Williams Crossing, and several believe turn bans would just be ignored

This report proposes that the findings from this engagement exercise form the basis on further advocacy relating to the congestion and road safety issues in the area.

A Discussion Paper providing some background to the issues and the outcomes of the survey has been prepared and is attached to this report.

Two projects are recommended by the analysis and also supported by the community.

These are:

- Signalisation of the intersection between Virginia Street and Springvale Road
- Reintroduction of the left turn from Springvale Road into Lightwood Road

The signalisation of Virginia Street and Springvale Road is a project that is likely to cost around one million dollars.

The reintroduction of the left turn from Springvale Road into Lightwood Road may cost less, though this is a complex intersection with heavy pedestrian and bus movement. If civil works are required to facilitate this alteration, Council may be able to assist through the delivery of a future stage of the Springvale Boulevard Project, which is anticipated to impact this intersection in the foreseeable future.

It is proposed that advocacy around this issue be recorded in further detail on Council's website. It is proposed that all residents and businesses that responded to the survey are provided with an update and advised that they can follow the progress of the advocacy on Council's website.

Community Plan 'Imagine 2030' and Council Plan 2017-21 – Strategic Objectives, Strategies and Plans

After consultation with the Greater Dandenong community on what kind of future they wanted to see for themselves and the City in 2030, the result was the Greater Dandenong Community Plan 'Imagine 2030'. This report is consistent with the following community visions:

Community Plan 'Imagine 2030'

People 1

Pride – Best place best people

Place

- Sense of Place One city many neighbourhoods
- Safety in Streets and Places Feeling and being safe
- Appearance of Places Places and buildings
- Travel and Transport Easy to get around

Opportunity

Leadership by the Council – The leading Council

Council Plan 2017-21

The Council Plan describes the kind of future the Council is working for, and how Council will do this over four years. This report is consistent with the following goals:

People

- A vibrant, connected and safe community
- A creative city that respects and embraces diversity

<u>Place</u>

- A healthy, liveable and sustainable city
- A city planned for the future

Opportunity

- A diverse and growing economy
- An open and effective Council

Related Council Policies

- Greater Dandenong Road Safety Strategy
- Springvale Structure Plan

Victorian Charter of Human Rights and Responsibilities

All matters relevant to the Victorian Human Rights Charter have been considered in the preparation of this report and are consistent with the standards set by the Charter.

Financial Implications

There are no financial implications associated with this report.

Consultation

A community engagement exercise was undertaken as part of this project. The methodology used to undertake this engagement was selected in accordance with Council's Community Engagement Planning Framework.

The consultation was undertaken using a letter drop with a link to an online survey. Residents that preferred to complete a hard copy of the survey (2) were provided with a hard copy and postage paid envelope.

The letter drop was sent to all properties within the affected area that can only access the surrounding road network via Virginia Street, Rosalie Street or Lindsay Williams Crossing. This covered 623 properties, and 71 responses to the survey were received.

Conclusion

The community engagement exercise undertaken relating to congestion and road safety affecting the North-East Quadrant of Springvale provides useful data to support Councils advocacy position for a number of projects in the area targeted at addressing these issues.

This report recommends a methodology for progressing Councils advocacy based on the findings of this exercise.

Recommendation

That:

- (a) a letter be sent to the Regional Director of Department of Transport, copied to the Premier and the Minister for Road Safety and relevant local members (Meng Heang Tak MP, and Martin Pakula MP), requesting:
 - (i) urgent consideration of the installation of signals at the intersection of Virginia Street and Springvale Road,
 - (ii) Department of Transport Officers work with Council on the reintroduction of the left turn from Springvale Road into Lightwood Road, and
 - (iii) the Department of Transport provide an update on the above issues which can be provided to residents in the area:
- (b) the attached Discussion Paper be provided to Department of Transport for their reference;

- (c) the letter and Discussion Paper are placed on the advocacy page of Council's Website; and
- (d) letters are sent to all residents and businesses who responded to the survey:
 - (i) thanking them for their contribution, and
 - (ii) advising that they can keep track of the progress via our website.

MINUTE 1454

Moved by: Cr Sean O'Reilly Seconded by: Cr Youhorn Chea

That:

- (a) a letter be sent to the Regional Director of Department of Transport, copied to the Premier and the Minister for Road Safety and relevant local members (Meng Heang Tak MP, and Martin Pakula MP), requesting:
 - (i) urgent consideration of the installation of signals at the intersection of Virginia Street and Springvale Road,
 - (ii) Department of Transport Officers work with Council on the reintroduction of the left turn from Springvale Road into Lightwood Road, and
 - (iii) the Department of Transport provide an update on the above issues which can be provided to residents in the area;
- (b) the attached Discussion Paper be provided to Department of Transport for their reference;
- (c) the letter and Discussion Paper are placed on the advocacy page of Council's Website; and
- (d) letters are sent to all residents and businesses who responded to the survey:
 - (i) thanking them for their contribution, and
 - (ii) advising that they can keep track of the progress via our website.

CARRIED

OTHER

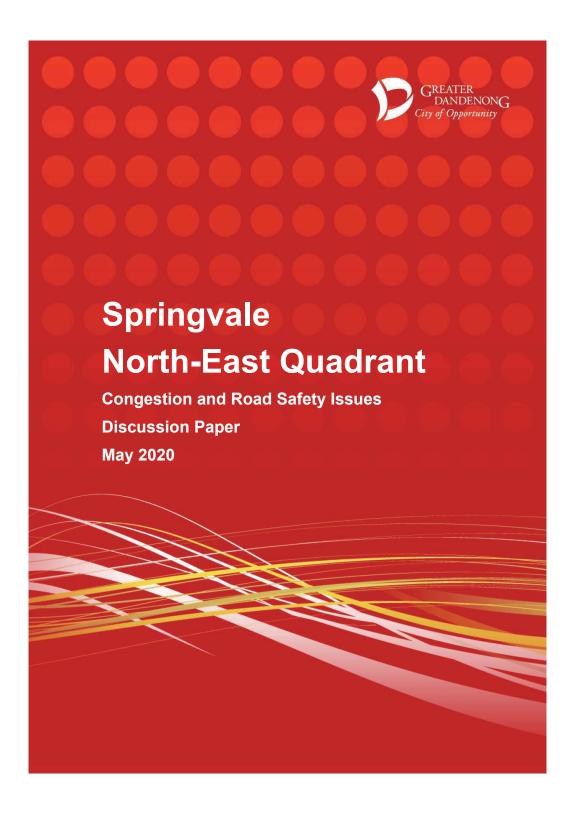
RESPONSE TO NOTICE OF MOTION NO. 71 – SPRINGVALE NORTH-EAST QUADRANT

ATTACHMENT 1

SPRINGVALE NORTH-EAST QUADRANT CONGESTION AND ROAD SAFETY ISSUES DISCUSSION PAPER MAY 2020

PAGES 13 (including cover)

If the details of the attachment are unclear please contact Governance on 8571 5235.





Contents

Issues: Congestion and Road Safety	3
Background: The Springvale Level Crossing Removal Project	
Road Network Prior to Level Crossing Removal:	5
Interim Scenario immediately after level crossing removal (current):	6
Anticipated "Ultimate" Scenario – modelled as part of the Level Crossing remova	ıl 7
Community Engagement	8
Survey Results	9
Option Testing	10
Signalisation of Virginia Street	10
Reintroduction of the left turn from Springvale Road into Lightwood Road	11
A right turn ban from Lindsay Williams Crossing into Lightwood Road	12



Issues: Congestion and Road Safety

The Springvale North East Quadrant has been adversely affected by changes to the surrounding road network, with both congestion and road safety having a significant impact on residents and users of the area.

Congestion on the Lindsay Williams Crossing is causing significant delays at peak times during the day. This is primarily caused by the large volumes of traffic using the crossing, including a high number of vehicles turning right at the intersection on Lightwood Road from the Lindsay Williams Crossing. Some of these drivers chose this route because alternatives routes to Springvale are unsafe with uncontrolled turns onto the arterial road. The intersections between Springvale Road and Virginia Street and Rosalie Street have been subject to a number of crashes in recent years, including a fatality at Rosalie Street in 2018.

The main reason for much of these issues may be attributed to the "incomplete" nature of the road network in the area. To be more specific, critical road network improvements anticipated at the time of the construction of the Lindsay Williams Crossing, have yet to occur.

The main parties affected by the traffic issues in this area are:

- A large proportion of residents within the "North East Quadrant" of the Springvale Activity Centre area (highlighted on the aerial map below)
- Traffic generated by the properties on Sandown Road
- Through traffic travelling south-east bound from Springvale Road (northern leg) and heading for Lightwood Road



3

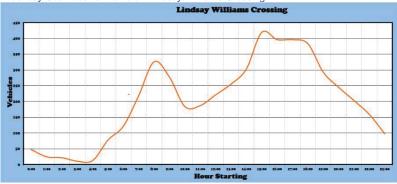


The Lindsay Williams Crossing carries around 6,000 vehicles per day, with over 4,500 of these heading southbound.

There is a clear peak in the afternoon / evening for southbound traffic. This peak is the worst recorded period of congestion, reaching approximately 400v/h from around school exit time until 6pm. (This may be seen from the graph below.)

During weekends, volumes are not as high, and are consistent around 270v/h across most of the day. Congestion is present during the weekends, however not as pronounced as during the weekday am and pm peaks.

Weekday Southbound Traffic on Lindsay Williams Crossing







Background: The Springvale Level Crossing Removal Project

The Springvale Level Crossing was removed via grade separation by the Victorian State Government in 2014. This significantly altered the structure of the road network, and as a result a comprehensive traffic assessment was undertaken by the level crossing removal project team to inform this. The Lindsay Williams Crossing was constructed at this time. Prior to the grade separation, traffic leaving the predominantly residential area highlighted in the aerial map below, did so as indicated hereafter:

Road Network Prior to Level Crossing Removal:



Residents in the "North East Quadrant" of the Springvale Activity Centre area

Prior to the grade separation, residents in the North East Quadrant could access Springvale Road to head north via a signalised intersection at Sandown Road. The traffic volumes from assessments, suggested this was significantly preferable when compared to the non-signalised intersections at Virginia Street and Rosalie Street (This was particularly so during peaks, where this right-turn manoeuvre onto Springvale Road would be difficult and unsafe – waiting for an acceptable gap in southbound multi-lane traffic).

The Springvale Park Special Development School on Sandown Road



The location of the school is illustrated by the red star on the aerial maps.



Prior to the level crossing removal, traffic seeking to access as well as depart from the school would also utilise the signals at the Sandown Road/Springvale Road

Through traffic south-east bound from Springvale Road (north) to Lightwood Road

The left turn from Springvale Road into Lightwood Road was permitted for traffic seeking to head east along Lightwood Road.

Interim Scenario immediately after level crossing removal (current):



Residents in the "North East Quadrant" of the Springvale Activity Centre area

Residents seeking a "safe" (signalised) access onto Springvale Road to head north are now required to use the Lindsay Williams Crossing. They turn right into Lightwood Road; then at the signals (Lightwood Rd/Springvale Rd intersection) turn right on to Springvale Road. This generates a high right turn demand at the Lindsay Williams Crossing and Lightwood Road (a primary cause of the congestion).

The Springvale Park Special Development School on Sandown Road



Those accessing the school are also affected by the same issue as residents. Due to the left turn restriction at the Springvale Road / Lightwood Road intersection, through traffic on Sandown Road has significantly increased, as anticipated.

Through traffic south-east bound from Springvale Road (north) to Lightwood

This traffic must now use Sandown Road and the Lindsay Williams Crossing to access Lightwood Road. This generates left turn demand at the Lindsay Williams



Crossing and Lightwood Road. This turn alone does not generate significant congestion, as gaps in the traffic along Lightwood Road enabling the turn, are frequent, even during peaks.

Anticipated "Ultimate" Scenario – modelled as part of the Level Crossing removal

The traffic modelling undertaken as part of the Level Crossing Removal Project anticipated signals would be installed at Virginia Street and Springvale Road.

It was anticipated this may be delivered by developers in the North West Quadrant of Springvale Activity Centre to support development.



Residents in the "North East Quadrant" of the Springvale Activity Centre area

Residents seeking a "safe" (signalised) access onto Springvale Road to head north would conveniently be able to use the signals at Virginia Street.

The Springvale Park Special Development School on Sandown Road



Due to the restriction to the left turn at Springvale Road into Lightwood Road, through traffic on Sandown Road would remain high. A proportion of traffic would use Virginia Street; however, some congestion would still be likely during the afternoon pick up and drop off period.

Through traffic south-east bound from Springvale Road (north) to Lightwood Road

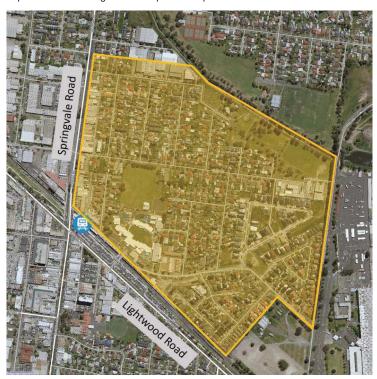
Traffic volumes undertaking this manoeuvre would be expected to remain relatively high, however the reduced congestion at the Lindsay Williams Crossing and Lightwood Road would result in reduced delay to those making this movement.



Community Engagement

Council has undertaken a survey of residents within the area.

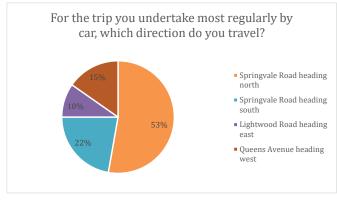
A letter and survey link was sent to 623 properties in the area, and 71 responses were received. The survey gathered information about travel patterns, issues experienced and sough views on potential options.





Survey Results

A key travel pattern identified by the survey is that the most common direction of travel from the area is to the north along Springvale Road. However, most residents do not use the most direct route to access Springvale Road due to safety concerns. Instead they use Lindsay Williams Crossing, which is where most of the congestion is experienced.





90% of those responding experience congestion issues on the network. Over 60% also have concerns about road safety.



Option Testing

Three potential projects which may address some of the issues experienced were tested with the survey respondents. These were:

- · Signalisation of Virginia Street
- Reintroduction of the left turn from Springvale Road into Lightwood Road
- A right turn ban from Lindsay Williams Crossing into Lightwood Road

Respondents were asked whether the potential project would impact them directly, and what effect they believe it would have on congestion and road safety.

Signalisation of Virginia Street

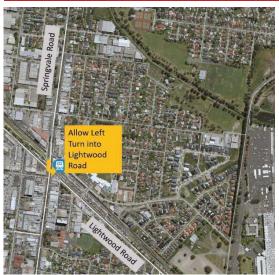


This was the most supported option. 79% of those who completed the survey believed this option would benefit them directly. The majority of those responding believed this project would both reduce congestion and improve road safety.

Comments from residents regarding this proposal highlighted they currently do not consider this intersection, or the intersection between Springvale Road and Rosalie Street to be safe.



Reintroduction of the left turn from Springvale Road into Lightwood Road



This option was also supported by those completing the survey. Respondents felt it would reduce congestion, though this project would also not have the road safety benefits which the signalisation of Virginia Street would have. Over half (54%) of survey responses felt this project would impact them directly.

Some of the comments received around this option highlighted the importance of pedestrian safety at this intersection, as it is already a difficult intersection for pedestrians.



A right turn ban from Lindsay Williams Crossing into Lightwood Road



While some respondents acknowledged this option might reduce congestion during peak periods, the majority of those in the area did not support this option. Most thought it would increase congestion, and potentially encourage unsafe U-turns on Lightwood Road, as drivers might not continue to the roundabout further along the street.

Several respondents do not believe signs would be sufficient to enforce such a turn ban, and most drivers would make the manoeuvre anyway.

File Id:

Responsible Officer: Director Community Services

Attachments: Springvale Community Hub – Strategic Plan

2020-2025

Summary of Community Submissions and

Responses

Report Summary

Council has developed this Strategic Plan to guide the direction of the Springvale Community Hub for the next 5 years.

The attached 'Springvale Community Hub – Strategic Plan 2020-2025' is presented to Council for endorsement.

Recommendation Summary

This report recommends that Council endorses the Springvale Community Hub – Strategic Plan.

Background

The Springvale Community Hub is located on the eastern side of Springvale Road near the Springvale retail precinct. It is the former location of the City's Civic Precinct and was flagged for development in Council's *Springvale Civic Master Plan* in 2012-13.

The precinct has been developed to build on the unique strengths of the Springvale community and its surrounds, aimed at creating a community and civic heart for Springvale. The development seeks to strengthen community connections and improve educational, outcomes while addressing the need for new and improved facilities.

Community Hub - draft Strategic Plan was endorsed to for Public Consultation on 9 December 2019. This occurred during December 2019 and January 2020 and the draft Strategic Plan was revised following public feedback.

Proposal

The development of the Springvale Community Hub – Strategic Plan (Appendix 1 – Attachment 1) will guide the direction of the precinct for the next 5 years. The strategic plan will inform other plans for the site including programming and activation, venue hire, communications and open space use.

The plan will be accompanied by an annual action plan developed by the precinct Strategy and Operation Groups, informed by community consultation. The actions incorporated into each annual action plan will be informed by community feedback and needs or issues identified. This will be ratified through a report to Council every 12 months, including reporting on the status of each goal and measure which will also be available via the Council website.

The Strategic Plan aims to provide a direction for the Hub over the first 5 years, incorporating goals, aspirations and expectations while delivering on the vision:

Encouraging active participation in cultural exchange, creative celebrations and life-long learning, through a welcoming community hub that inspires learning and creative living.

The Springvale Community Hub will be a community centred place of connection. To achieve this Council will facilitate management of the hub, working closely with local community. This will involve taking a proactive place-based community development approach, working with individuals, community groups and other stakeholders to fulfil the vision of the hub.

Council officers will work the local community:

- To ensure the hub is community centred.
- Fair, affordable, transparent and equitable access is provided to all.
- Accessible and open lines of communication are available for groups or individuals to identify and progress community led initiatives.
- Provide access and assistance if required to promote, connect and support the development of community led initiatives.

Public Consultation

The Springvale Community Hub - Strategic Plan was endorsed for public exhibition at Council on 9 December 2019 which occurred during December 2019 and January 2020.

There was a total of 11 community responses to the Strategic Plan, and further feedback from Councillors. This feedback was taken into consideration and appropriate alterations have been made accordingly to the Strategic Plan.

A full summary of the feedback received from the community is provided in Appendix 1 – Attachment 2, Springvale Community Hub – Summary of Community Submissions and Responses.

Next Steps

Upon adoption of the Strategic Plan, the next stages of community consultation will commence and will include:

- Direct engagement with the general community, community groups, and agencies to identify
 priorities and preferred approaches to ongoing engagement and participation. This may include
 development of working groups, a reference committee, focus session and/or other feedback
 tools.
- Work together with the community to develop, deliver and refine their preferred method of ongoing public consultation at the hub.

Information gathered through this consultation process will also inform the 2020 / 2021 Annual Action Plan, that will be presented to Council and available for review on the Council website.

Community Plan 'Imagine 2030' and Council Plan 2017-2021 – Strategic Objectives, Strategies and Plans

After consultation with the Greater Dandenong community on what kind of future they wanted to see for themselves and the City in 2030, the result was the Greater Dandenong Community Plan 'Imagine 2030'. This report is consistent with the following community visions:

Community Plan 'Imagine 2030'

People 1

- Pride Best place best people
- Cultural Diversity Model multicultural community
- Outdoor Activity and Sports Recreation for everyone

Place

- Sense of Place One city many neighbourhoods
- Safety in Streets and Places Feeling and being safe
- Appearance of Places Places and buildings

Opportunity

Education, Learning and Information – Knowledge

Council Plan 2017-2021

The Council Plan describes the kind of future the Council is working for, and how Council will do this over four years. This report is consistent with the following goals:

People

- A vibrant, connected and safe community
- A creative city that respects and embraces diversity

Place

- A healthy, liveable and sustainable city
- A city planned for the future

The strategies and plans that contribute to these outcomes are as follows:

- Create and Connect Arts and Cultural Heritage Strategy 2016 and Action Plan 2016-18
- Library Strategy 2018 23

Related Council Policies

- Community Wellbeing Plan 2017 21
- Activity Centre's Placemaking Framework 2016
- Greater Dandenong People Seeking Asylum and Refugees Plan 2018-21
- Multi-purpose Use of Community Facilities Policy 2018
- Community Facilities Management Policy
- Community Hub Framework 2016
- Community Development Framework 2016
- Community Engagement Policy and Framework 2018
- Youth Strategy Action Plan 2016-19
- Open Space Strategy 2009
- Sustainability Strategy 2016-2030
- Waste & Litter Strategy 2015-2020

Victorian Charter of Human Rights and Responsibilities

The Victorian Charter of Human Rights and Responsibilities has been considered in the preparation of this report but is not relevant to its contents.

Financial Implications

There are no financial implications associated with this report.

Consultation

Three significant consultations were undertaken which lead to the development of the Springvale Community Hub:

- Greater Dandenong Community Plan 2030
- Springvale Community Infrastructure Plan Community Service Provider Consultation 2012/2013
- Springvale Civic Masterplan Community Consultation 2012/2013

The information received during these consultations, has assisted in informing the Strategic Plan for the Springvale Community Hub.

This report also incorporates feedback received during the Public Consultation phase on the Strategic Plan itself.

Conclusion

The Springvale Community Hub - Strategic Plan, identifies the direction of the hub over the next 5 years. The plan will deliver targeted priorities and measures against the proposed objectives; Engagement and Activation, Connectedness, Learning and Creative Living and Safety and Sustainability.

Recommendation

That Council endorses the Springvale Community Hub – Strategic Plan 2020-2025.

MINUTE 1455

Moved by: Cr Sean O'Reilly Seconded by: Cr Matthew Kirwan

That Council endorses the Springvale Community Hub - Strategic Plan 2020-2025.

CARRIED

OTHER

SPRINGVALE COMMUNITY HUB - STRATEGIC PLAN 2020-2025

APPENDIX 1 ATTACHMENT 1

SPRINGVALE COMMUNITY HUB – STRATEGIC PLAN 2020-2025

PAGES 9 (including cover)

If the details of the attachment are unclear please contact Governance on 8571 5235.







Springvale Community Hub

Strategic Plan / 2020-2025





Vision

Encouraging active participation in cultural exchange, creative celebrations and life-long learning, through a welcoming community hub that inspires learning and creative living.



Overview



The Springvale Community Hub is located on the eastern side of Springvale Road and nearby the Springvale retail precinct. It is the former location of the City's Civic Precinct and was flagged for development in Council's Springvale Civic Master Plan in 2012-13.

The Hub has been developed to build on the unique strengths of the Springvale community and surrounds, and aims to create a Community and civic heart in Springvale.

The development seeks to strengthen community connections and improve educational outcomes while addressing the need for new and improved facilities. This will be achieved through the provision of an integrated and flexible space that meets the needs of current and future

The Springvale Community Hub will be a community centred place of connection. To achieve this Council will facilitate management of the Hub, working closely with local community. This will involve taking a proactive place based community development approach, working with individuals, community groups and other stakeholders to fulfil the vision

This Strategic Plan aims to provide a direction for the Hub over the first 5 years, incorporating goals, aspirations and expectations. This will be monitored through Annual Action Plans, and a report to Council every 12 months on the status of each goal and measure which will also be available via our website.

Consultation





Three significant community consultations were undertaken

which led to the development of the Springvale Community Hub: Greater Dandenong Community Plan Imagine 2030

 Springvale Community Infrastructure Plan Community Service Provider Consultation 2012-2013 Springvale Civic Masterplan Community Consultation

• Education and information Learning

Pathways to jobs, information for personal and community wellbeing, and for literacy

Engagement

- · Area should have plenty of open spaces for all ages
- The civic area should be a key attraction in Springvale, providing facilities for cultural and community programs

Inspiration

- Important to build a place which builds community pride and celebrates all the cultures of Springvale
- Important to provide strong integration of multilingual and multicultural components

Safety

Safety in streets and public spaces, and improving

People

· Friendly and helpful people

New Library

· Springvale Library is very important to the community, a library to stand the test of time A cafe component would add value to the building and precinct

Springvale Community Hub Strategic Plan 2020-25

(Last updated 2016)

2012-2013

Council **Strategic Objectives**

The objectives, delivery and programming within the Springvale Community Hub will be informed by relevant Council Documents. This includes the following strategies, plans and frameworks.



- · Imagine 2030 Community Plan
- · Council Plan 2017-2021
- Community Wellbeing Plan 2017-2021
- Create and Connect Arts and Cultural Heritage Strategy 2016 and Action Plan 2016–2018
- Library Strategy 2018–2023
- Activity Centre's Placemaking Framework 2016
 Open Space Strategy 2009
- Greater Dandenong People Seeking Asylum and Refugees Plan 2018–2021
- Multi-purpose Use of Community Facilities
- Community Facilities Management Policy 2016
- Community Engagement Policy and Framework 2018
- Community Hub Framework 2006
- · Community Development Framework 2016
- · Youth Strategy Action Plan 2016-2019

9

- Sustainability Strategy 2016-2030
- Waste and Litter Strategy 2015-2020

These plans guide the City of Greater Dandenong's strategic framework. The Council Plan outlines six strategic objectives that sit under the three key priority areas of;

People, Place and Opportunity

The Springvale Community Hub responds to the objectives relating to;

- · a vibrant, connected and safe community,
- · a creative city that respects and embraces its diversity,
- · a healthy, liveable and sustainable city,
- · a city planned for the future,
- · and a diverse and growing economy

People

· Community participation

A creative city that respect and embraces its diversity

Cultural diversity

· Community arts

Cultural heritage

· Positive ageing Access and equity

· Health and wellbeing



A healthy, liveable and sustainable city

Place

- Parks, reserve and
- Roads, traffic and parking
- Trees and our natural environment
- Streetscapes and public places

A city planned for the future

- Urban design
- Asset management
- Residential, commercial and industrial development
- Place making
- Transport advocacy

- Activity centre revitalisation
- Investment

An open and effective Council

- Advocacy and community engagement
- Transparency and accountable decision making
- Digital innovation and leadership

Springvale Community Hub

Strategic Objectives

The Strategic Plan will be accompanied by Annual Action every 12 months on the status of each goal and measure.



1. Engagement & Activation

The Hub is a gathering place where everyone feels welcome and engaged, spaces and outdoor areas will promote learning, participation and engagement through stimulating programs and activities



2. Connectedness

The community is connected, people participate, celebrate and embrace their cultural heritage with pride and feel like they belong.



3. Learning & Creative Living

The Hub will provide pathways for lifelong learning, literacy and the love of reading, through a contemporary leading library, digital engagement and flexible adaptable community programs.



4. Safety & Sustainability

The hub will engage in proactive programs that reduce antisocial behaviours, promote awareness of environmental sustainability practices and programs and respond to safety concerns.

Springvale Community Hub Strategic Plan 2020-25

Strategic Objectives

Engagement & Activation

The Hub is a gathering place where everyone feels welcome and engaged, spaces and outdoor areas will promote learning, participation and engagement through stimulating programs and activities.





We will:

Provide welcoming and inspiring places and programs for the community to connect.

Develop effective partnerships with stakeholders to deliver increased opportunities for the community.

Develop a year-round calendar of programmed activities across the Hub.

Seek to identify sponsorships or grants to broaden service offering and programs.

Engage with visitors to support programming and identification of needs for services and programs.

Provide opportunities and programs within the open space that enhance health and wellbeing opportunities for the community.

Provide opportunities for Occasional Care to operate from the Hub.

How will we know we have been successful:

Collaborative programs delivered (internal and external partners) that cover all demographics and age groups.

Identify and encourage community to apply for grants to deliver inclusive programs, events and services each year to support strategic priority.

Grants applied for to support that the delivery of programs at the Hub.

Feedback mechanism implemented for community program and activity suggestions.

Programs and opportunities that increase health and wellbeing opportunities delivered.

Implement a process that enables community groups to identify programs and services that they can deliver collaboratively or independently at the Hub each year.

Identify and encourage positive informal activation and gatherings, through increasing awareness of spaces within the open space area and within the building including foyers and lounge areas.

Identify and support agencies or groups that will operate Occasional Care services from the Hub.

4 Springvale Community Hub Strategic Plan 2020–25



Strategic Objectives

Connectedness

The community is connected, people participate, celebrate and embrace their cultural heritage with pride and feel like they belong.



We will:

Connect people to Council and Community services, activities, events and information through up to date and responsive practices.

Promote and enhance opportunities for community participation, including those that support connections and reduce isolation and

Provide multi-purpose spaces that enable a range of programs, services and venue hire options for the community.

Provide opportunities to learn about, celebrate and honour the rich cultural heritage of the local community.

Extend current and support volunteering options within the Hub.

Connect with youth population in the area, leading to stronger engagement opportunities for this demographic and recognising the strengths of young people as engaged citizens.

Increase connections and activities that support both the Hub and the broader Springvale Activity Centre.

How will we know we have been successful:

Number of support groups that provide services to the community with access for pop up, outreach or interview services for the community.

Number of community participation opportunities offered

Enable delivery of programmed events or exhibitions that celebrate

Celebrate cultural and positive connection stories by submitting articles to local media outlets, Council publications and social media that connect to local culture and history.

Volunteer participation increased.

Deliver programs for Youth, Children and Seniors.

Engage with Youth to assist in programming/implementing youth events.

Establish connections and cross promotional opportunities to the Springvale Activity Centre (retail precinct).

Deliver at least two heritage exhibitions or programs annually.

Enhance links between Springvale District Historical Society and the

Provide affordable and accessible venue hire opportunities for all groups and individuals through fair and open process.





We will:

Deliver a dynamic library service that responds to community feedback, trends and needs.

Develop partnerships that assist in delivering literacy, learning, arts and creative opportunities.

Extend and encourage learning and creative opportunities within the open space aspects of the Hub.

Connect the community with lifelong learning opportunities within the Hub and broader community.

How will we know we have been successful:

Learning, arts and creative opportunities delivered in the open space of the $\mbox{\sf Hub}.$

Learning, arts and creative opportunities delivered in the buildings of the Hub.

Increase connection of the community to external lifelong learning, creative and arts opportunities.

Increase the number of physical visits to the library and overall Hub by 5 percent per annum.

6 Springvale Community Hub Strategic Plan 2020–25



Strategic Objectives

4.Safety & Sustainability



We will:

Address safety concerns and any vandalism immediately.

Engage in proactive programs and security measures to reduce anti-social behaviours.

Identify programs and outreach providers that can assist with public health and welfare.

Ensure the site is always presented to a high standard.

Achieve a 5-Star Green Star rated and zero net carbon emissions building.

How will we know we have been successful:

Develop strong partnerships with Victoria Police and security personnel.

Develop a sense of pride and ownership of the site within the local community, by delivering community connectedness goals and aspirations.

Maintain a high level of security presence, CCTV and removal of vandalism and graffiti immediately.

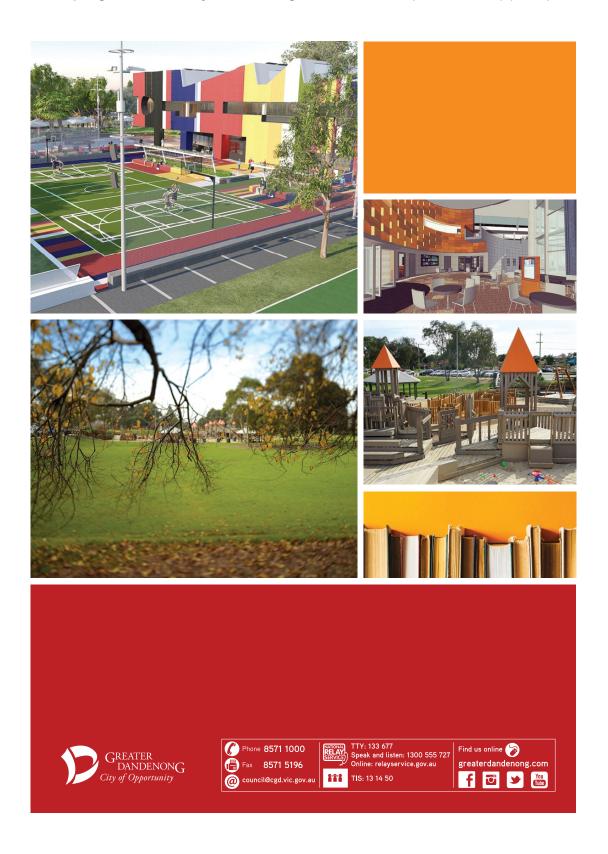
Monitoring presence of programs and outreach providers within the Hub.

Develop measures and mechanisms to identify the community's views on the presentation of the site.

Achieve Green Star certification from the Green Building Council of Australia.

Measure achievements of the relevant Green Star initiatives with information displayed to building users.

Deliver practices and programs that promote environmental sustainability and community well-being.



OTHER

SPRINGVALE COMMUNITY HUB - STRATEGIC PLAN 2020-2025

APPENDIX 1 ATTACHMENT 2

SUMMARY OF COMMUNITY SUBMISSIONS AND RESPONSES

PAGES 8 (including cover)

If the details of the attachment are unclear please contact Governance on 8571 5235.

Summary of Submission	Amendment to Policy/Plan	ent to Plan	Response
	YES	ON	
OCCASIONAL CARE & CAFE			
SUBMISSION 1: Resident			
No good having child care/ occasional care on the 1st floor of the facility where there is no outside play area		<u> </u>	1. Comment is noted
Who comes up with these ridiculous ideas and placements of how these rooms will be used?	-	9	Council during the design phase identified a suitable area based on the proximity to program areas, legislation and ensured accessibility is available via the elevator or stairs.
2. Definitely DO NOT need a Cafe! It won't survive!			2. Comment is noted
		O	Council has received strong community feedback regarding the inclusion of the Café via the Springvale Civic Masterplan study in 2012 / 2013. A café has therefore been included in the building design.
INFORMAL GATHERING			
SUBMISSION 2: Resident, SUBMISSION 6: Stakeholder, SUBMISSION 9: Resident	MISSION 9: Re	sident	

Summary of Community Submission and Responses Springvale Community Hub Strategy

Amendment to Policy/Plan Response	ON 8	Comment is noted and amendment included in the Strategic Plan: "Identify and encourage positive informal activation and gatherings, through increasing awareness of spaces within the open space area and within the building including foyers and lounge areas".			
Amenc	YES	YES	YES	YES	
Summary of Submission		1. Explicit mention of the new building having usable places for people to informally gather and meet like other community hubs do - the objectives section gives support to that but the points under the subheadings "We will" and "How will be know we have been successful" don't support this objective	Will there be a central community lounge, like that available at Paddy O'Donoghue Centre in Noble Park and Jan Wilson Centre in Dandenong North? Will this need be accommodated for, as I believe this facility is imperative and should be available to all community members.	3. Will the new building deliver places for people to casually gather and meet like other community hubs do. Will there be dedicated community lounge in the new building and if so, where?	

Summary of Community Submission and Responses Springvale Community Hub Strategy

		Amend	Amendment to	
Summary o	Summary of Submission	Policy	Policy/Plan	Response
		YES	ON	
VENUE HIRE				
SUBMISSION	l 2: Resident, SUBMISSION 3, 4 & 8: Stakeholder	r, SUBMISSIC	ON 6: Stakeho	SUBMISSION 2: Resident, SUBMISSION 3, 4 & 8: Stakeholder, SUBMISSION 6: Stakeholder, SUBMISSION 7: Resident, SUBMISSION 9: Resident
1. It men volunte new Si	It mentions that the new building will enable small volunteer community groups being able to hire the new Springvale Community Hub building for their own	YES		Council acknowledges this feedback and confirm there are a total of 7 Community Rooms and 3 smaller Meeting Rooms within the new hub, that will be available for hire.
meetir activiti. buildin	meetings and activities - not just for programmed activities supported not by Council - isn't the new building meant to have small community meeting			To reflect this and identified concerns, a new measure has been included in the plan:
spaces	.S.			"Provide affordable and accessible venue hire opportunities for all groups and individuals through a fair and open process".
2. Need to opport commercial grant g	Need to ensure that offering cultural groups opportunity to use the space, is affordable for community groups without funding for events or with small grants that could not pay all the "add-on"	YES		Council has committed to opening the booking process approximately 4-6 weeks prior to the building being open to the public (pending the outcome of Covid-19 restrictions).
require expens cleanir precluc	requirements. Without council as a partner, it is very expensive to meet event guidelines regarding cleaning, rubbish removal, security, etc. This would preclude most community run organisations from			This will occur via a range of Council communication tools, including Council's Website, Social Media, Enewsletters and publications.
3. A commitm groups to refurther, that just booked and others, in the past)	using the space for cultural celebration. A commitment for affordable hire for community groups to meet in the new building in the precinct and further, that there is high availability for rooms - not just booked out for other Council purposes (which I, and others, have encountered with Dandenong Library in the past).	YES		Furthermore, Council has prepared affordable Fees and Charges for the rooms and this will be included in the Annual Council Budget process and subsequent adoption.
4. The Ne space. commutation that the permission permission is a specific that the s	The New Building seems a heavily programmed space. The plan seems to imply that a volunteer community group who wants to run their own activities that their own members want may not be given permission, or will face difficulties, as it doesn't	YES		

Summary of Community Submission and Responses Springvale Community Hub Strategy

		Amendment to	ment to	
n n	Summary of Submission	Policy/Plan	//Plan	Response
		YES	ON ON	
	deliver a service to Council. Will it be affordable for community groups and will the building be easy for community groups to access both day and night? None of this is clear at the moment in the document.			
5.	Will the new building support volunteer community groups being able to hire the new building for their own activities not just delivering Council approved programs and services as the current wording has it.	YES		
	So what happens if a community group wants to book the new building and their activity doesn't meet the Council's strategic priorities. Does that mean they get a look in? Does the group who meets the Council's strategic priorities get a cheaper rate than the one that doesn't? This seems like the new Council building all over again - a so-called "community" building that the community finds hard and unaffordable to book.	YES		
	We fear that we are about to duplicate Bunjil Place and other Municipal precincts whose community spaces are effectively meeting rooms for hire and/or to attend and participate in predetermined programs. These areas will be out of the financial reach of emerging and newly formed groups. Individuals who are effectively overcoming isolation and other hurdles to engagement will have nowhere to come, to connect, to meet and call home.	YES		

Summary of Community Submission and Responses Springvale Community Hub Strategy

Sumi	Summary of Submission	Amendment to Policy/Plan	nent to /Plan	Response
		YES	O _N	
LEAD	LEADERSHIP			
SUBM	SUBMISSION 3, 4 & 8: Stakeholder, SUBMISSION 5: Stakeholder, SUBMISSION 10: Resident, SUMBISSION 11: Stakeholder	ider, SUBMIS	SION 10: Res	dent, SUMBISSION 11: Stakeholder
-	The draft plan has a great aspirational vision for community inclusion and local cultural relevance & ownership through community development & engagement.	YES		Council acknowledges the feedback from the Community and can confirm the following management model for the Springvale Community Hub.
2	Draft Springvale Community Precinct Strategic Plan			This information has been incorporated into Strategic Plan:
		YES		"The Springvale Community Hub will be a community centred place of connection. To achieve this Council will facilitate management of the Hub, working closely with local community. This will involve taking a proactive place based community.
ω.	The most important aspect of the "Springvale Community Precinct Strategic Plan 2020-2025" is that			development approach, working with maynulars, community groups and other stakeholders to fulfil the vision of the Hub."
	the vision has not been embodied to ensure real community-lead.	Ĺ		Council officers will work with local communities to ensure the hub is community centred and that fair, transparent and
	The precinct will be fully managed by the Council as a gathering place.	ν Υ Ε		equitable access is provided to all.
	The management of the precinct will allow to the Council to provide spaces, programs services and venue hire options.	YES		
	The community will be only offered feedback mechanism for community suggestions on programs and activities delivered.	YES		
	The whole concept is missing the community lead engagement in managing the multi-purpose spaces.		ON	

Summary of Community Submission and Responses Springvale Community Hub Strategy

		Amendment to	nont to	
O	Summary of Submission	Policy/Plan	/Plan	Response
		YES	O _N	
I> ≤ 0 0	We are very concerned that we are about to miss a wonderful opportunity to have a community led engagement so that the community precinct is effectively owned and managed by the community.	YES		
⊢ Ω Θ	The vision of the strategic plan says Community-led by in reading the detail it seems to be Council Lead eg.	YES		Comment is noted
e t =	Identify and encourage community to apply for grants to deliver inclusive programs, events and services each year to support strategic priority.		O Z	Council officers will be available to assist community groups to apply for grants as required or relevant, this may include partnership opportunities.
000000	Community Grants - It seems rather odd that Community Grants have to provide the funds so that groups can afford to use Council spaces. What of the emerging and newly formed groups who don't yet have the confidence and structures to apply for grants?		O Z	Council's Community Grant Program is out of scope of this Strategic Plan, however information has been passed onto this area for further consideration.

Summary of Community Submission and Responses Springvale Community Hub Strategy

	Amendment to	
Summary of Submission	Policy/Plan	Response
	YES NO	
PROGRAMS		
Submission 5: Stakeholder, SUBMISSION 10: Resident		
In references to delivery of training and programs, the plan should also have goal not to duplicate or compete with training and other programs that are currently	YES	Comment Noted and following items adjusted in the Strategic Plan:
being run for community and by local community organisations.	YES	"Implement a process that enables community groups to identify programs and services that they can deliver collaboratively or independently at the Hub each year"
More definition regarding what sort of creative activities such as arts the new building will support and the model by which they will be supported and		"Feedback mechanism implemented for community program and activity suggestions"
delivered.		Council will take the following approaches after receiving feedback from the community including: • Identifying other programs running locally that the individual can connect with
		 Identify local groups that may be interested in running that program at the hub (in turn partnering with Council)
		If an identified need still exists, look to find local individuals or groups that could be funded to run the program.
		2. Comment Noted and following adjusted in the Strategic Plan
		"Increase connection of the community to external lifelong learning, creative and arts opportunities".

Summary of Community Submission and Responses Springvale Community Hub Strategy

File Id: A6537527

Responsible Officer: Acting Director Community Services

Attachments: Community Partnership Funding Quarter

Extension to 30 September 2020

Report Summary

Council endorsed a new Community Partnership Funding Policy on 25 March 2019 and made provision for a transition year for existing recipients to 30 June 2020 when the new agreements would come into effect. Applications for the new program were due to be assessed in April-May 2020 with agreements to be in place by 30 June 2020.

The Victorian State Government declared a State of Emergency on Monday 16 March in response to the global COVID-19 pandemic. In the short-term the pandemic has created a time of great uncertainty and need for flexibility in business operations. The medium to long-term effects of COVID-19 for the community is only just starting to become visible. In response to the changes caused by the pandemic, assessment of applications for the Community Partnership Funding and Sponsorships programs was delayed.

Arising from discussions with and briefings of Councillors with regard to various implementation options in this complex period of a COVID-19 response; a pre-election period; and a soon to be introduced caretaker period this report proposes that the assessment process should resume with new funding agreements to commence as of 1 October 2020, and 16 existing partnership agencies be funded until this time.

The report further proposes that the upper funding limit for Category 4 of the Community Response Grants be increased to \$2000 until 30 September 2020, to offer opportunity for larger projects that respond to changing needs and opportunities in the community.

Recommendation Summary

This report responds to outcomes of various stakeholder discussions and recommends that \$320,170 from the Community Partnership Funding Program 2020-21 budget be allocated to 16 existing partnership recipients to extend their service provision for one quarter to end 30 September 2020.

This report further recommends that the new Community Partnership Funding agreements include COVID-19 clauses to ensure funded programs comply with State and Federal Government requirements and address emerging medium to long-term community needs.

For others, including those groups not funded at this time, funding via the Community Response Grants program will be reopened on 1 July 2020, and the maximum grant amount be increased to \$2000 to ensure support is available until 30 September 2020.

Background

The provision of community funding is important for local government to support and encourage events, projects and organisations that serve and benefit the community. Council recognises that fit-for-purpose funding programs can support capacity-building of important local services, support the delivery of projects that help achieve Council's Plans and Strategies, and provide social and economic benefit to the City of Greater Dandenong. Council also recognises that purpose-built funding programs that create collective and responsive action can provide value for money to address emerging community priorities.

The current funding programs run by Council are:

- Community Partnerships and Sponsorships Grants
- Community Support Grants Program currently open and accessible
- Community Response Grants Program reopening 1 July.

This report deals with recommendations relating to changes to the Community Partnerships and Community Response Grants Program in response to the COVID-19 pandemic.

Council endorsed a new Community Partnership Funding Policy on 25 March 2019. The Policy was informed by a review of the previous Policy that identified opportunities to clarify goals and policy objectives, define grant purpose and categories, and strengthen accessibility, efficiency and transparency of the program. These changes ensure the new program is fit-for-purpose, in line with emerging best practice, and ensure that it delivers the best possible outcomes for the community.

A transition year for 20 existing recipients to 30 June 2020 was provided to support transition to the new program.

Applications for the new program closed on 10 March 2020 and were due to be assessed in April-May 2020, with new agreements to be in place by 30 June 2020.

The Victorian Government declared a State of Emergency on Monday 16 March in response to the global COVID-19 pandemic. The pandemic created a time of great uncertainty for the community. In this context, assessment of Partnership applications was suspended.

Several social distancing and isolation requirements have been implemented under the State of Emergency, including cancellation of all non-essential meetings, gatherings and events. These requirements led agencies to adapt their service activities to comply with distancing requirements, or in some cases reduce or cease activities altogether.

A review by the Victorian Government of the State of Emergency on 11 May 2020 has eased some restrictions and provided a broad roadmap to a return to a 'new normal'.

With the easing of regulations and broad road map for a return, the effects of COVID-19 on the community in the medium to long-term are now just becoming visible.

Proposal

Quarterly extension

Discussions have been held with Council during which options for implementation in this complex period have been canvassed. Arising from these discussions, it is proposed that \$320,170 from the Community Partnership Funding Program 2020-21 budget be allocated to 16 existing partnership recipients to extend their service provision for one quarter to 30 September 2020. These agencies are those able to continue service provision during this time.

Commence assessment

It is further proposed that assessments of applications submitted to the Community Partnership Funding program recommence to allow for endorsement by Council so that new funding agreements will be in place as of 1 October. The new agreements are to include a COVID-19 clause to ensure compliance with State and Federal Government requirements and the that the funding delivers the best possible outcomes for the community.

Response Grants

It is proposed that the upper funding limit for Category 4 of the Community Response Grants for responsive projects be increased to \$2000 to offer support for larger projects that respond to changing needs and opportunities in the community. It is proposed that this increase extend to 30 September 2020, when the new partnership funding agreements will commence.

Community Plan 'Imagine 2030' and Council Plan 2017-21 – Strategic Objectives, Strategies and Plans

After consultation with the Greater Dandenong community on what kind of future they wanted to see for themselves and the City in 2030, the result was the Greater Dandenong Community Plan 'Imagine 2030'. This report is consistent with the following community visions:

Community Plan 'Imagine 2030'

People

- Pride Best place best people
- Cultural Diversity Model multicultural community
- Outdoor Activity and Sports Recreation for everyone
- Lifecycle and Social Support The generations supported

<u>Place</u>

- Sense of Place One city many neighbourhoods
- Safety in Streets and Places Feeling and being safe

Opportunity

Education, Learning and Information – Knowledge

- Jobs and Business Opportunities Prosperous and affordable
- Tourism and visitors Diverse and interesting experiences
- Leadership by the Council The leading Council

Council Plan 2017-21

The Council Plan describes the kind of future the Council is working for, and how Council will do this over four years. This report is consistent with the following goals:

<u>People</u>

- A vibrant, connected and safe community
- A creative city that respects and embraces diversity

Place

- A healthy, liveable and sustainable city
- A city planned for the future

Opportunity

- A diverse and growing economy
- An open and effective Council

The strategies and plans that contribute to these outcomes are as follows:

- Council Plan 2017-21
- Community Development Framework

Related Council Policies

Community Partnership Funding Policy

Victorian Charter of Human Rights and Responsibilities

The Victorian Charter of Human Rights and Responsibilities has been considered in the preparation of this report but is not relevant to its contents.

Financial Implications

The resource requirements associated with this report are \$320,170 compared to the annual budget allocation of \$1,516,089 for this purpose.

Consultation

Current partnership funding recipients have been consulted in the development of this proposal.

Councillors have been briefed and provided feedback.

Conclusion

This report recommends that Council allocate \$320,170 from the Community Partnership Funding Program 2020/21 budget to support 16 current partnership funding recipients to 30 September 2020.

It further recommends that new Community Partnership Funding agreements include a COVID-19 clause to ensure funding complies with State and Federal Government requirements and addresses the medium to long-term needs of the community.

A further recommendation that Council endorse increasing the upper limit of Category 4 Community Response Grants to \$2000 for responsive project applications until 30 September.

Recommendation

That:

- having considered and discussed a range of implementation options in this complex COVID-19 period, Council endorse its preference for a total allocation of \$320,170 from the Community Partnership Funding Program 2020/21 budget to support 16 current partnership funding recipients to 30 September 2020 and that amounts be distributed in accordance with the funding schedule detailed in the attached appendix;
- 2. Council ensures new Community Partnership Funding agreements include a COVID-19 clause to comply with State and Federal Government requirements and to ensure funding addresses the medium to long-term needs of the community; and
- 3. Council endorses increasing the upper limit of Category 4 Community Response Grants to \$2,000 for responsive project applications until 30 September 2020.

Cr Youhorn Chea disclosed a Conflict of Interest (Indirect interest due to conflicting duties (s.78B) in this item as he is the President of the Cambodian Association of Victoria, a recipient of Community Partnership Funding. Cr Youhorn Chea left the Chamber at 7.29pm prior to discussion and voting on this item.

MINUTE 1456

Moved by: Cr Peter Brown

Seconded by: Cr Matthew Kirwan

That:

- 1. having considered and discussed a range of implementation options in this complex COVID-19 period, Council endorse its preference for a total allocation of \$320,170 from the Community Partnership Funding Program 2020/21 budget to support 16 current partnership funding recipients to 30 September 2020 and that amounts be distributed in accordance with the funding schedule detailed in the attached appendix;
- 2. Council ensures new Community Partnership Funding agreements include a COVID-19 clause to comply with State and Federal Government requirements and to ensure funding addresses the medium to long-term needs of the community; and
- 3. Council endorses increasing the upper limit of Category 4 Community Response Grants to \$2,000 for responsive project applications until 30 September 2020.

CARRIED

Cr Youhorn Chea returned to the Chamber at 7.30pm.

OTHER

COMMUNITY FUNDING: COVID-19 TRANSITION

ATTACHMENT 1

COMMUNITY PARTNERSHIP FUNDING QUARTER EXTENSION TO 30 SEPTEMBER 2020

PAGES 2 (including cover)

If the details of the attachment are unclear please contact Governance on 8571 5235.

Community Partnership Funding Quarter Extension to 30 September 2020

	Organisation		30.9.2020
1	Cambodian Association of Victoria Inc.		\$6,462
2	Concern Australia Welfare Inc		\$6,165
3	Cornerstone Contact Centre		\$5,672
4	Dandenong Neighbourhood House		\$20,808
5	Friends of Refugees		\$15,606
6	Keysborough Learning Centre		\$21,979
7	Noble Park Community Centre		\$11,901
8	South East Community Links		\$125,132
9	Springvale Benevolent Society		\$4,902
10	Springvale Learning and Activities Centre		\$11,901
11	Springvale Neighbourhood House		\$20,362
12	St Vincent De Paul Society		\$5,382
13	We Care Community Services		\$5,672
14	Wellsprings for Women		\$31,473
15	St. Joseph's Catholic Church Springvale		\$3,025
16	Interfaith Network of the City of Greater Dandenong Inc.		\$23,728
		Total	\$320,170

4.3.4 Report on Matters Discussed at Councillor Briefing Sessions & Pre-Council Meetings - 27 April & 4 May 2020

File Id: fA25545

Responsible Officer: Director Corporate Services

Report Summary

As part of Council's ongoing efforts to improve transparency in Council processes, matters discussed at Councillor Briefing Sessions & Pre-Council Meetings (other than those matters designated to be of a confidential nature) are reported on at ordinary Council meetings.

The matters listed in this report were presented to Councillor Briefing Sessions & Pre-Council Meetings in April and May 2020.

Recommendation Summary

This report recommends that the information contained within it be received and noted.

4.3.4 Report on Matters Discussed at Councillor Briefing Sessions & Pre-Council Meetings - 27 April & 4 May 2020 (Cont.)

Matters Presented for Discussion

Item		Councillor Briefing Session/Pre-Council Meeting
1	General Discussion Councillors and Council officers briefly discussed the following topics: a) Material aid to agencies update. b) Agenda items for the Council Meeting of 27 April 2020.	27 April 2020
2	Make Your Move Physical Activity Strategy Councillors were presented with the key aspects of the draft Make Your Move Physical Activity Strategy which sits underneath the Community Wellbeing Plan. The strategy will now proceed to Public Exhibition.	4 May 2020
3	Volunteer Policy 2020-22 Councillor feedback was sought for the Volunteer Policy 2020-22. Agreement was sought for the draft policy to be referred to a future Council Meeting for endorsement.	4 May 2020
4	2020 Australia Day Awards Follow Up Review Councillors were presented with a review of the effectiveness of the Australia Day Awards program changes implemented in 2020. Additional recommendations were made to continue program improvement for 2021.	4 May 2020

4.3.4 Report on Matters Discussed at Councillor Briefing Sessions & Pre-Council Meetings - 27 April & 4 May 2020 (Cont.)

5	General Discussion	4 May 2020
	Councillors and Council officers briefly discussed the following topics:	
	 a) Proposed land acquisition from State Government in central Dandenong. b) Proposed license with Transport for Victoria for car parking spaces in Council's Carroll Lane carpark in central Dandenong. c) Noble Park Community Centre funding. d) Dandenong Market Pty Ltd governance matters (CONFIDENTIAL). e) Agenda items for the Council Meeting of 11 May 2020. 	

Apologies

- Councillor Chea, Councillor Sampey and Councillor Truong submitted apologies for the Pre-Council Meeting of 27 April 2020.
- Councillor Kirwan and Councillor Melhem submitted apologies for the Councillor Briefing Session of 4 May 2020.

Recommendation

That:

- 1. the information contained in this report be received and noted; and
- 2. the information discussed at the above listed Councillor Briefing Session that was declared confidential in Item 5(d) by the Chief Executive Officer under sections 77(2)(c) of the *Local Government Act 1989* and section 125(1) of the *Local Government Act 2020* remains confidential until further advisement unless that information was the subject of a subsequent Council report.

MINUTE 1457

Moved by: Cr Angela Long Seconded by: Cr Sophie Tan

That:

1. the information contained in this report be received and noted; and

4.3.4 Report on Matters Discussed at Councillor Briefing Sessions & Pre-Council Meetings - 27 April & 4 May 2020 (Cont.)

2. the information discussed at the above listed Councillor Briefing Session that was declared confidential in Item 5(d) by the Chief Executive Officer under sections 77(2)(c) of the *Local Government Act* 1989 and section 125(1) of the *Local Government Act* 2020 remains confidential until further advisement unless that information was the subject of a subsequent Council report.

CARRIED

4.3.5 List of Registered Correspondence to Mayor and Councillors

File Id: qA283304

Responsible Officer: Director Corporate Services

Attachments: Correspondence Received 4-15 May 2020

Report Summary

Subsequent to resolutions made by Council on 11 November 2013 and 25 February 2014 in relation to a listing of incoming correspondence addressed to the Mayor and Councillors, Attachment 1 provides a list of this correspondence for the period 4-15 May 2020.

Recommendation

That the listed items provided in Attachment 1 for the period 4-15 May 2020 be received and noted.

MINUTE 1458

Moved by: Cr Loi Truong

Seconded by: Cr Youhorn Chea

That the listed items provided in Attachment 1 for the period 4-15 May 2020 be received and noted.

CARRIED

4.3.5 List of Registered Correspondence to Mayor and Councillors (Cont.)

OTHER

LIST OF REGISTERED CORRESPONDENCE TO MAYOR AND COUNCILLORS

ATTACHMENT 1

CORRESPONDENCE RECEIVED 4 - 15 MAY 2020

PAGES 3 (including cover)

If the details of the attachment are unclear please contact Governance on 8571 5235.

4.3.5 List of Registered Correspondence to Mayor and Councillors (Cont.)

Objective

Correspondences addressed to the Mayor and Councillors received between 04/05/20 & 15/05/20 - for officer action - total = 1

Mayor & Councillors EA fA192250 04-May-20 A question from a Springvale resident regarding removal of a tree $\,$ by a neighbour.

NB: Users assigned may have changed by the time of the Council Meeting. Correct at time of report production only.

4.3.5 List of Registered Correspondence to Mayor and Councillors (Cont.)

bjective

Correspondences addressed to the Mayor and Councillors received between 04/05/20 & 15/05/20 - for information only - total = 5	eceived between	04/05/20 & 15/05	/20 - for inforr	nation only - total = 5
Correspondence Name	Correspondence Dated	Date Record Created	Objective ID	User Assigned
Letter from the Minister for Planning advising approval of Amendment VC179 to facilitate bushfire reconstruction post 1 January 2020 fires.	13-Apr-20	06-May-20	A6558278	Mayor & Councillors EA
DELWP notice of lodgement of Amendment VC179.	06-May-20	06-May-20	A6558284	Mayor & Councillors EA
Letter to Mayor from the Department of Social Services in response to Mayor's letter concerning support for asylum seeks during the COVID-19 pandemic	29-Apr-20	08-May-20	A6562133	Mayor & Councillors EA
A COVID-19 update from Dementia Australia.	12-May-20	12-May-20	A6571096	Mayor & Councillors EA
A letter of thanks to Council from Dandenong Market Pty Ltd regarding the decision to grant significant rental relief to market traders during the COVID-19 pandemic.	04-May-20	04-May-20		Corporate Services Directo

NB: Users assigned may have changed by the time of the Council Meeting. Correct at time of report production only.

5 NOTICES OF MOTION

Nil.

Question

Cr Youhorn Chea

With the coronavirus lockdown restrictions easing, we have had a lot of activity and happy people in the Springvale Shopping Centre so it is good to see our shopping centres coming back to life. Is our customer service counter in Dandenong open yet?

Response

John Bennie PSM, Chief Executive Officer

The short answer is no. The reception and customer service centre is closed and will remain closed until we have an appropriate direction for them to safely re-open.

Question

Cr Youhorn Chea

What happens if someone wants to pay their rates? What is the process that they need to follow?

Response

Mick Jaensch, Director Corporate Services

There are multiple ways that people can still pay rates or any Council bill. They can pay online and at any Australia Post outlet as well.

Comment

Cr Loi Truong

I would like to let all the Councillors know that you can get a mask from my shop for free so you can let anyone else in the community who needs a mask to visit my shop.

Comment

Cr Sean O'Reilly

I can recommend wearing a mask. There was a bit of debate about it but if you are in an environment such as a supermarket where you may not be social distancing, I try and wear a mask and I have one in my car. At Council, we are all social distanced at all times so a mask is not required.

Question

Cr Sean O'Reilly

I have had an idea as I do quite regularly get ideas suggested from people in the community and I think this one is really good. We know that one-third of Victoria's manufacturing jobs are in Dandenong. The coronavirus pandemic has and will impact our local industry significantly. The Council needs to promote business investment to support local jobs and this particular idea which I will seek the Director's response on, but I have not heard of this Council doing it yet. That is to be promoting the City of Greater Dandenong as an investment destination particularly for overseas

investments. The way that we can do this most effectively is by producing a video in multiple languages, in the native languages of the top overseas investment destinations such as China, Vietnam and those sorts of places, in their own languages. I think it could be a really effective way for this Council to support local businesses as being in video format can be easily shared via social media so may I have the Director's response to my brilliant idea?

Response

Paul Kearsley, Director Business, Engineering and Major Projects

I am noting the brilliant idea and I hope to make some commentary on that. We do currently have and have had in the past a number of videos promoting the nature of the industry sector and the manufacturing sector in this particular location being Dandenong South and also the City of Greater Dandenong. I am happy to look at opportunities where we could diversify and use different languages to do that. There would need to be some work to identify exactly where we best pitch. However, without wanting to enter into a debate, there is a lot of discussion at the moment about the nature of manufacturing in this country and certainly in our region being more self-reliant, not necessarily looking for overseas investment in terms of their ownership being overseas. I think people have probably read a lot of that in the latest media about this current situation that we are in with COVID-19.

I think one of the things I will do is probably take Councillor O'Reilly's idea to SEMMA (South East Melbourne Manufacturers Alliance) and see what they think with regards to that particular idea as well. We will see whether or not there are for example, a number of existing business owners in our manufacturing sector that might be able to offer us their services by speaking in various languages and not necessarily people outside the industry. If Councillor O'Reilly can leave that idea with me, I will be able to come up with a few other thoughts about it and we can probably have a look at doing that in the coming months. There is a general ongoing debate about investment at the moment and I would probably think that the majority of manufacturers would look for Australian based investments instead of overseas. That is a debate for another time.

Comment Cr Matthew Kirwan

Firstly, my Councillor report. As with most Councillors at the moment, it has been very quiet in terms of meetings and events but we did have our first raising of the rainbow flag on Sunday 17 May 2020, to mark the International Day Against Homophobia, Biphobia and Transphobia. The Mayor, Councillor Memeti and I had some technical and weather challenges on the day but by the end of the week, there was more wind and the rainbow flag was flying well in Harmony Square. I did like Councillor Brown's post on my Facebook page on Sunday 17 May 2020, that said we had great crowd control. I thought that was particularly witty.

The lights display at the Drum Theatre looked great and so did the YouTube video of our new LGBTIQ inclusion statement. It was well-received on social media so could the Acting Director of Community Services and the Director of Corporate Services, please pass on my thanks to all the staff that contributed to the event and it was not IDAHOBIT day but IDAHOBIT week.

ORDINARY COUNCIL MEETING - MINUTES

6 REPORTS FROM COUNCILLORS/DELEGATES AND COUNCILLORS' QUESTIONS (Cont.)

Question

Cr Matthew Kirwan

What is the latest status of the Development Victoria (DV) Expression of Interest (EOI), including the form and timing of community engagement?

Response

Paul Kearsley, Director Business, Engineering and Major Projects

With regards to that particular project, what I can advise is we anticipate that Development Victoria will be appointing a successful developer in mid-2020. That was the advice that we were previously given. We are not far away from mid-2020 at the moment. We understand there has been some delay with regards to the current COVID-19 situation as well and we expect an update from Development Victoria within the next couple of weeks, noting that this process is commercial in confidence. The timeline identifies possibly late 2020 for the commencement of community consultation on the design but again, all of these dates are up for review and we hope to be able to confirm a number of those in the coming weeks. We do understand that there have been ongoing discussions with a number of the tenderers that had applied and we get a sense that those conversations are still very positive, even with the current COVID-19 situation in play, where perhaps if there was ever a chance of a developer pulling out on something it would be a fair excuse to do so now. We have not heard that is the case so we are very confident that we would be able to get some advice for Councillor Kirwan in the coming weeks.

Cr Loi Truong left the Chamber at 7.42pm.

Question

Cr Matthew Kirwan

While I understand it is Development Victoria's decision because it is their land, will they be coming to brief us shortly on the outcome of the EOI process post their making it conditional?

Response

Paul Kearsley, Director Business, Engineering and Major Projects

That is something we have asked them to do so as soon as they get to a point of announcing the final developer, what we would be seeking is not only a presentation by DV but also a presentation by that selected developer to show the Council what their vision and view is for the future of that site of Central Dandenong. We would be hoping subject again to the timing, that that would be happening. It might conflict with the Council election timing and those sorts of things with regards to the caretaker period but as soon as we get an update from Development Victoria in terms of their process, we certainly will ask them to place that in a calendar item for them and then we can advise Council on when that will occur.

Question

Cr Matthew Kirwan

What is the status of the Metropolitan Waste and Resource Recovery Group EOI, including the time as per the Council resolution, the decision point on the EOI phase for Greater Dandenong will come to a Councillor Briefing Session?

Response

Paul Kearsley, Director Business, Engineering and Major Projects

As we know, COVID-19 is tending to delay a few things at the moment and this is probably one of those. I understand that the EOI evaluation process has not yet been finalised but it is very close to it being finalised and detailed advice from the Metropolitan Waste and Resource Recovery Group is anticipated in early June 2020. It could be received as early as later this week in which case, we would certainly then advise all Councillors of that and being very mindful of the timing with regards to Council's role in making decisions on this particular project with regards to the forthcoming caretaker period as well. I think the Metro Group are very much aware of that and any delay that has been caused with COVID-19 is probably reducing assessment time, rather than pushing it pass the Council election process. I will be able to confirm that hopefully later this week if not early next week.

Question

Cr Matthew Kirwan

In the last couple of years there has been a clash between the early consultation on the 2020/21 Budget specifically the period when officers start formalising their bids and the date in which Councillors need to submit their budget bids. The date by which Councillors need to submit their budget bids is closely after the result of the public consultations being made available. What are the timelines planned for this year and will they allow more time for Councillor and officer consideration?

Response

Mick Jaensch, Director Corporate Services

The intention is to run the community engagement exercise throughout the month of October and have the results ready by the end of October. We will obviously, be eagerly awaiting a Council to give the information to at that point in time, given the election would have just been held. We would imagine the election results would be declared no later than I think, 11 November 2020. It might be a little bit earlier but that is the date that the Victorian Electoral Commission (VEC) have given us. We would obviously, make this as an urgent part of the Councillor induction at that point in time.

My understanding is that Councillor submissions for CIP bids would be due the end of November 2020 so there would be a good two and a half to three week period where Councillors can digest information and then consider that in lodging their budget submission which is a little bit better than what had occurred in previous years.

Question

Cr Matthew Kirwan

How are we actively promoting to unemployed people their ability to get a rates concession this quarter? Have we let Centrelink and other agencies know including some of the not for profit agencies that we talked about earlier that we are supporting and if not, why not? When is it too late for the public to apply for that concession this guarter?

Response

Mick Jaensch, Director Corporate Services

We actively promoted the JobSeeker subsidy of \$200 rate waiver through our Council website. We also were quite active on social media about promoting out there and we included information about the JobSeeker rate waiver with the 4th rates instalment notice that went out. Any ratepayer that was receiving their 4th rates instalment would have received information about the waiver through that process. Yes, we did advise Centrelink of the rate waiver in place and we have also had discussions with South East Community Links as well so they are also well aware of the rate waiver. The waiver can be claimed up until 30 June so right up until 30 June 2020, applications can be received for that.

Question

Cr Matthew Kirwan

When will we be asking for community feedback on the planned New Council Transparency Policy and if not, why not, given the direct relevance to the public?

Response

Mick Jaensch, Director Corporate Services

We would envisage the draft Public Transparency Policy to come before a briefing of Councillors in early July 2020. If it is the desire of Council then to take that out to community engagement, we can do that at the direction of Council. We would need to be mindful that we would need to return the policy to the end of August 2020 Council meeting in order to meet the 1 September 2020 deadline under the Act.

Question

Cr Matthew Kirwan

Given the tight timelines, why not run some sort of online consultation in parallel with the development of the policy?

Response

Mick Jaensch, Director Corporate Services

I think we are not that far away from having a draft policy. Local Government Victoria has just released a template policy. I still believe that we should be taking out to the community what we believe would be the draft policy rather than if we run it in parallel it may well not be the policy that Council adopts anyway. My preference is that we bring it to Council first. It does not need to be adopted in principle

through a formal Council meeting. It just can go through a Councillor Briefing Session then I am happy to put out something that I believe does have a Council imprimatur on it rather than one that is not necessarily be the final product.

Question

Cr Matthew Kirwan

A month ago, I asked about the uncertainty experienced by the Lions Club of Noble Park, Keysborough in planning for the Lions Summer Festival which they run in February each year. This year they were unable to run it at the Spring Valley Reserve because the reserve was not ready. When I asked at the Council meeting a month ago, I was told we would hear by mid-May whether the Spring Valley Reserve was going to be available or not next February which is important as the Lions Club start planning for their event at this time of the year. What is the latest?

Response

Tilla Buden, Acting Director Community Services

As indicated in the response I provided to Councillor Kirwan previously, plans for the capping works in Spring Valley Reserve have only just been determined and I have just found out today that unfortunately due to the ongoing contracted works for this site, it will be unavailable for the next Lions Summer Festival. Council officers are arranging to meet with the Lions Club to discuss this update and implications for the planned event.

Question

Cr Matthew Kirwan

Is it Council officers' decision that they want them not to run the event for another year which is going to make quite a big difference in terms of the community because if you do not run an event for two years, the memory of the event existing seems to diminish; or are officers proposing alternative locations?

Response

Tilla Buden, Acting Director Community Services

I would not want to speculate on that at this point. I would prefer to talk to the Lions Club and see what they would like to do.

Question

Cr Matthew Kirwan

I read a post on social media last week from a resident in the new estates of Keysborough reaching out to new mothers to form a mothers group online or as a mothers group that would initially meet in a park through social distancing restrictions because Council is not forming mothers groups anymore. Is that true? If so, how long will that be for? There are some young mothers who might want to meet online and others that can take advantage of restrictions as they ease. I am wondering why we cannot start organising mothers' groups now, more broadly not just young mothers, we need a way of connecting people urgently because it is important for residents' mental health.

Response

Tilla Buden, Acting Director Community Services

We are currently not providing any in person first-time parents groups due to the impact of the COVID-19 restrictions. At the time of cessation, it was investigated to explore the possibility of providing these groups via an online platform. However, at that time it was not viable and feedback that we were hearing indicated that parents would prefer to wait at that point until they could meet in person. The supported playgroup program has continued to support over 200 families remotely throughout the pandemic, providing remote small talk content via one on one phone consultation and social media platforms to keep families connected. In order to continue to ensure connection with new parents, the maternal child health nurses have been allocating all first-time mothers to an early parenting practitioner (EPP), who has been contacting each of the mothers individually. EPPs were initially asking mothers if they would like to join an online group and the majority of responses were found to be no, that they would prefer to wait until they could attend a group in person. The EPP also speaks to every individual client in regard to their parenting needs, how they are managing and adapting to the new way of living and caring for themselves. The EPPs continue to contact these clients if they require additional support or has referred them onto services for additional support either internally through the enhanced maternal and child health services or outreach or through external organisations within the municipality. The maternal child health team at this stage is currently awaiting a decision by the State Government regarding social distancing, along with guidance from the Department of Health and Human Services. A recommencement of the first-time parents' group will take place as soon as is permitted by the State Government. In the coming weeks pending State Government social distancing restrictions being further lifted, supported playgroup facilitators are also planning to run small one-hour sessions for families involved in supported playgroups throughout the parks and open space areas in the City of Greater Dandenong in addition to the online home coaching and small talk which will continue remotely until the end of June 2020. Hopefully, we will be able to get families out and about meeting together in person a bit more soon.

Question

Cr Matthew Kirwan

Given that the next extent of easing is expected around 21 June 2020, I am curious on how long it takes from when we decide on forming new mothers groups until we get some up and running? My concern is, that that would probably take four weeks so we would probably need to start planning now, not just wait until 21 June 2020 and then have nothing up and running until the end of July 2020.

Response

Tilla Buden, Acting Director Community Services

I am not sure of the exact duration of planning required but I can assure Councillor Kirwan that officers are already hard at work planning for return.

Question

Cr Matthew Kirwan

How long does it take from when we decide to get mothers groups up and running to when we can start having mothers meeting?

Response

Tilla Buden, Acting Director Community Services

I will take that question on notice.

Comment

Cr Matthew Kirwan

I will table the rest of my questions and have them taken on notice.

Question

Cr Matthew Kirwan

Going back to Agenda Item 4.3.2 Springvale Community Hub – Strategic Plan (Endorsement)

- a) Under the subheading Next Steps, there is reference to the next stages of consultation to develop the 2020/21 Annual Action Plan. What are the timeframes and approach for this consultation?
- b) When is the 2020/21 Annual Action Plan aimed to be finished (the next financial year is only six weeks away from starting) and in particular when is it planned to come to a Council meeting for endorsement?
- c) Going back to the answer in the email on the 23 April 2020, when will the high-level principles of the operating model, ie, the information in the Powerpoint attached, be on our website?

This question was tabled and taken on notice.

Question

Cr Matthew Kirwan

I understand that during COVID-19 that the City of Casey are dropping off books to library members for free. Have we considered this?

This question was tabled and taken on notice.

Question

Cr Matthew Kirwan

Are we doing anything for the Emerging Writer's Festival this year and how can Councillors be involved?

This question was tabled and taken on notice.

Question

Cr Matthew Kirwan

When is the Indigenous Cultural Awareness training for Councillors planned to occur?

This question was tabled and taken on notice.

Question

Cr Matthew Kirwan

In the answer that I received post-meeting to my question about hockey at the last meeting, it was said that in May 2019 Hockey Victoria was provided an opportunity to provide feedback to the Draft Make Your Move Physical Activity Strategy. In this discussion the future directions of the sport, strengths and opportunities for Hockey were discussed. This was the part of the answer that was key to my question which I have asked almost every year since 2016 since the broader strategic issues experienced by the Hockey Club was brought to my attention. What were the future directions of the sport and strengths and opportunities identified and what is the pathway for further developing those, as they do not all relate to the venue?

This question was tabled and taken on notice.

Question

Cr Matthew Kirwan

In terms of new buildings like the Springvale Community Hub we are incorporating co-working spaces into them. However, I noticed that Nillumbik Shire have created pop up co-working spaces in existing community facilities. Have we considered that or retrofitting our current community centres to enable this?

This question was tabled and taken on notice.

Question

Cr Matthew Kirwan

Last year in April, I raised the matter of unsafe pedestrian crossing of Foster Street near the intersection of Pultney Street. In response officers were going to advocate to the State Government to make Foster Street between Lonsdale Street and Clow Street a 50 km/hr area. How has that progressed?

This question was tabled and taken on notice.

Question

Cr Matthew Kirwan

What latest test results do we have of speeding in Tyers Lane and Chapel Road and how many years before traffic calming measures would be considered for them?

This question was tabled and taken on notice.

Question

Cr Matthew Kirwan

Regarding speeding in Keysborough South, I have had these particular matters raised with me:

- (a) That the line marking for the pedestrian crossing at the roundabout at the intersection of Lake Edge Boulevard and Edgewater Drive, Keysborough has faded and that the pedestrian crossing sign is missing
- b) That a 40 Km/hr flashing sign be installed after the roundabout at the corner of Chapel Road and Westwood Boulevard (somewhere near the CFA) so that drivers know that a school zone is imminent as they are finding drivers are not slowing down in time or braking suddenly when they get to the school zone.

This question was tabled and taken on notice.

Question

Cr Matthew Kirwan

A Dandenong resident contacted me regarding three issues along Dandenong Creek. Can I please have an officer response on the following?

- a) Why so much of Robert Booth Reserve is fenced off given how it is not used most of the time, particularly the Little Athletics Area where there is no danger from baseballs.
- b) The car park between the Athletics Area and the creek. It seems unused and interrupts the Dandenong Creek trail.
- c) The lack of canopy trees along the track between Turner Court and Jesson Crescent.

This question was tabled and taken on notice.

Question

Cr Matthew Kirwan

When is the Clark Road Solar Farm permit application expected to come to a Council meeting?

This question was tabled and taken on notice.

Question

Cr Matthew Kirwan

It has been a couple of months since I last asked how the formation of a Multicultural Leaders Network is progressing. Having an informal network of multicultural leaders is going to make a huge difference as an engagement mechanism not just for community services but in terms of engaging with diverse communities to enable implementation many Council action plans. One that comes to mind is our Climate Change Strategy and Action Plan. What month and year should we have this up and running?

This question was tabled and taken on notice.

Question

Cr Matthew Kirwan

I spoke on the weekend with a member of the school council of Harrisfield Primary School regarding Joan Sheen Reserve in Bowmore Road. We discussed the possibility of revegetating both sides of the fence between the primary school and Joan Sheen Reserve with both mature trees and undergrowth similar to those that had already been done by Council on the western side of the school fence. The primary school has a relationship with Chisholm TAFE that has led to some native vegetation being planted by horticulture students already onsite. Could we explore the possibility of a three-way collaborative project between our parks team, the school and the TAFE in this small area?

This question was tabled and taken on notice.

Question

Cr Matthew Kirwan

A resident of Noble Park has asked me some questions regarding the Darren Reserve in Springvale South and adjacent buildings:

- (a) Was the open space area originally bigger and by how much in square metres and when did that change?
- (b) Is there any possibility of moving the kindergarten off the reserve onto a primary school site so that the reserve is made bigger again?
- (c) Are there any discussions occurring with the planned Chinese aged care centre at the corner of the Coomoora Road and Darren Road as to having an open space component that would make Darren Reserve bigger?
- (d) In general, what is the status of the planned Chinese aged care centre? Has a permit been lodged and if so, what is its permit application number and what is its status?

This question was tabled and taken on notice.

Question

Cr Angela Long

A resident asked me about the solar farm in Springvale South. When can we have an update on the solar farm proposal and when is it coming to Council?

Response

Jody Bosman, Director City Planning, Design and Amenity

The officers are currently processing an application to amend an existing s.173 agreement relating to the site and that will need to be finalised prior to the planning application being able to be tabled at a Council meeting. The application to amend the s.173 agreement seeks to remove a requirement to comply with a plan that is no longer in existence. In terms of the status of the s.173 agreement,

that will be going out to exhibition in the next few weeks and the decision to follow after that. Consequently, it is likely that the planning application be tabled at a Council meeting towards the end of the year.

Question

Cr Maria Sampey

My good old community centre, the Jan Wilson Centre. I went to visit it last week with Councillor Kirwan and they still have problems with regards to the water coming in from the rangehood and the stove is covered in plastic. This happened four weeks after the kitchen was opened. It really concerns me that we have to continually lay plastic over the stove because of the water coming in from the rangehood. The contractor really needs to come and fix it once and for all.

Response

Paul Kearsley, Director Business, Engineering and Major Projects

I am happy to take that up with the relevant manager in my team but also probably for myself to take the opportunity to go and have a look at the issues that have been raised.

Comment

Cr Maria Sampey

I would like to be there as well.

Question

Cr Maria Sampey

I know that the Heritage Kindergarten is now closed but residents have been contacting me because two-hour parking signs were put opposite the kindergarten about 12 months ago due to the fact that the staff at the nearby nursing home were parking there from 7.30am and parents could not drop off their kids at the kindergarten. Have the Council traffic officers been there checking that the two-hour restrictions are being observed? Residents are telling me that a few of them park from 6am until 3pm when they finish their shifts. Can we check and see what is going on with regards to the parking restrictions?

Response

Paul Kearsley, Director Business, Engineering and Major Projects

Certainly. I think from a transport engineers point of view, we could go out and have a look at what the situation is but perhaps Mr Bosman could also comment?

Response

Jody Bosman, Director City Planning, Design and Amenity

The answer to Councillor Sampey's first question is yes. The answer to the second question is also yes. They are observing the areas and they are patrolling the area and can they be more vigilant? We will make sure that once schools are better running that there will be that as well but I am fully aware of the site that Councillor Sampey is talking about and it is certainly part of our regular patrols.

Question

Cr Maria Sampey

What is happening with the Lyndale Pavilion Master Plan because last year around January, we were going to discuss the Memorandum of Understanding and have a meeting with the Education Department but I have not heard anything else since. What is happening there?

Response

Tilla Buden, Acting Director Community Services

I will take that question on notice.

Question

Cr Maria Sampey

Has a meeting been arranged at all with Silverton Primary School to let them know what is happening with Turner Reserve? I think it might be just a matter of courtesy or something to have a meeting with the principal and I would like to be at that meeting as well.

Response

Jody Bosman, Director City Planning, Design and Amenity

We are currently in the process of meeting with all the stakeholders and sporting clubs, etc. The school will probably be the last that we meet with because of their availability. Schools being not back but yes, certainly it is our program to speak with the school as well. All the stakeholders that were involved in the initial consultation will be consulted with as part of our moving ahead with Turner Reserve.

Comment

Cr Maria Sampey

The school has been in session for the last few weeks because some of the parents are working. The principal is at the school and some of the teachers are there too.

Question

Cr Maria Sampey

Along Halton Road, Noble Park North, there is a weatherboard house that has been vacant and it is rat-infested. I placed a Merit in November last year and I am wondering what is happening with it? It is still in the same position and residents are complaining that it is rat-infested and was supposed to be bulldozed.

Response

Jody Bosman, Director City Planning, Design and Amenity

I will take that question on notice.

Cr Loi Truong returned to the Chamber at 8.01pm.

Cr Youhorn Chea left the Chamber at 8.01pm.

Comment

Cr Peter Brown

I met last week with the coordinator of the Harrisfield Preschool and she asked me to pass on her appreciation and that of a future large number of parents because on Monday of last week, our staff put in the signage for a drop-off zone in Ardgower Road, directly in front of the preschool to enable parents to just pop over there for five to 10 minutes, drop the kids off and move on between 8 am and 5 pm weekdays. They see it as a significant step forward.

Question

Cr Peter Brown

I did notice when I was there that the grounds at the Ardgower Road entrance in Noble Park, really need mowing.

This question was noted for further action.

Question

Cr Sophie Tan

With regards to the Stage 2 restrictions announced by the Victorian Premier, the community centres will be open for a maximum of 20 people. A few members of some community groups are concerned about their safety and the cleanliness of the centres. Do we as a Council have any resources to help them if they need it?

Response

Tilla Buden, Acting Director Community Services

I think in the first instance we would be referring people across to some of the State Government resources as they have many resources available but if Councillor Tan can pass on some contact details, we can certainly follow up and help them personally.

Question

Cr Sophie Tan

A resident in Keysborough contacted me today regarding a streetlight on his street. The light is not working and he thinks it was affected by tree trimming near the powerlines. Who is responsible for fixing that light? Is it Council or United Energy?

Response

Paul Kearsley, Director Business, Engineering and Major Projects

If Councillor Tan could forward on those details, we will certainly have a look at where it sits with our tree maintenance. We could also advise United Energy if there are any issues with the light as well so if you could send those details through, we can advise the resident._

Question

Cr Sophie Tan

Another resident pointed out that there is a property in his neighbourhood which has been converted into an Airbnb. They feel it is not legal at the moment due to social distancing restrictions. What do we do in that situation?

Response

Jody Bosman, Director City Planning, Design and Amenity

I am happy to have a conversation with Councillor Tan after the meeting to get some more details to see if we can assist.

Question

Cr Tim Dark

My first question tonight is and Councillor Sampey has just reminded me, it is an issue I forgot to raise on behalf of the owners. In Superior Drive, Dandenong South, there have been many significant damages to the kerb and channels. A merit request for this issue is in progress. Can I have an update on the matter and can the owners also be updated? I am happy to pass on the details with regards to that.

Response

Paul Kearsley, Director Business, Engineering and Major Projects

Certainly. I saw the email from Councillor Sampey and officers will be out there fairly soon to assess what needs to be done. If it has not been actioned from the past, then we will certainly follow up with the owners to make sure the work is to our standard and advise Councillor Dark within this week.

Question

Cr Tim Dark

My next question is with regards to the Ian Street, Ciro's Cakes & Biscuits shop which has been operating for quite some time. It was raised with me by Ciro himself that there was a Council consultation that went out with regards to carpark spaces in Ian Street, Noble Park. Directly out the front of Ciro's Bakery is a loading zone but there is nowhere for a quick five-minute stop. Directly across the road is a mechanic and they are taking up many of the carpark spaces as well. The bakery store customers are having extreme difficulty being able to get in and out quickly to get what they want. They have had multiple people who have stopped in the loading zone and fined very quickly by a Local Laws officer. I believe that some consultation did go out. I just want to find out:

- (1) Exactly what that consultation was.
- (2) With the loading zone out the front, whether it is possible that that loading zone be converted to a five-minute stop for people who are going to stop, run in, get what they need and be able to go.

If we could just investigate, that would be fantastic.

Response

Paul Kearsley, Director Business, Engineering and Major Projects

Certainly. I am happy to take that question on notice and have a look at what consultation has been done in the past and possibly whether or not we can open a further level of consultation with regards to that particular loading bay. As soon as you ask for traders to relocate it, a number of them will get a bit upset but certainly, I can chase it up and supply all the Councillors with that information.

Comment

Cr Tim Dark

I can assure you that the majority of the traders in Ian Street, Noble Park are no longer in business. There are probably more 'for lease' signs than there are actual traders open but definitely, I think it is worthwhile to attend and have a conversation with them.

Cr Youhorn Chea returned to the Chamber at 8.07pm.

Question

Cr Tim Dark

There are a couple of blocks on the corner of Darren and Coomoora Road, Springvale South. One which was a State Government block subdivided into parcels to be sold and the second one was proposed to be when I was first elected, for a Chinese aged care facility. I note that when I drove by on the weekend that the site is still quite vacant. There does not seem to be any sort of works occurring and I am happy for this to be taken on notice. Can we follow up? I note that given four years have now passed, whether they are intending on doing the development or what exactly is happening with those sites that are there.

Response

Jody Bosman, Director City Planning, Design and Amenity

There is an application on the Coomoora Road site. I know there was a lot of talk and, in fact, there was even something in the media at one stage about the site. There has been no application and we have had no discussions with anybody with regards to a proposed development. What we do have just north of that particular site is an application for a development permit and then, of course,

we have to the north of that, Darren Reserve as well. As to the actual aged care or a Chinese aged care, there is certainly nothing that has come across our tables either in terms of an application or in terms of an inquiry.

Question Cr Tim Dark

If Mr Bosman could chase that up with the people who own that because I know there was definitely a sign to do with the Chinese care and I believe Mr Bosman is right, that there was some media coverage where a grant was potentially received from the State or Federal Government. If we could get that and the information on the development plan at a later stage as well for the next site that would be great.

Response

Jody Bosman, Director City Planning, Design and Amenity

Yes, I will do. The site is still owned by the Department of Human Services (DHS) so it has not changed hands but we could make an inquiry at the offices of DHS.

Question Cr Tim Dark

My last question for this evening came from a resident that I was talking to at Councillor Truong's milk bar when I stopped there. This resident explained to me that Andleon Way in Springvale South has become a bit of a rat run for people trying to take a shortcut after the closure of Coomoora Road. The road is quite curvy and I believe Councillor O'Reilly has raised something about this in the past. I want to find out if we have done an assessment on traffic to do with traffic flows and if we have seen that people are speeding through Andleon Way as a shortcut down to Coomoora Road and beyond.

Response

Paul Kearsley, Director Business, Engineering and Major Projects

I will take that question on notice and have the traffic engineers investigate.

John Bennie PSM, Chief Executive Officer tabled a listing of responses to questions taken on notice/requiring further action at the previous Council meeting. A copy of the responses provided as an attachment.

Comment Cr Angela Long

I received a phone call from a pensioner thanking Council for the \$100 reduction in their rates.

COUNCILLOR QUESTIONS TAKEN ON NOTICE/REQUIRING FURTHER ACTION

Summary of Response	Response provided 2/04/20: This proposal is subject to an Environmental Protection Authority (EPA) Works Approval process that is designed to consider the concerns that Cr Kirwan has raised. It is our current understanding that the EPA findings will be clearer this month. Further response 25/05/20: The questions raised relate to the EPA Works Approval application, which is currently being assessed by the EPA. It is expected that these matters will be considered as part of that application, and information will be included in the EPA decision when it is released. FURTHER ACTION REQUIRED	1/25
Date of Completion		
Responsible Officer	Director Business, Engineering and Major Projects	lotice
Subject & Summary of Question	Multiple questions relating to waste to energy via incineration proposal at 70 Ordish Road, Dandenong South I have received the following questions about the waste to energy via incineration proposal at 70 Ordish Road, Dandenong South which I am putting forward to the relevant officers tonight: (a) Waste incinerators generate hazardous wastes which include dioxins and furans. How much hazardous waste does the proposal expect to produce per year? Where will it be disposed at? If it is likely to be disposed at the Lyndhurst landfill, does Lyndhurst have sufficient space to receive waste for the lifetime of the project? (b) How close will this incinerator be to the residential areas and how can we ensure no toxic fly ash containing harmful chemicals or metals are released into the local environment? c) There have been many hazardous fires and leaks from toxic facilities in recent years causing huge harm to creeks and risking people's healths in Melbourne's West. How can residents trust this will be any different? d) In New South Wales, the Independent Panning Commission rejected a proposal for a waste incinerator on the grounds of concerns about the health impacts on local residents. How is this and other	Reports from Councillors/Delegates & Councillors' Questions - Questions Taken on Notice
Question Asked By	Cr Matthew Kirwan	m Councillors/Delega
Date of Council Meeting	23/03/20 CQT9	Reports fro

Summary of Response		Initial response provided 24/02/20: Council officers have been trying to contact Cr Loi Truong to assist. Location of the pit lid is still unknown. Further response provided 21/05/20: The pit location has been identified and replaced.	2 / 25
Date of Completion		21/05/20	
Responsible Officer		Director Business, Engineering and Major Projects	lotice
Subject & Summary of Question	incinerator proposals in Victoria different? (ifferent? (ifferent? (ifferent? (ifferent) (ifferen	Telstra Pit Lid I have received another request however it is written in Vetnamese and it is to do with a Telstra pit lid. Unfortunately, Councillor Truong has not got back to me to decipher it but I will send that through. Hopefully, we have someone in the office who will be able to translate exactly where it is otherwise, I can provide further details. If we could just chase that up, that would be great.	Reports from Councillors/Delegates & Councillors' Questions - Questions Taken on Notice
Question Asked By		Cr Tim Dark	m Councillors/Delega
Date of Council Meeting		14/04/20 CQT15	Reports from

26982

Date of Council Meeting	Question Asked By	Subject & Summary of Question	Responsible Officer	Date of Completion	Summary of Response
		This question was noted for further action.			COMPLETED
11/05/20 CQT6(a)	Cr Matthew Kirwan	Item 4.3.1 – Q3 Council Quarterly Performance Reporting	Director Community	12/05/20	Response provided 12/05/20: (a) The Hotspots Response and
		My questions regarding the Agenda Item 4.2.1 - Q3 Council Quarterly Performance Reporting are as follows:	Selvices		stakeholders meet on a case-by- case basis and also prior to quarterly Community Safety Advisory
		(a) On page 251, how can Councillors get detailed information on what the Hotspots Response Group is talking about and planning? This group, particularly now that it has been			Confinitional activities and reporting. Six Counciliors are reporting. Six Counciliors are represented on the Community. Safety Advisory Committee.
		compined with the Homelessness Working Group, is dealing with the key issues concerning Councillors. The current Community Safety Committee			Overviews, actions and outcomes of the Working Group are provided in a confidential Appendix attached to the Community Safety Advisory
		minutes contain only a high-level summary. This question was tabled and taken on notice.			Committee meeting Minutes to maintain privacy standards, and are available to all Councillors when attached to Council Meeting Minutes.
					The actions of the Hotspots Response and Homelessness Working Group are also reported on in the annual Community Safety Plan 2015-22 report to Council.
					COMPLETED
11/05/20 CQT6(b)	Cr Matthew Kirwan	Item 4.3.1 – Q3 Council Quarterly Performance Reporting	Director City Planning,	12/05/20	Response provided 12/05/20: (b) As officers have previously
		(b) On page 251, regarding the Domestic Animal Management Plan (DAMP), what is the status of consideration of a cat	Amenity		DAMP is that we review the need to introduce a cut curfew. To that end Council officers have prepared an
Reports from	m Councillors/Delega	Reports from Councillors/Delegates & Councillors' Questions - Questions Taken on Notice	Notice		3/25

Date of	20:500		Oldionon	90,040	90,000
Council	Asked By	Subject & Summary of Question	Officer	Completion	Response
		curfew and when will it come for Council decision?			internal discussion paper that examines the need to introduce a gramining the cast curfew as well as examining the
		This question was tabled and taken on notice.			enforceability of such a curfew. Further information is now being
					sought from other Councils concerning the logistics of enforcing such a curfew, and what the
					possible budget and resource implications are to having such a currew. However, due to COVID 19,
					this task has been made more difficult. Once all the information required is to hand further
					consideration will be given to the matter.
					COMPLETED
11/05/20 CQT6(c)	Cr Matthew Kirwan	Item 4.3.1 – Q3 Council Quarterly Performance Reporting	Director Community	12/05/20	Response provided 12/05/20:
		(c) On pages 262-5 relating to Arts and Cultural Heritage:	Services		(I) It is anticipated that the final artwork will be installed during the first quarter of 2020-21 Bed Orbin is
		(i) Whon will the Hemmings Officet			the artist that has been engaged to
		upgrade Public Art project be finalised?			work with a group of students from Dandenong West Primary School.
					All children involved in the project are returning their activity packs to
					the artist this week. The artist is collating their responses and
					Curating an artwork concept for Hemmings Street integrating the images the ctudents have provided
					Her concept draft is scheduled to be
					delivered in June - this will also includes scoped detail in regard to
					the installation methodology and fabrication.
Reports from	Councillors/Delega	Reports from Councillors/Delegates & Councillors' Questions – Questions Taken on Notice	lotice		4 / 25

at	Meeting	Asked By	Subject & Summary of Question	Responsible Officer	Date or Completion	Summary of Response
			(ii) Regarding the Connections working group, which of the many great ideas that			(ii) Many of the suggestions provided by the Community Connections
			have come out of that group have been			Working Group (CCWG) have been
			implemented so far and are planned to be implemented? How is their public			Integrated within ongoing operational delivery and strategic planning
			display pole idea progressing which			considerations; for example the
			would be so effective with our culturally			possibilities around dynamic
			and linguistically diverse (CALD)			signage, and bringing the inside of
and feasibility studies for future and feasibility studies for future cultural buildings and for current operations. A Creative Vidoria gwas applied for recently for this purpose but unfortunately was unsuccessful. Officers are also investigating alternatives which include a planned project for 20, 21 with projection antist Yandell Walton. This project will incorpor moving images provided by you local people into an artwork that be projected onto a cultural built in our city. Officers are also exploring the possibilities of activating vacant spaces with creative interventions, such as utilising such spaces for pop up residencies. This is being consist and you work of the COWG continue be supported and it is anticipate that programs such as Vour Bea recommendations of the OCY of distancing guidelines allow. In consultation with the CCWG, Officers are collating information in dignament that programs such as COW Gonstinue be supported and it is anticipate that programs such as COW Gonstinue guidelines allow, in consultation with the CCWG, Officers are collating guidelines allow.			communities?			facilities outside, are being
and fassibility Studies for current cultural buildings and for current operations. A Creative Victoria gwas applied for recently for this purpose but unfortunately was unsuccessful. Officers are also investigating alternatives which include a planned project for 201 21 with projection artist? Andell Walton. This project will incorpo moving images provided by you local people into an autwork that be projected onto a cultural built in our city. Officers are also exploring the possibilities of activating vacant spaces with creative interventions, such as utilising such spaces for pop up residencies. This is being considered on the artist ir residencies. This is being considered on the artist ir residencies. This is being considered on the artist ir residencies. This is being considered on the artist ir residencies. This is being considered on the artist ir residencies. This is being considered on the artist ir residencies. This is being considered on the artist ir residencies. This is being considered on the artist ir residencies. This is being considered on the artist ir residencies. This is being considered on the artist ir residencies. This is being considered on the artist ir residencies allow. In commence one COVID-19 distancing guidelines allow. In consultation with the CCWG.						considered as part of the planning
operations. A Creative Victoria gwas applied for recently for this purpose but unfortunately was unsuccessful. Officers are also investigating alternatives which include a planned project for 20; 21 with projection artist Yandell Walton. This project will incorpor moving inages provided by you local people into an artwork that be projected onto a cultural built in our city. Officers are also exploring the possibilities of activating vacant spaces with creative interventions, such as utilising such spaces with creative interventions, such as utilising such spaces with residency program in alignment the recommendations of the CC. The work of the CCWIG continue be supported and it is anticipate that programs such as 'Our Bear recommence once COVID-19 distancing guidelines allow. In consultation with the icCWG.						and feasibility studies for future
operatures. According was applied for recently for this purpose but unfortunately was unsuccessful. Officers are also investigating alternatives which include a planned project for 200 21 with projection artist Yandell Watton. This project will incorpor moving images provided by you local people into an artwork that be projected onto a cultural built in our city. Officers are also exploring the possibilities of activating vacant spaces with creative interventions, such as utilising such spaces for pop up residencies. This is being consist along with a review of the artist residency program in alignment the recommendations of the CC The work of the CCWG continue be supported and it is anticipate that programs such as 'Our Bear recommended and it is anticipate that programs such as 'Our Bear recommended on with the CCWG. Officers are collating information.						cultural buildings and for current
purpose but unfortunately was a purpose but unfortunately was unsuccessful. Officers are also investigating alternatives which include a planned project for 20, 21 with projection artist Yandell Walton. This project will incorpo moving images provided by you local people into an artwork that be projected onto a cultural built in our city. Officers are also exploring the possibilities of activating vacant spaces with a creative interventions, such as utilising such spaces with residencies. This is being considering and purported and it is anticipate that programs such as 'Our Bea recommendations of the CC The work of the CCWG continue be supported and it is anticipate that programs such as 'Our Bea recommended and it is anticipate that programs such as 'Our Bea recommended and it is anticipate that programs with the CCWG. Outforting guidellines allow. In consultation with the CCWG.						operations. A Creative Victoria grant was applied for recently for this
unsuccessful. Officers are also include a planned project for 202 21 with projection artist Yandell Walton. This project will incorpo moving images provided by you local people into an artwork that be projected onto a cultural built in our city. Officers are also exploring the possibilities of activating vacant spaces with creative interventions, such as utilising such spaces for pop up residencies. This is being considered by the artist residency program in alignment the recommendations of the CC The work of the CCWG continue be supported and it is anticipate that programs such as Our Bear recommence once COVID-19 distanting yuldensaling information officers are collating information.						was applied for locality for this
investigating alternatives which include a planned project for 20; 21 with projection artist Yandell Walton. This project will incorpo moving images provided by your local people into an artwork that be projected onto a cultural built in our city. Officers are also exploring the possibilities of activating vacant spaces with creative interventions, such as utilising such spaces for pop up residencies. This is being consideration with a review of the artist residency program in alignment the recommendations of the CC The work of the CCWG continue be supported and it is anticipate that programs such as 'Our Bea recommence once COVID-19 distancing guidelines allow. In consultation with the CCWG.						purpose but difficient was unsuccessful. Officers are also
include a planned project for 20; 21 with projection artist Yandell Walton. This project will incorpo moving images provided by you local people into an artwork that be projected onto a cultural built in our city. Officers are also exploring the possibilities of activating vacant spaces with creative interventions, such as utilising such spaces for pop up residencies. This is being consic along with a review of the artist ir residency program in alignment the recommendations of the CVWG continue be supported and it is anticipate that programs such as 'Our Bea recommence once COVID-19 distancing guidelines allow. In consultation with the CCWG. Officers are collating information						investigating alternatives which
21 with projection artist Yandell Walton. This project will incorpo moving images provided by you local people into an artwork that be projected onto a cultural buil in our city. Officers are also exploring the possibilities of activating vacant spaces with creative interventions, such as utilising such spaces for pop up residencies. This is being consic along with a review of the artist i residency program in allignment the recommendations of the CVW COWN Continue be supported and it is anticipate that programs such as 'Our Bea recommence once COVID-19 distancing guidelines allow. In consultation with the CCWWG, Officers are collating information						include a planned project for 2020-
Walton. This project will incorpo moving images provided by you local people into an artwork that be projected onto a cultural build in our city. Officers are also exploring the possibilities of activating vacant spaces with creative interventions, such as utilising such spaces for pop up residencies. This is being considered may program in alignment the recommendations of the CC The work of the CCWG continue be supported and it is anticipate that programs such as 'Our Bear commence once COVID-19 distancing guidelines allow, in consultation with the CCWG. Officers are collating information						21 with projection artist Yandell
moving images provided by you local people into an artwork that be projected onto a cultural build in our city. Officers are also exploring the possibilities of activating vacant spaces with creative interventions, such as utilising such spaces for pop up residencies. This is being considered on the residency program in alignment the recommendations of the CC The work of the Active Continute be supported and it is anticipate that programs such as 'Our Bear commence once COVID-19 distancing guidelines allow, in consultation with the CCWG, Officers are collating information.						Walton. This project will incorporate
local people into an artwork that be projected onto a cultural built in our city. Officers are also exploring the possibilities of activating vacant spaces with creative interventions, such as utilising such spaces for pop up residencies. This is being consic along with a review of the artist i residency program in alignment the recommendations of the CC The work of the CCWG continut be supported and it is anticipate that programs such as 'Our Bea recommence once COVID-19 distancing guidelines allow, in consultation with the CCWG,						moving images provided by young
in our city. Officers are also exploring the possibilities of activating vacant spaces with activating vacant spaces with creative interventions, such as utilising such spaces for pop up residencies. This is being considation with a review of the artist residency program in alignment the recommendations of the CC The work of the CCWG continut be supported and it is anticipate that programs such as 'Our Bearcommence once COVID-19 distancing guidelines allow, in consultation with the CCWG.						local people into an artwork that will
in our city. Officers are also exploring the possibilities of activating vacant spaces with a reative interventions, such as utilising such spaces for pop up residencies. This is being consiculation with a review of the artist residency program in alignment the recommendations of the CC The work of the CCWG continue be supported and it is anticipate that programs such as 'Our Bear recommence once COVID-19 distancing guidelines allow. In consultation with the CCWG.						be projected onto a cultural building
exploring the possibilities of activating vacant spaces with creative interventions, such as utilising such spaces for pop up residencies. This is being consiculation with a review of the artist iresidency program in alignment the recommendations of the CCWG continue be supported and it is anticipate that programs such as 'Our Bear recommence once COVID-19 distancing guidelines allow. In consultation with the CCWG.						in our city. Officers are also
activating vacant spaces with creative interventions, such as utilising such spaces for pop in the creative interventions, such as utilising such spaces for pop in the creative interventions of the artist along with a review of the artist residency program in alignment the recommendations of the CC The work of the CCWG continute be supported and it is anticipate that programs such as 'Our Bea recommence once COVID-19 distancing guidelines allow. In consultation with the CCWG,						exploring the possibilities of
creative interventions, such as utilising such spaces for pop up residencies. This is being consideration with a review of the artist is being consideration with a review of the artist is residency program in alignment the recommendations of the CC The work of the CCWG continue be supported and it is anticipate that programs such as 'Our Bear recommence once COVID-19 distancing guidelines allow, in consultation with the CCWG, Officers are collating information						activating vacant spaces with
utilising such spaces for pop up residencies. This is being considencies. This is being considencies. This is being considency being a considency program in alignment the recommendations of the CC The work of the CCWG continute be supported and it is anticipate that programs such as 'Our Bear recommence once COVID-19 distancing guidelines allow, in consultation with the CCWG.						creative interventions, such as
residencies. This is being consideration with a review of the artist is residency program in alignment the recommendations of the CC The work of the CCWG continut be supported and it is anticipate that programs such as 'Our Bear recommence once COVID-19 distancing guidelines allow, in consultation with the CCWG.						utilising such spaces for pop up artist
along with a review of the artist residency program in alignment the recommendations of the CC the work of the CCWG continue be supported and it is anticipate that programs such as 'Our Bearcommence once COVID-19 distancing guidelines allow. In consultation with the CCWG.						residencies. I nis is being considered
residency program in alignment the recommendations of the CC The work of the CCWG continut be supported and it is anticipate that programs such as 'Our Bea recommence once COVID-19 distancing guidelines allow. In consultation with the CCWG, Officers are collating information						along with a review of the artist in
The work of the CCWG continue be supported and it is anticipate that programs such as 'Our Bea recommence once COVID-19 distancing guidelines allow. In consultation with the CCWG, Officers are collating information						residency program in alignment with
Ine work of the CCWG continue be supported and it is anticipate that programs such as 'Our Bea recommence once COVID-19 distancing guidelines allow. In consultation with the CCWG, Officers are collating information						The reconfinentiations of the CCWG.
that programs such as an uchane that programs such as 'Our Bea recommence once COV'ID-19 distancing guidelines allow. In consultation with the CCWG,						I he work of the CCWG continues to
inal programs such as Our bear recommence once COVID-19 distancing guidelines allow. In consultation with the CCWG,						that supported and it is an incipated
distancing guidelines allow. In consultation with the CCWG, Officers are collating information						riat programs such as Our Beat will recommence once COVID-19
consultation with the CCWG, Officers are collating information						distancing guidelines allow. In
Officers are collating information						consultation with the CCWG,
						Officers are collating information

Date of Council Meeting	Question Asked By	Subject & Summary of Question	Responsible Officer	Date of Completion	Summary of Response
					pertaining to available grants for local artists to support them throughout the COVID-19 pandemic, and have also developed a webinar to be hosted by Auspirious Arts.
					which will provide local artists with information on how to apply for
					grants and how to build budgets. This event is scheduled to occur on Thirselay 28 May, The event will be
					promoted through the CCWG network and via Arts in Greater
					Dandenong's social media pages. A refresh of the Arts in Greater
					Dandenong website has accommodated a review of the 'Arts
					Opportunities' page with improved
					opportunities for local artists. The
					public display pole idea was not formally included in the CCWG
					report, however it will be discussed
					status of this project will be reported
					on once we obtain further
		(iii) How many (and what percentage of)			information.
		artists in residence in the last 2 years			(iii) The most recent residency
		nave been residents of Greater Dandenong and how do we actively			program saw a partnership with local not-for-profit arts group Connection
		encourage our own residents to take part			Arts Space. This residency
		given they may not have the confidence			supported two artists from the City of
		and backgrounds as people norm elsewhere in Melbourne?			Greater Dandenong and three more located in the South Eastern
					suburbs; whilst also aligning with
					Connection's exhibition program to
					promote the residency opportunities
					review of the Artist Residency
Reports fror	m Councillors/Delega	Reports from Councillors/Delegates & Councillors' Questions - Questions Taken on Notice	Votice		6/25

Date of Council	Question Asked By	Subject & Summary of Question	Responsible Officer	Date of Completion	Summary of Response
					process is being undertaken to explore ways in which to improve this program, and Officers have undertaken a commitment to appropriately document residency demographics to track statistics on local artist uptake.
		(iv) How is the municipal history book project progressing (ie. as of now not when this report was written); when are printed copies expected to be available and a launch to take place?			(iv) Final editing of the book is currently taking place. The book will then be indexed and sent for printing which will take approximately 2 months. A launch event will be planned once a delivery date is confirmed.
		(v) When is the exploration of options for expanding the Civic Archive going to cease and expansion begin? This question was tabled and taken on notice.			(v) A CIP budget bid has been submitted for consideration in the 2021-22 financial year (was deferred from 2020-21) to ascertain the projected growth and long-term storage needs of the Civic and Cultural Heritage Collections and the Historical Societies' collections. This will inform the requirements of the future space need and determine the level of expansion required. In the meantime, short-term solutions will be investigated to use the space at the current Civic archive as efficiently as possible.
11/05/20 CQT6(d) Reports fro	Cr Matthew Kirwan Mirwan Councillors/Delege	705/20 Cr Matthew Item 4.3.1 – Q3 Council Quarterly Direction (20176) Kirwan Performance Reporting Correction (20176) Reports from Councillors/Delegates & Councillors' Questions – Questions Taken on Notice	Director Corporate Services	12/05/20	Response provided 12/05/20: Arising from discussions in respect to Service Reviews the recorded message was changed and work
o e en indexi		AIGS & COUITCINGS KAGOROIIS - KAGOROIIS I GINGI VIII	NO II CE		24

Date of Council Meeting	Question Asked By	Subject & Summary of Question	Responsible Officer	Date of Completion	Summary of Response
		Reviews, how is the review into the operation and resourcing of our afterhour services going? This question was tabled and taken on notice.			was undertaken with our Service Provider in April last year to talk through our concerns about getting a quicker response to some issues, in particular recognising when Councillors called the service. As a result, all Councillor numbers are now entered into their system so these calls can be clearly identified and escalated. COMPLETED
11/05/20 CQT7	Cr Matthew Kirwan	Plastic Free July Can we have some online educational promotions for Plastic Free July this year to inform our community on how they can reduce plastic use. The COVID-19 pandemic has significantly increased takeaway plastic use? This question was tabled and taken on notice.	Director City Planning, Design and Amenity	12/05/20	Response provided 12/05/20: Council officers are in the process of updating Councils website to include a section on the plastics policy. This will be the location for online materials and resources for the community to access. In terms of Plastic Free July, tailored content will also be developed for this prior to July.
11/05/20 CQT8	Cr Matthew Kirwan	Playground Strategy Gap There seems to be a gap in the Playground Strategy where hundreds of residents of the Yarraman Village development in Noble Park are without any playground within walking distance. It is not just them but all of the existing homes on and off Hanna Street in Noble Park. There is an open space bordered by the ends of Maxwell Court and Llewellyn Court. Could a small playground be considered there? This question was tabled and taken on	Director City Planning, Design and Amenity	12/05/20	Response provided 1205/20: The current Playground Strategy and Action Plan 2013-2023 does not include Maxwell Reserve. Instead, the current Playground Strategy identifies Kiwanis Reserve as the local park which provides a local playground for the local catchment. Kiwanis Reserve is located south of Mile Creek on Goodman Drive, approximately 450m from Maxwell Reserve. Since the adoption of the Playground Strategy and Action Plan, the area to the east of Maxwell Reserve has real ised a significant plan, the area to the east of Maxwell Reserve has realised a significant and action of the plan, the area to the east of Maxwell Reserve has realised a significant and action of the plan, the area to the east of Maxwell Reserve has realised a significant and action of the plan, the area to the east of Maxwell Reserve has realised a significant and action action and action and action action action and action action action and action a
Reports from	m Councillors/Deleg	Reports from Councillors/Delegates & Councillors' Questions - Questions Taken on Notice	Votice		8/25

Summary of Response	residential development. Due to these land use changes, the distribution of access to Kiwanis Reserve has changed and it is acknowledged that access to the Kiwanis Reserve local playground is hindered. Therefore, Maxwell Reserve would appear to be a 'gap in playground provision' due to the creek and railway being significant barriers to access other playgrounds. As such, officers suggest that Maxwell Reserve is considered as an opportunity for a future local playground at the time of the review of the Playground Strategy and Action Plan in 2024.	Response provided 12/05/12/12/2012. Councils Declaration of a Climate Emergency was published in the April Edition of the City of Greater Dandenong Council News. Information is also made available on Councils Website and will also form part of Councils Climate Change Strategy that is currently being developed after undergoing community consultation. Further information on Councils Response to Climate Change, including addressing the Climate Emergency declaration will occur over the coming months as the Climate Change Strategy and Action Plan is finalised pending Council approval.
Date of Completion		12/05/20
Responsible Officer		Director City Planning, Design and Amenity
Subject & Summary of Question	notice.	Mirwan Kirwan I have noticed that other Councils that have declared a climate emergency have had articles in their Council magazines and in their social media advertising the fact. I could be wrong but I do not recall seeing anything in our Council paper or online publications. Can this please be addressed? This question was tabled and taken on notice.
Question Asked By		Cr Matthew Kirwan
Date of Council Meeting		11/05/20 CQT9

		ω ω ω ω ω	۲ ,	ο Ο	
Summary of Response	COMPLETED	Response Provided 12/05/20. Council's Road Management & Asset Protection Local Law requires that a person who owns or occupies a property in our municipality must display the street number allocated to the property, so that the number is clearly visible from the road frontage. The local law doesn't require the property's number to be displayed on a property's post box, so long as the number is clearly visible from the road frontage.	Council would encourage all property owners or occupiers to ensure their street numbers are clearly displayed, as they are still an extremely useful tool in assisting emergency services locate a particular property when emergency assistance is required.	Council's Local Laws team is able to enforce this particular section of the Local Law where required. COMPLETED	Response provided 21/05/20: (a) Further tree planting in Fotheringham Reserve along the bike trail near the Dog Off Leash area has been programmed for 2021. (b) Further tree planting in
Date of Completion		12/05/20			21/05/20
Responsible Officer		Director City Planning, Design and Amenity			Director Business, Engineering and Major Projects
Subject & Summary of Question		Display of Street Numbers A Dandenong resident asked me about the number of Dandenong houses that have no street numbers on their mailboxes outside their houses. Is that illegal and if so, whose responsibility is it to enforce? This question was tabled and taken on notice.			Shared Paths Work Suggestions Our local recreational shared paths have been busier than ever lately as local parks have been one of the few allowed ways of people getting out of the house for exercising so it is probably not surprising that it has led to many
Question Asked By		Cr Matthew Kirwan			Cr Matthew Kirwan
Date of Council Meeting		11/05/20 CQT10			11/05/20 CQT11

Reports from Councillors/Delegates & Councillors' Questions – Questions Taken on Notice

10 / 25

Summary of Response	Dandenong Wetlands to screen the Monash Freeway has been programmed for 2021. Some planting to the north of the Monash	Freeway in the agistment property will also be programmed for 2021.	The trees will need to be ordered 12 months in advance to allow for good establishment of the stock before planting.	Response provided 18/05/20:	(c) (i) Toilet strategy – The Toilet Strategy has been progressing and is due for presentation to the Executive Management Team within the next four weeks. Presentation to a Councillor Briefing Session would follow.	(ii) It would be premature to seek comment from Councillors until it has progressed to the briefing session.	COMPLETED		11/25
Date of Completion									
Responsible Officer									lotice
Subject & Summary of Question	questions. These are three questions that I have received in the last two weeks:	(a) A Dandenong resident approached me during the last two weeks regarding the stretch of the Eastlink trail between	Pyke and Goldlang Streets in Dandon of Dandenong and Dallimore Court in Noble Park. They noted how it was particularly windswept for users of the trail and asked when mature indigenous trees	could be planted on either side to reduce the wind. Is that possible?	(b) Similarly a Dandenong North resident who uses the Dandenong Creek trail asked me about the lack of vegetation along both sides of the Monash Freeway between Stud Road and the Dandenong Creek which affects the visual and aural experience of those users of the Dandenong Creek Trail but also those that walk from the Dandenong Stadium into the Dandenong Floodhains park.	also does not protect walkers and cyclists from high wind. Could we do some planting of mature indigenous trees there?	(c) I have two questions regarding the provision of toilets at the park at the corner of Westwood Boulevard and Stanley Road, Keysborough:	(i) How are we progressing on the Toilet Strategy? My recollection of when I last asked about this was that it was going to a Councillor Briefing Session in May	Reports from Councillors/Delegates & Councillors' Questions - Questions Taken on Notice
Question Asked By									m Councillors/Delega
Date of Council Meeting									Reports fro.

Date of Council Meeting	Question Asked By	Subject & Summary of Question	Responsible Officer	Date of Completion	Summary of Response
		2020 and public exhibition in June 2020.			
		(ii) Could we just get comments from Councillors by email to speed up the point at which we get to exhibition?			
		This question was tabled and taken on notice.			
11/05/20 CQT12	Cr Matthew Kirwan	Wattle Trees Planting along Railway Parade When I last asked about the sada of the	Director Business, Engineering	21/05/20	Response provided 21/05/20: Council officers have been in discussions with LXRA on a range of
		wattle trees to be re-planted along Railway Parade on the railway line side	and Major Projects		of Railway Parade.
		Street, I was told that we were waiting on Victrack to clean up the site.			(a) The letter to Gabrielle Williams was temporarily suspended pending the outcome of these recent
		(a) How did the letter from the Mayor to Gabrielle Williams progress as per the email discussion on the 2 April 2020? Has it been sent and did we get a reply?			discussions. LARA have since expressed an interest to fund the reinstatement works along Railway Ave.
		(b) The rubble remaining seems to be			(b) The works along Railway Parade
		the part next to Benner Street that was left deliberately last time from being planted. Can we just plant between that rubble and Belfort			nave been scheduled to be completed by June/July 2020. These works will involve the removal of the rubble and the planting of trees within Council's reservation
		Street and leave the rubble there? I am doubtful whether the Level Crossing Removal Authority (LXRA) will ever get around to removing it and want to close this matter off.			COMPLETED
		This question was tabled and taken on notice.			
Reports fro	m Councillors/Deleg:	Reports from Councillors/Delegates & Councillors' Questions – Questions Taken on Notice	Votice		12 / 25

Summary of Response	Response provided 18/05/20: The Tatterson Park access road construction which will eventually link to Villiers Road is currently out for tender with a submission closing date of 21 May 2020. The tender evaluation process will follow and this duration is hard to predict until the number of submissions is known. The dog park at this location is currently under construction.	Response provided 12/05/20: In May 2019 Hockey Victoria was provided an opportunity to provide feedback to the Draft Make Your Move Physical Activity Strategy. In this discussion the future directions of the sport, and strengths and opportunities for Hockey were discussed. Officers continue to maintain contact with all State Sporting Associations including Hockey Victoria during the COVID-19 crisis and will continue to do so. Recently, Officers were in contact with the Dandenong Warriors Hockey Club and the club has provided feedback regarding the impact of COVID-19 on their operation. This will be a focus for conversation with Hockey Victoria in the coming weeks. As the current COVID-19 crisis response	13 / 25
Date of Completion	18/05/20	12/05/20	
Responsible Officer	Director Business, Engineering and Major Projects	Director Community Services	otice
Subject & Summary of Question	Contract for Villiers Road Extension When is the contract for the construction of the Villiers Road extension in Keysborough and dog park expected to come to Council for a decision? This question was tabled and taken on notice.	Growth of Hockey Sport In previous years, I have asked about the future strategy with hockey as a sport going forward and was told it was pending discussions of not only the Mills Reserve Master Plan but discussions with Hockey Victoria. How are both of these progressing particularly discussions with Hockey Victoria (as my question is not just about infrastructure but growth of the sport)? This question was tabled and taken on notice.	Reports from Councillors/Delegates & Councillors' Questions - Questions Taken on Notice
Question Asked By	Cr Matthew Kirwan	Cr Matthew Kirwan	m Councillors/Delega
Date of Council Meeting	11/05/20 CQT13	11/05/20 CQT14	Reports fro

Completion Response	focus of conversation has shifted to COVID-19 recover in the first instance as there will much work to be done on supporting all sport to get back to playing.	With regard to the precinct/master plan for Mills Reserve, this consultation is proposed to commence later this year and ahead of the detail design for the new Dandenong Aquatic and Wellbeing Centre. Part of this planning will consider the future requirements of the Hockey Club. Preliminary discussions have already been held with the club.	COMPLETED		12/05/20 Response provided 12/05/20: It is expected that the Language and
Responsible Officer				Director Community Services	Director Community
Subject & Summary of Question				Funding for South East Regional Cycling Strategy At the Council meeting on Monday, 12 August 2019, Council resolved that pending discussions with other Councils in the south-east, that funding will be sought from Sport and Recreation Victoria to undertake a South East Regional Cycling Strategy, noting that this funding if granted would be available in the 2020/21 financial year. What is the status of this funding request – have we submitted it and if so when do we expect to hear back? This question was tabled and taken on notice.	OF Matthew Review of the Language and Dire
Question Asked By				Gr Matthew Kirwan	Cr Matthew Kirwan m Councillors/Delega
Date of Council Meeting				11/05/20 CQT15	11/05/20 CQT16 Reports fro

Date of Council	Question Asked By	Subject & Summary of Question	Responsible	Date of	Summary of
Meeting		The Language and Communication Policy has been due for review since May 2019. What are the timelines for the review including opportunity for Councillor input?	Services		Communication Policy will be presented at a CBS in August. Councillors will be invited to participate in a consultation workshop in June.
		This question was tabled and taken on notice.			COMPLETED
11/05/20 CQT17	Cr Matthew Kirwan	Review of the Investment Policy Our Investment Policy was due for review in September 2019. What are the timelines for the review including opportunity for Councillor input?	Director Corporate Services	12/05/20	Response provided 12/05/20: The revised Investment Policy will go before the 19 June 2020 Audit Advisory Committee before proceeding to a Council meeting during Inly. There will be time for
		This question was tabled and taken on notice.			curing suy. There will be time for Councillor input following the Audit Committee and before the Council meeting.
					COMPLETED
11/05/20 CQT18	Cr Matthew Kirwan	Review of the Diversity, Access and Equity Policy The Diversity, Access and Equity Policy 2015 was due for review in November 2019. What are the timelines for the review including opportunity for Councillor input? This question was tabled and taken on notice.	Director Corporate Services	12/05/20	Response provided 12/05/20: The revised Investment Policy will go before the 19 June 2020 Audit Advisory Committee before proceeding to a Council meeting during July. There will be time for Councillor input following the Audit Committee and before the Council meeting.
					COMPLETED
11/05/20 CQT19	Cr Matthew Kirwan	Exhibiting of Policies I have often thought that following the practices of other Councils and exhibiting our polices not just our strategies and plans would be a good thing so I was intrigued that we had begun advertising	Director Corporate Services	12/05/20	Response provided 12/05/20: It is only intended that exhibiting policies will only occur where there is a particular relevance to seeking community input.
Reports fro	m Councillors/Delega	our Sporting Ground and Pavillon Notice Reports from Councillors/Delegates & Councillors' Questions – Questions Taken on Notice	lotice		15 / 25

Date of Council Meeting	Question Asked By	Subject & Summary of Question	Responsible Officer	Date of Completion	Summary of Response
		Management Policy. Will we be exhibiting all draft policies from now on?			COMPLETED
		This question was tabled and taken on notice.			
11/05/20 CQT28	Cr Peter Brown	Public Consultation of Melbourne Racing Club Clarification as per EMT	Director City Planning,	13/05/20	Initial Response Provided 11/05/20:
		Minutes	Design and		I would need to see the exact
		I do not take issue with what Mr Jackson	Amenity		document to be able to comment but
		Is saying. Unfortunately, I thought that document was so important that I did not			orten applicants will put wording to that extent on what could be a draft
		want to bring it here and lose it amongst			document. I am happy to have a look
		all the others. There is one line and I am			into that and provide Councillor
		not disputing what Mr Jackson is saying			Brown with some more details.
		but his answer reflects adversely on the			
		Information I have been provided. If			Further Response Provided 13/05/20:
		saving it is his responsibility, but it says			In response. I can advise that the
		in respect of the Executive Management			Sandown Master Plan is still being
		Team, 'Sandown Racecourse - draft			developed and a draft has not been
		Master Plan for public consultation' in			finalised at this time. It is also not on
		virtually as many words so a bit must			public exhibition. Rather, once the
		have been lost in translation somewhere.			master plan has been developed in a
		C			way that it could be exhibited, a
		Kesponse			briefing will be provided to
		John Bennie PSIM, Chief Executive			Councillors, rollowed by a Council
		Could I just add to that and endorse Mr			seek authorisation from the Minister
		Jackson's comments and really only to			for Planning to commence the
		say, that the notes that are taken or the			Planning Scheme Amendment. Only
		minutes of the Executive Management			after authorisation has been issued
		Team, I think sum up our understanding			by the Minister for Planning, will
		of it and that is the Master Plan had been			exhibition of the master plan occur.
		submitted by the Melbourne Racing Club			In terms of the documentation
		and the ultimate intention is to place that			advising that it is open for public
		on public exhibition so it is not ready yet.			exhibition, this wording was
		It was noted by the executive that this is an important strategic document. It has			
Reports from	m Councillors/Delega	Reports from Councillors/Delegates & Councillors' Questions - Questions Taken on Notice	lotice		16 / 25

Date of Council Meeting	Question Asked By	Subject & Summary of Question	Responsible Officer	Date of Completion	Summary of Response
		been on the agenda for a long period of time and the Director, Mr Bosman, is bringing the executive up to date from time to time with the status. He was simply bringing to our aftention that the Master Plan had been submitted and I think the minute taker would have noted that the ultimate intention was to go out on public exhibition. The executive does not have the authority to take that step so if that was part of Councillor Brown's concern, we note now as Mr Jackson has indicated, there is much more work to do on the document that has been submitted before it can be in a position to be considered whether it should be placed on exhibition for a possible planning scheme amendment. That would be my broader summary of the status.			COMPLETED
11/05/20 CQT30	Cr Tim Dark	Asphalting of Chandler Road, Keysborough With regards to a gravel road issue on Chandler Road, Keysborough which I have mentioned in the past about five or six times now. I know that we had is conversation about asphalting that lip as it turns a buffer on. I note that when I drove past on the weekend it still has not been done. I just want to follow up: (1) if we have got approval from VicRoads if we did need it; and (2) how long it is going to take to patch the asphalt over the road.	Director Business, Engineering and Major Projects	21/05/20	Initial Response provided 11/05/20: Yes, I am well aware of that issue and even prior to my position that I hold it had been an issue for you and others so let me follow that up with both VicRoads and Council staff to find out exactly what is going on there. Further response provided 21/05/20: Regarding the Chandler Road left turn lane extension near Cheltenham road, I am pleased to advise tenders have closed and will soon be awarded with construction due to
Reports froi	m Councillors/Delega	Reports from Councillors/Delegates & Councillors' Questions – Questions Taken on Notice	Votice		17 / 25

Date of Council Meeting	Question Asked By	Subject & Summary of Question	Responsible Officer	Date of Completion	Summary of Response
					commence in June 2020. We are anticipating the construction will be completed sometime in August 2020 allowing for adverse weather delays during the winter period.
11/05/20 CQT31	Cr Tim Dark	Speeding/Hooning along Dandenong Bypass Can we please also follow up with VicRoads through the Dandenong Bypass particularly to do with the speeding that is going on? On the weekend there was a significant amount of people hooning along the Bypass coming over from the bridge over Cheltenham Road heading along the Bypass all the way up towards Hammond Road in Dandenong South.	Director Business, Engineering and Major Projects	21/05/20	Initial Response provided 11/05/20: I can advise Council that we have received a number of responses from different Ministers through the local member there, Martin Pakula. One of the pieces of advice which was a little bit different to them just saying no, was that they would be undertaking some further data and surveys of traffic movements around that area. Unfortunately, the dates that they gave us was the month of March 2020 which was severely impacted by no one using those roads or lesser people using those coals because of the issue of COVID-19. I think they have determined that the survey work will take place at a later time when perhaps there is more traffic to survey and we would probably want them to do that to reflect the true nature of the use of that particular road. We will double-check that and I will come back to you to confirm. Further response provided 21/05/20:
Reports fro.	n Councillors/Delega	Reports from Councillors/Delegates & Councillors' Questions – Questions Taken on Notice	Jotice		veilibles aidig the Danderlong 18 / 25

Date of Council Meeting	Question Asked By	Subject & Summary of Question	Responsible Officer	Date of Completion	Summary of Response
					Bypass, Council officers have again contacted the Department of Transport (DoT) seeking an update. We have been advised due to the altered traffic conditions as a result of COVID-19, no data collection activities are occurring. Therefore, the DoT has no update to provide at this time.
11/05/20 CQT33	Cr Tim Dark	Lease Details for Lapidary Club The Lapidary Club that occupies it, do they still occupy that and are they in a lease that entails that they also have a part of the land as well or is it just the building component within the lease on a plan?	Director Community Services	13/05/20	Initial Response Porivded 11/05/20: Yes, they currently have a lease with us and are occupying that site. I think it is primarily the house but I would have to check that for you. Further response provided 13/05/20: The lease is currently in overhold and includes the entire site which is enclosed within the fence-line. Officers have made contact with the club and requested that they promptly tidy up and make good the surrounds of the facility as they are currently unkept. The club will be issued a 'make good' notice and given 14 days to comply.
11/05/20 CQT34	Cr Tim Dark	More Details on the Lease for the Lapidary Club	Director Community Services	13/05/20	Initial Response Provided 11/05/20: Yes, we can and that may form part
Reports fro	m Councillors/Delega	Reports from Councillors/Delegates & Councillors' Questions - Questions Taken on Notice	lotice		19 / 25

Responsible Date of Summary of Officer Completion Response	of the response that Mr Bennie was just indicating that we will provide you.	Further Response provided 13/05/20: The lease is currently in overhold and include the certific city and include the certific	and induces the entire site which is enclosed within the fence-line.	Officers have made contact with the club and requested that they	surrounds of the facility as they are	currently unkept. The club will be issued a 'make good' notice and	given 14 days to comply.	City 12/05/20 Initial Response Provided 11/05/20:	70		providing us with amended plans to	permit that was issued a few months	back. I suspect that works might be	a little bit off yet on that site but we	can confirm.	In terms of Loxwood Avenue in	Keysborough, we will contact the	developer and find out what their	timotomori,	timeframes are.	timeframes are. Further Response provided	timeframes are. Further Response provided 13/05/20:
								Director City Planning,	Design and	Amenity												
Can we please also find out how long the lease is for with the Lapidary Club and	given that it is fenced, does it include the grassed area?	,						Update on Coomoora High School Site Development & Loxwood Avenue,	Keysborough	A couple of months ago, the Council	decided to pass the Coomoora High	Development Victoria. When is it	estimated that there will be some more	information coming up and also if and	when there will be any earthworks commencing on the site.)	The same request goes for Loxwood	Avenue, Reysporougn where the old	is. I had noticed on the weekend that it	and and the beauty and and	nas been lenced on. There is some	nas been lended on. There is some advertising of the builder on it but the
(<u> </u>	0						Cr Tim Dark U	Ž,	∀ ₹	ă ù	ŏΔ	Se	<u>u</u>	× 8		Ė	ξ Ż	<u>is</u>	he	!	ac
								11/05/20 CQT35														

Date of Council Meeting	Question Asked By	Subject & Summary of Question	Responsible Officer	Date of Completion	Summary of Response
		and there is nothing going on. I just want to find out if we could also potentially contact the builder or the owner of the site just to find out what they are doing and when they are intending on doing a development.			15-29 Coomoora Road, Springvale – The development plan has been approved, and the applicant is currently finalising the amended plans required to meet the conditions of this approval. Once this is complete, the applicant will then apply for a planning permit, which will also need to be assessed and approved prior to works commencing. As such, an exact timeframe was not able to provided, other than to say the applicant is keen to commence as soon as possible. 21-23 Loxwood Avenue, Keysbrough – This land is in the process of being sold to another developer. As such, a timeframe for works to start has not been finalised, however officers were advised that it is unlikely that work will commence this calendar year.
11/05/20 CQT36	Cr Tim Dark	Traffic Issues at Service Lane from Toyota Service Station on Cheltenham	Director Business,	21/05/20	Initial Response Provided 11/05/20:

Reports from Councillors/Delegates & Councillors' Questions – Questions Taken on Notice

Date of Council Meeting	Question Asked By	Subject & Summary of Question	Responsible Officer	Date of Completion	Summary of Response
		Road/Dandenong Bypass Lastly, it was raised with me on the weekend when I spoke to a resident that the service lane on Cheltenham Road as you come off the Dandenong Bypass where it turns into the Toyota service station there. An accident occurred there a couple of weeks ago because people are coming out of the Toyota driveway straight onto Cheltenham Road while people are turning into the service lane. It has become quite a dangerous sort of alcove and it was raised with me by a resident who appeared on a Channel 9 show called Paramedics when a driver of a vehicle turning left ran into him while sitting on a scooter and ended up in hospital. The resident who was in the accident had said that apparently it has become quite dangerous in recent times with people accelerating as they come off the EastLink when they have to slow down to make the turn. Can we investigate potential options available to us? I note that it is a VicRoads road but the service lane is becoming quite heavy with the amount of vehicles pulling in and out and just see what we can do to mitgate the amount of potential traffic	Engineering and Major Projects		I will take that question on notice and ask the officers to have a look, especially if there was a recent record of an accident. Further response provided 21/05/20: Regarding the safety concerns at the Toyota dealership service centre driveway on Cheltenham Road, as this road is managed by the DoT, a request has been sent to them seeking their assessment of this location. Any outcomes identified will be shared with you once a response is received.
		accidents there.			COMPLETED
11/05/20 CQT37(b)	Cr Youhorn Chea	Demolition of Old Springvale Library Building	Director Business,	18/05/20	Initial Response Provided 11/05/20:
		(b) When will the demolition of the old building start?	Engineering and Major		I do not have the details precisely on when the old library will be
			Projects		demolished. That has commenced with the removal of some services but I can get that confirmed for
Reports fro	m Councillors/Delega	Reports from Councillors/Delegates & Councillors' Questions - Questions Taken on Notice	Notice		22 / 25

Summary of Response Councillors tomorrow. It is now in the hands of the builder and they will be preparing to demolish the old library probably in the next couple of weeks. Further response provided 18/05/20: The demolition of the old Springvale Library is underway and expected to be complete by mid-June 2020.	Initial Response Provided 11/05/20: We have had a number of enquiries on this particular matter in the last three or four days and Kevin Van Boxtel, Manager Business and Revitalisation went on Friday afternoon to discuss a range of matters that were related to the operations of the Number 8 Balmoral Avenue carpark and a number of further questions need clarity. One of those is that particular matter that you have raised. My recollection is that it was not a successful item in the CIP budget bid but again, I need to seek clarification on that additional ramp that you mentioned. The other matter is investigating the outdoor signage. Currently, it indicates a number almost twice that of the number of outdoor car spaces that are available in the car park so I think that is misleading. That is a fault that we need to rectify.	23 / 25
Date of Completion	22/05/20	
Responsible Officer	Director Business, Engineering and Major Projects	lotice
Subject & Summary of Question	Ramp at No.8 Balmoral Carpark, Springvale At the moment the shopping centre carpark in Springvale is very quiet so we have plenty of time to perform upgrades. I have requested an additional ramp at the Number 8 Balmoral Avenue car park. There is a ramp from the first floor to the ground floor already, but I have requested another ramp from the second floor to the first floor. It is better if the exit and entrance is not congested and better for Council to add it. Will Council make these changes?	Reports from Councillors/Delegates & Councillors' Questions - Questions Taken on Notice
Question Asked By	Chea	m Councillors/Delega
Date of Council Meeting	11/05/20 CQT38	Reports fro

Summary of Response	There are many other things that we found are faulty such as a fire pipe that has been fixed on Saturday which was leaking water. There were a number of things that were looked at on Friday afternoon and I would say that probably at least 70 percent of them are now rectified but the matter that you raised, I need some extra time to investigate if that is a piece of work that we have identified for next year's City Improvement Program.	Further response provided 22/06/20: A CIP bid was prepared for consideration as part of the 2020/21 budget process for \$300,000 to construct a new ramp on level 2, as per the ramp recently constructed on level 1. A bid was also submitted for \$400,000 to construct barrier fencing in the car park to address safety issues, as per recent investments in the Thomas and Walker multideck car parks in Dandenong. The barrier fencing was supported and is included in the draft budget currently on exhibition. The additional ramp was not supported and hence is not included in the draft budget. Arrangements have been made to repair the faulty digital sign at the Balmoral Avenue entrance to the car	park which displays the number of vacant car spaces available in the 24 / 25
Date of Completion			
Responsible Officer			Votice
Subject & Summary of Question			Reports from Councillors/Delegates & Councillors' Questions – Questions Taken on Notice
Question Asked By			m Councillors/Delega
Date of Council Meeting			Reports fro

Summary of Response	car park. COMPLETED
ion	
Responsible Date of Officer	
Subject & Summary of Question	
Question Asked By	
Date of Council Meeting	

At the Ordinary meeting of Council on Monday, 24 March 2014, Council resolved to change the way Councillors and Public questions taken on notice are answered and recorded from 14 April 2014 meeting of Council onwards.

Reports from Councillors/Delegates & Councillors' Questions – Questions Taken on Notice

25 / 25

7	П	R	G	F١	JT	RI	IS	IN	ES:	S
/	u		GI.	L-1	<i>4</i> I	B	Ju	117		_

Nil.

The meeting closed at 8.11PM.

Confirmed: / /