



**GREATER  
DANDENONG**  
*City of Opportunity*

# **AGENDA**

**ORDINARY COUNCIL MEETING**

**MONDAY 12 AUGUST 2019**  
Commencing at 7:00 PM

**COUNCIL CHAMBERS**  
225 Lonsdale Street, Dandenong VIC 3175

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## **1 MEETING OPENING**

### **1.1 ATTENDANCE**

#### **Apologies**

Cr Angela Long (Leave of Absence)

Cr Jim Memeti (Leave of Absence)

### **1.2 OFFERING OF PRAYER**

As part of Council's commitment to recognising the cultural and spiritual diversity of our community, the prayer this evening will be offered by Mr Jasbir Singh Suropoda from the Sikh Community, a member of the Greater Dandenong Interfaith Network.

### **1.3 CONFIRMATION OF MINUTES OF PREVIOUS MEETING**

Ordinary Meeting of Council held 22 July 2019.

#### **Recommendation**

**That the minutes of the Ordinary Meeting of Council held 22 July 2019 be confirmed.**

## 1.4 ASSEMBLIES OF COUNCIL

The following assemblies of Council occurred in the period 18 July 2019 to 7 August 2019:

Date	Meeting Type	Councillors Attending	Councillors Absent	Topics Discussed & Disclosures of Conflict of Interest
22/07/19	Pre- Council Meeting	Roz Blades AM, Youhorn Chea, Tim Dark (part), Matthew Kirwan, Zaynoun Melhem, Sean O'Reilly, Maria Sampey (part), Loi Truong	Apologies - Angela Long, Jim Memeti, Sophie Tan	<ul style="list-style-type: none"><li>- National Homelessness Week being held from 4-10 August 2019 and Council holding an event in Harmony Square on 9 August.</li><li>- Update on future land acquisitions in relation to public open space.</li><li>- Proposed town planning application that the Minister will be considering in relation to land adjacent to the Dandenong Plaza.</li><li>- Proposed announcement by DHHS regarding a business in Springvale.</li><li>- Update on recent activities related to line-marking along Corrigan Road, Noble Park.</li><li>- Update on development in Coomoora Road, Noble Park.</li><li>- Agenda items for the Council Meeting of 22 July 2019.</li></ul>

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**1.4 ASSEMBLIES OF COUNCIL (Cont.)**

<b>Date</b>	<b>Meeting Type</b>	<b>Councillors Attending</b>	<b>Councillors Absent</b>	<b>Topics Discussed &amp; Disclosures of Conflict of Interest</b>
05/08/19	Councillor Briefing Session	Roz Blades AM (part), Youhorn Chea, Tim Dark (part), Matthew Kirwan, Zaynoun Melhem (part), Sean O'Reilly, Maria Sampey (part), Sophie Tan, Loi Truong	Apologies - Angela Long, Jim Memeti	<ul style="list-style-type: none"><li>- Community Support Grants Policy review.</li><li>- Update on the proposed Keysborough Community Services Hub.</li><li>- Options for the future of Council's old kinder site at Yarraman.</li><li>- Traffic management processes and consultations.</li><li>- Coomoora Road, Springvale South, school site redevelopment by Development Victoria.</li><li>- Update on the progress of the strategic south-east advanced waste processing business case timeline.</li><li>- Recent incident involving local two local football (soccer) clubs.</li><li>- Victorian Government's Chain of Parks scheme.</li><li>- Format of the proposed night market at Dandenong Market.</li><li>- Possible rebate schemes for pensioners for solar power in 2019-2020.</li><li>- Agenda items for the Council Meeting of 12 August 2019.</li></ul>

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**Recommendation**

**That the assemblies of Council listed above be noted.**

## **1.5 DISCLOSURES OF INTEREST**

Any interest that a Councillor or staff member has deemed to be significant and has disclosed as either a direct or an indirect interest is now considered to be a conflict of interest. Conflict of Interest legislation is detailed in sections 77A, 77B, 78, 78A-E & 79 of the Local Government Act 1989. This legislation can be obtained by contacting the Greater Dandenong Governance Unit on 8571 5216 or by accessing the Victorian Legislation and Parliamentary Documents website at [www.legislation.vic.gov.au](http://www.legislation.vic.gov.au).

If a Councillor discloses any interest in an item discussed at any Council Meeting (whether they attend or not) they must:

- complete a disclosure of interest form prior to the meeting.
- advise the chairperson of the interest immediately before the particular item is considered (if attending the meeting).
- leave the chamber while the item is being discussed and during any vote taken (if attending the meeting).

The Councillor will be advised to return to the chamber or meeting room immediately after the item has been considered and the vote is complete.

## **2 OFFICERS' REPORTS**

### **2.1 DOCUMENTS FOR SEALING**

File Id: A2683601  
Responsible Officer: Director Corporate Services

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#### **Report Summary**

Under the Victorian Local Government Act, each Council is a body corporate and a legal entity in its own right. Each Council must therefore have a common seal (like any corporate entity) that is an official sanction of that Council.

Sealing a document makes it an official document of Council as a corporate body. Documents that require sealing include agreements, contracts, leases or any other contractual or legally binding document that binds Council to another party.

#### **Recommendation Summary**

This report recommends that the listed documents be signed and sealed.

## **2.1 DOCUMENTS FOR SEALING (Cont.)**

### **Item Summary**

There are two [2] items being presented to Council's meeting of 12 August 2019 for signing and sealing as follows:

1. A letter of recognition to Kerry Hoy, Community Services for 30 years of service to the City of Greater Dandenong; and
2. A letter of recognition to Jannifer Golby, Corporate Services for 10 years of service to the City of Greater Dandenong.

### **Recommendation**

**That the listed documents be signed and sealed.**

## 2.2 DOCUMENTS FOR TABLING

### 2.2.1 Petitions and Joint Letters

File Id:	qA228025
Responsible Officer:	Director Corporate Services
Attachments:	Petitions and Joint Letters

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### Report Summary

Council receives a number of petitions and joint letters on a regular basis that deal with a variety of issues which have an impact upon the City.

Issues raised by petitions and joint letters will be investigated and reported back to Council if required.

A table containing all details relevant to current petitions and joint letters is provided in Attachment 1. It includes:

1. the full text of any petitions or joint letters received;
2. petitions or joint letters still being considered for Council response as pending a final response along with the date they were received; and
3. the final complete response to any outstanding petition or joint letter previously tabled along with the full text of the original petition or joint letter and the date it was responded to.

**Note: On occasions, submissions are received that are addressed to Councillors which do not qualify as petitions or joint letters under Council's current Meeting Procedure Local Law. These are also tabled.**

### **2.2.1 Petitions and Joint Letters (Cont.)**

#### **Petitions and Joint Letters Tabled**

Council received one new petition, no joint letters, no submissions and one petition update prior to the Council Meeting of 12 August 2019.

- A petition has been received via change.org from 219 signatories raising concerns in relation to the Draft WJ Turner Reserve Master Plan. This petition has been forwarded to the relevant Council Business Unit/s for consideration.

***N.B: Where relevant, a summary of the progress of ongoing change.org petitions and any other relevant petitions/joint letters/submissions will be provided in the attachment to this report.***

#### **Recommendation**

**That the listed items detailed in Attachment 1, and the current status of each, be received and noted.**

**2.2.1 Petitions and Joint Letters (Cont.)**

**DOCUMENTS FOR TABLING**

**PETITIONS AND JOINT LETTERS**

**ATTACHMENT 1**

**PETITIONS AND JOINT LETTERS**

**PAGES 3 (including cover)**

*If the details of the attachment are unclear please contact Governance on 8571 1000.*

**2.2.1 Petitions and Joint Letters (Cont.)**

Date Received	Petition Text (Prayer)	No. of Petitioners	Status	Responsible Officer Response
16/07/19	<p><u>PETITION FOR AN ADDITIONAL DOG PARK FOR SMALL DOGS</u></p> <p>I have spoken to Maria Sampey, Councillor for Silver Leaf Ward in Dandenong. She agrees with me that it would be a good idea to have an additional park for our smaller dogs.</p> <p>I am proposing for it to be alongside of the existing dog free area, being the smaller area between the existing dog park in the area up to the car park, as it is already fenced off around most of the area &amp; it is away from the BBQ area.</p> <p><i>NB: The petitioner has confirmed this request relates to the Dog Park at Tirhatuan Park, Dandenong North.</i></p>	20	Completed	<p>Tabled Council Meeting 22 July 2019</p> <p>16/07/19                      Acknowledgement letter sent to the author of the covering letter.</p> <p>16/07/19                      Referred to Director City Planning, Design and Amenity</p> <p>30/7/19                      Response to author.                      Council is currently reviewing its Dog Off-leash Strategy, part of which involves considering whether to expand areas where dogs can play off-leash in Greater Dandenong. Comments supporting this occurring in Tirhatuan Park will be taken in to account. It is envisaged that the strategy will be finalised in the coming months.</p>

*If the details of the attachment are unclear please contact Governance on 8571 1000.*

ORDINARY COUNCIL MEETING - AGENDA

2.2.1 Petitions and Joint Letters (Cont.)

Date Received	Petition Text (Prayer)	No of Petitioners	Status	Responsible Officer Response
06/08/19	<p><u>WJ TURNER RESERVE DRAFT MASTER PLAN – CALL FOR NEW COLLABORATIVE SOLUTION</u></p> <p>The Draft Masterplan for WJ Turner Reserve prepared by City Of Greater Dandenong (dated July 2019) fails to acknowledge the existing shared use by Silvertown Primary School, and other key stakeholders such as Silvertown Cricket Club, over 40 years, and severely limits the opportunities for the school to continue to use this space in a flexible way.</p> <p>Silvertown Primary School want our almost 500 students and broader school community to have full access to this space, and believe that many design elements of the Draft Plan limit this. How can inter-school sports football matches, cricket clinics, cross country, school athletics, annual Twilight Festival, movie nights and colour runs be accommodated with this self-limiting design? Why is a 2.5m path proposed directly across the space with exercise stations that will limit the activities that can take place?</p> <p>The reserve is the home of the Silvertown Cricket Club which has:</p> <ul style="list-style-type: none"> <li>- Junior playing list of up to 100 children supported by 150+ parents</li> <li>- Senior playing list of up to 60</li> <li>- 200+ attendees at Junior/Senior social functions</li> <li>- Community focused &amp; only CGD club who runs the following:                             <ul style="list-style-type: none"> <li>Winter School Holiday Program</li> <li>Multicultural Program Community Cup (involving local schools)</li> <li>Girls Cricket</li> <li>Women's Social Team</li> </ul> </li> </ul> <p>We are calling for a collaborative re-design of the Masterplan, incorporating input and serious consideration and regard for key stakeholders' who have a long history of shared use of the space including Silvertown Primary School and Silvertown Cricket Club.</p>	219	New	<p>Tabled Council Meeting 12 August 2019</p> <p>7/08/19 Acknowledgement letter sent to the author of the petition.</p> <p>7/08/19 Referred to Director City Planning, Design and Amenity</p>

*If the details of the attachment are unclear, please contact Governance on 8571 1000.*

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## 2.3 STATUTORY PLANNING APPLICATIONS

### 2.3.1 Town Planning Application - No. 81 Bowmore Road, Noble Park (Planning Application No. PLN19/0034)

File Id:	132750
Responsible Officer:	Director City Planning, Design and Amenity
Attachments:	Submitted Plans Location of Objectors Clause 22.09 Assessment Clause 52.06 Assessment Clause 55 Assessment

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#### Application Summary

Applicant:	Hybourne Pty Ltd
Proposal:	Development of the land for four (4) double storey dwellings
Zone:	General Residential Zone 1
Overlay:	No overlays
Ward:	Paperbark

This application has been brought to a Council meeting as it has received two (2) objections.

The application proposes the development of the land for four (4) double storey dwellings. Vehicle access to the site is proposed from Bowmore Road.

A permit is required under Clause 32.08-6 of the Greater Dandenong Planning Scheme to construct two or more dwellings on a lot.

#### Objectors Summary

The application was advertised to the surrounding area through the erection of a notice on-site and the mailing of notices to adjoining and surrounding owners and occupiers. Two (2) objections were received to the application. Issues raised generally relate to matters of:

- Visual bulk.
- Overshadowing.
- Privacy.
- Increased traffic.
- On-street car parking.

**2.3.1 Town Planning Application - No. 81 Bowmore Road, Noble Park (Planning Application No. PLN19/0034) (Cont.)****Assessment Summary**

As assessed, the current application is considered appropriate for approval. The subject site is located within close proximity to the Noble Park Activity Centre and Noble Park Train Station. The site is identified within the Future Character Area B – Incremental Change under Clause 22.09-3.5, which is expected to contain a greater proportion of well-designed and site responsive medium density infill development that respects the existing neighbourhood character.

The assessment included in this report navigates through the development's design and its response to the relevant policy and provisions of the Greater Dandenong Planning Scheme. Adequate car parking is proposed to be provided on-site for residents and access will be provided from Bowmore Road via a single-width crossover. Adequate space would be provided around each boundary of the site and within the front setback in order to establish substantial landscaping and canopy tree planting.

It is considered that the proposed development would contribute to housing diversity for this area through a well-designed, site responsive medium density development which is respectful of the surrounding area.

**Recommendation Summary**

As assessed, the proposal is consistent with and appropriately responds to the provisions of the Greater Dandenong Planning Scheme. The proposal appropriately responds to strategic policy for residential development in the area with this report recommending that the application be supported, and a **Notice of Decision** (which provides appeal rights to objectors) to grant a permit be issued containing the conditions as set out in the recommendation.

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**2.3.1 Town Planning Application - No. 81 Bowmore Road, Noble Park (Planning Application No. PLN19/0034) (Cont.)**

**Subject Site and Surrounds**

**Subject Site**

The subject site is located on the eastern side of Bowmore Road, Noble Park.

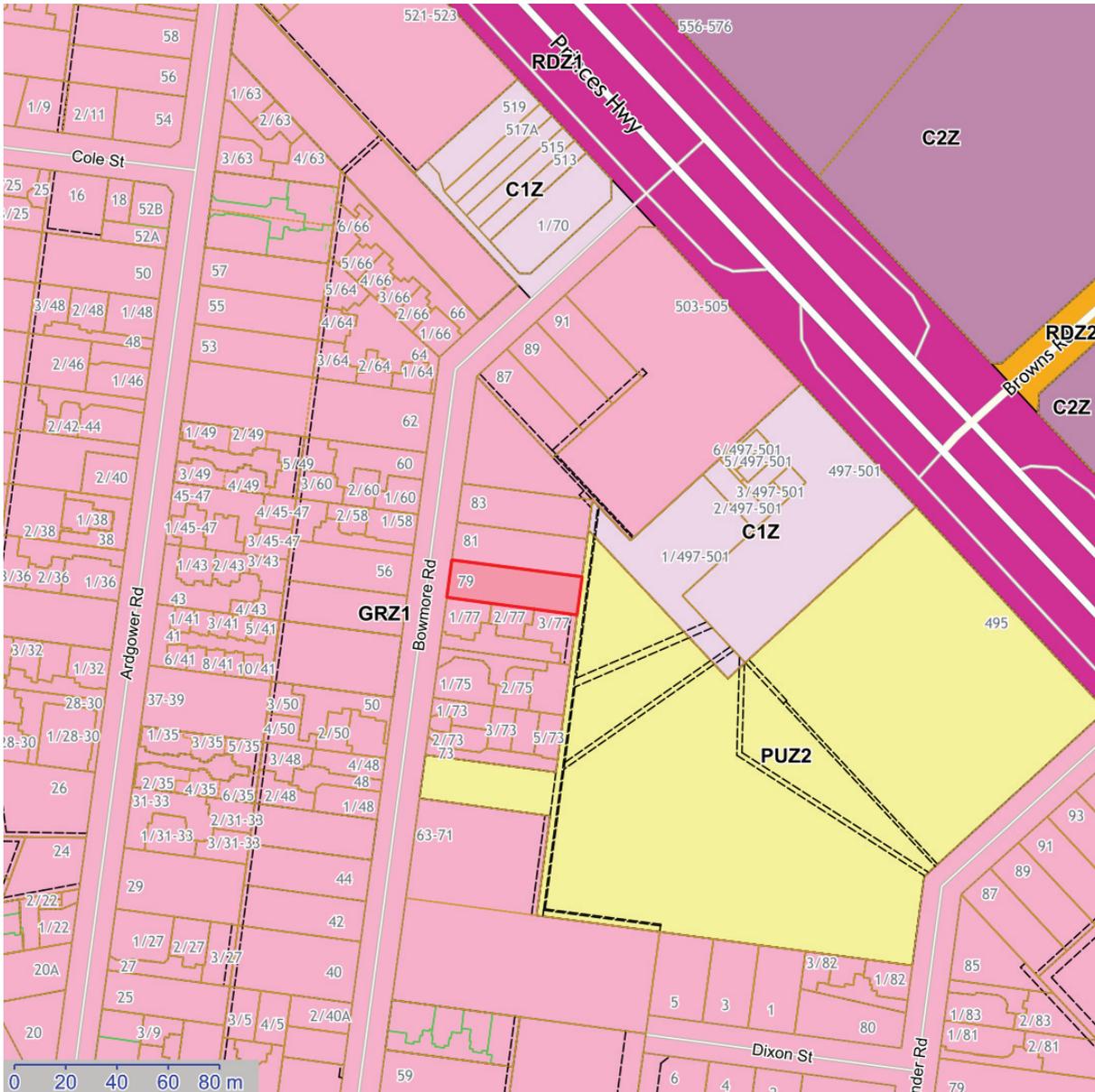
- The subject site has an area of approximately 789 square meters with a street frontage of 15.24m onto Bowmore Road, with a maximum side boundary length of 51.765m.
- The site currently contains a single storey dwelling with associated outbuildings.
- There is currently one crossover along Bowmore Road providing access to the subject site.
- The site is currently has low vegetation within the front setback of the dwelling.

**Surrounding Area**

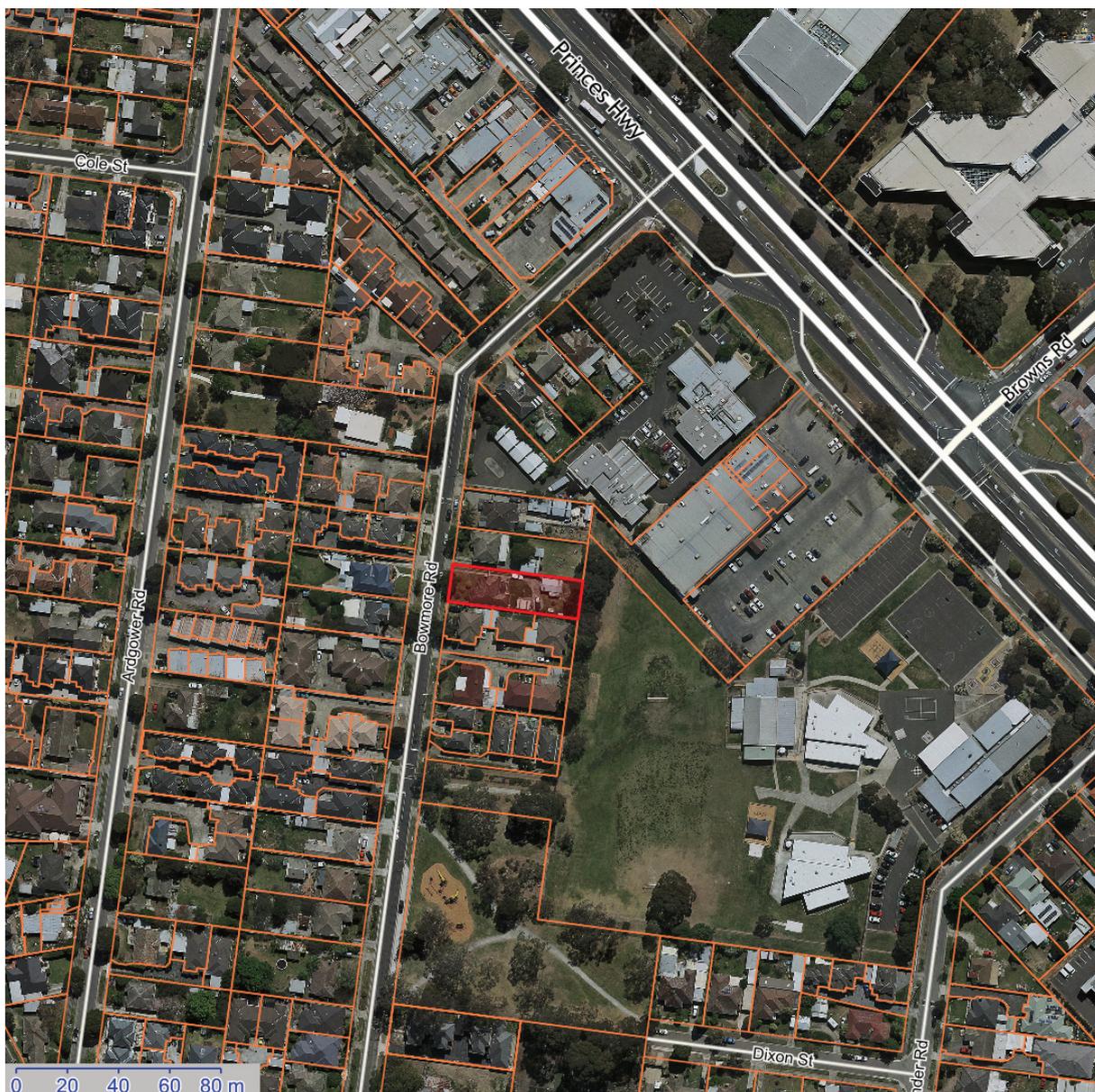
- The surrounding area consists mainly of single storey dwellings with a mix of double storey dwellings.
- The properties abutting the site are summarised as follows:
  - To the **east** is Harrisfield Primary School, with Harrisfield Shopping Centre and associated car parking beyond that.
  - To the **north** is a single storey dwelling with a funeral parlour and associated car parking beyond that.
  - To the **west** of Bowmore Road is a three unit double storey development.
  - To the **south** is a single storey dwelling.
- The site is located approximately 150 metres south of Princes Highway and 1.3 kilometres north of the Noble Park Train Station.
- There are several multi-unit developments on Bowmore Road at nearby sites:
  - No. 50 Bowmore Road – Four single storey dwellings.
  - No. 52 Bowmore Road – Two single storey dwellings.
  - No. 73 Bowmore Road – Five double storey dwellings.
  - No. 60, 75 & 77 Bowmore Road – Three single storey dwellings.

**2.3.1 Town Planning Application - No. 81 Bowmore Road, Noble Park (Planning Application No. PLN19/0034) (Cont.)**

Locality Plan



**2.3.1 Town Planning Application - No. 81 Bowmore Road, Noble Park (Planning Application No. PLN19/0034) (Cont.)**



**Background**

**Previous Applications**

A search of Council records revealed that Council has previously considered the following planning applications for the site:

- Planning Permit Application PLN18/0658 - Lapsed on 18/01/2019 for four (4) double storey dwellings.

**2.3.1 Town Planning Application - No. 81 Bowmore Road, Noble Park (Planning Application No. PLN19/0034) (Cont.)**

**Subject Application**

**Proposal**

The application proposes the development of the land for four (4) dwellings. The details of the proposal are as follows:

	<b>Details</b>
Type of proposal	Multi dwellings
Number of dwellings	Four (4)
Number of bedrooms	Dwelling 1: 2 bedroom Dwelling 2: 2 bedroom Dwelling 3: 2 bedroom Dwelling 4: 2 bedroom
Levels	Two storeys
Height	7.3 metre maximum
Oriented to	Bowmore Road
External materials	Brickwork, render and timber panel doors
Minimum setbacks	<u>Ground Floor:</u> North: Part wall on boundary, varying between 1.0m – 2.7m East: Varying between 1.0m – 1.7m South: Part wall on boundary, part 4.0m setback West: 7.5m (Street) excluding porch  <u>First Floor:</u> North: Varying between 2.0m – 3.5m East: Varying between 2.6m – 3.0m South: Varying between 2.0m – 4.2m West: 7.8m
Private open space type	Ground floor private open space:

**2.3.1 Town Planning Application - No. 81 Bowmore Road, Noble Park (Planning Application No. PLN19/0034) (Cont.)**

	<p>Dwelling 1 would have a 79.5m<sup>2</sup> front yard and a 42.9m<sup>2</sup> backyard for a total private open space provision of 122.4m<sup>2</sup>, in excess of the 50m<sup>2</sup> required for this dwelling. The secluded private open space area at the side of the dwelling would have an area of 30m<sup>2</sup> with a minimum dimension of 5m in both directions.</p> <p>Dwelling 2 would have a 50.5m<sup>2</sup> backyard, in excess of the minimum 50m<sup>2</sup> required for this dwelling. It would include a component of secluded private open space with an area of greater than 30m<sup>2</sup> with a minimum dimension of 5m in both directions.</p> <p>Dwelling 3 would have a 50.6m<sup>2</sup> backyard, in excess of the 50m<sup>2</sup> required for this dwelling. It would include a component of secluded private open space with an area greater than 30m<sup>2</sup> with a minimum dimension of 5m in both directions.</p> <p>Dwelling 4 would have a 51.1m<sup>2</sup> backyard, in excess of the 50m<sup>2</sup> required for this dwelling. It would include a component of secluded private open space with an area greater than 30m<sup>2</sup> with a minimum dimension of 5m in both directions.</p>
Number of Car parking Spaces provided	Four (4) single garages
Number of Car parking Spaces required	Four (4) car spaces
Type of car parking	Single garages
Access	Vehicle access is provided from Bowmore Road via a single width crossover
Front Fence	No front fence
Other	N/A

*A copy of the submitted plans is included as Attachment 1.*

**Victorian Charter of Human Rights and Responsibilities**

The Victorian Charter of Human Rights and Responsibilities has been considered in the preparation of this report but is not relevant to its contents.

**Financial Implications**

No financial resources are impacted by this report.

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**2.3.1 Town Planning Application - No. 81 Bowmore Road, Noble Park (Planning Application No. PLN19/0034) (Cont.)**

**Planning Scheme and Policy Frameworks**

Pursuant to the Greater Dandenong Planning Scheme, a planning permit is required:

- Under Clause 32.08-6 to construct two or more dwellings on a lot.

The relevant controls and policies are as follows:

**Zoning Controls**

The subject site is located in a General Residential Zone 1, as is the surrounding area.

The purpose of the General Residential Zone outlined at Clause 32.08 is:

- *To implement the Municipal Planning Strategy and the Planning Policy Framework.*
- *To encourage development that respects the neighbourhood character of the area.*
- *To encourage a diversity of housing types and housing growth particularly in locations offering good access to services and transport.*
- *To allow educational, recreational, religious, community and a limited range of other non-residential uses to serve local community needs in appropriate locations.*

Pursuant to Clause 32.08-6, a permit is required to construct two or more dwellings on a lot.

**Overlay Controls**

No overlays affect the subject site or surrounding area.

**State Planning Policy Framework**

There are a number of specific objectives contained within the Planning Policy Framework that need to be considered under this application, which follow.

*Settlement (Clause 11)*

Settlement is outlined at Clause 11, with Clause 11.02 relating to Managing Growth. Objectives of this Clause include:

- *To ensure a sufficient supply of land is available for residential, commercial, retail, industrial, recreational, institutional and other community uses.*
- *To facilitate the orderly development of urban areas.*
- *To manage the sequence of development in growth areas so that services are available from early in the life of new communities.*

*Built Environment and Heritage (Clause 15)*

Objectives of Clause 15.01 include:

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**2.3.1 Town Planning Application - No. 81 Bowmore Road, Noble Park (Planning Application No. PLN19/0034) (Cont.)**

- *To create urban environments that are safe, healthy, functional and enjoyable and that contribute to a sense of place and cultural identity.*
- *To create a distinctive and liveable city with quality design and amenity.*
- *To achieve building design outcomes that contribute positively to the local context and enhance the public realm.*
- *To ensure the design of subdivisions achieves attractive, safe, accessible, diverse and sustainable neighbourhoods.*
- *To achieve neighbourhoods that foster healthy and active living and community wellbeing.*
- *To recognise, support and protect neighbourhood character, cultural identity, and sense of place.*
- *To ensure development respects valued areas of rural character.*

*Housing (Clause 16)*

The objective of Clause 16.01-4 is 'to deliver more affordable housing closer to jobs, transport and services'.

**Local Planning Policy Framework**

The Local Planning Policy Framework (LPPF) includes the Municipal Strategic Statement (MSS) and Local Policies. The following local planning policies are of relevance to this application:

**Municipal Profile (Clause 21.02)**

The MSS at Clause 21.02 focuses on the Municipal Profile, within which the following is noted:

- *There is considerable diversity within Greater Dandenong's housing stock. Most housing stock is between 30 to 50 years old, though there are some areas with dwellings in excess of 100 years old. Areas of newer housing are located in the north-east and central southern areas, with in-fill development occurring across the municipality (Clause 21.02-3).*
- *Higher density housing is generally located in proximity to railway stations and major shopping centres, in particular in central Dandenong (Clause 21.02-3).*
- *There is a clear predominance of single detached dwellings within the municipality however there are a range of other dwelling types including dual occupancies, villa-units, townhouses and apartments. The highest concentration of older villa-units and apartments and more recent multi-dwelling redevelopment have occurred around central Dandenong, Springvale and Noble Park activity centres (Clause 21.02-4).*
- *Cultural influences have defined certain precincts with their own built form character, generally flat unarticulated facades, prominent balconies, limited front and side setbacks, and limited or no landscaping (Clause 21.02-4).*

*A Vision for Greater Dandenong (Clause 21.03)*

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**2.3.1 Town Planning Application - No. 81 Bowmore Road, Noble Park (Planning Application No. PLN19/0034) (Cont.)**

The vision is that Greater Dandenong will be a municipality where central Dandenong functions as the sustainable economic heart of the City where a range of high quality affordable high to medium density housing exists in harmony with a thriving retail and commercial sector and where sustainable modes of transport are highly accessible, and where housing diversity and choice is promoted in its various attractive neighbourhoods.

*Land Use (Clause 21.04)*

This policy highlights the forecast growth for Greater Dandenong and provides the following for new housing:

- *Ensuring new development takes into full account the neighbourhood character design guidelines for each type of building and that such new development positively contributes to the preferred future neighbourhood character of each particular residential area.*
- *Actively encouraging well designed, medium and higher density housing in strategic locations and in areas nominated for substantial change.*
- *Increases in housing density must be balanced by adequate provision of open space, good urban design and improvements to the public realm.*
- *Encourage new residential development that incorporates adequate space for the planting and the long term viability and safe retention of canopy trees.*
- *Respecting valued, existing neighbourhood character both on particular sites and within wider streetscapes.*

*Built form (Clause 21.05)*

This policy contains objectives and strategies for built form within the municipality. Most relevantly, they generally seek achievement of a high quality building design that has regard to its surrounds and is consistent with the preferred character of an area as well as encouraging the provision for landscaping in new developments.

Relevant objectives and their respective strategies include:

- *To facilitate high quality building design and architecture.*
- *Ensure building design is consistent with the preferred character of an area and fully integrates with surrounding environment.*
- *Encourage high standards of building design and architecture, which allows for flexibility and adaptation in use.*
- *Encourage innovative architecture and building design.*
- *To facilitate high quality development, which has regard for the surrounding environment and built form.*
- *Promote views of high quality landscapes and pleasing vistas from both the private and public realm.*
- *Promote all aspects of character – physical, environmental, social, and cultural.*
- *Encourage planting and landscape themes, which complement and improve the environment.*
- *Encourage developments to provide for canopy trees.*

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**2.3.1 Town Planning Application - No. 81 Bowmore Road, Noble Park (Planning Application No. PLN19/0034) (Cont.)**

- *To ensure landscaping that enhances the built environment.*
- *Encourage new developments to establish a landscape setting which reflects the local and wider landscape character.*
- *Encourage landscaping that integrates canopy trees and an appropriate mix of shrubs and ground covers and complements and integrates with existing or proposed landscaping in public areas.*

*Residential Development & Neighbourhood Character Policy (Clause 22.09)*

The objectives of this clause are as follows:

- *To guide the form of residential development that occurs in residential areas throughout Greater Dandenong, having regard to metropolitan policies and planning policies concerning urban form and housing, while respecting valued characteristics of residential neighbourhoods throughout the municipality.*
- *To promote a range of housing types, in appropriate locations, to accommodate the future needs of the municipality's changing population.*
- *To improve the quality and standard of residential development that occurs throughout Greater Dandenong and the quality, sustainability and standard of on-site landscaping provided in residential developments.*
- *To encourage high quality, creative and innovative design that makes a positive contribution to the streetscape.*
- *To encourage varied forms and intensities of residential development in appropriate locations throughout Greater Dandenong, having regard to metropolitan policies promoting urban consolidation and increased densities, and existing neighbourhood character.*
- *To encourage higher densities and forms of development in preferred strategic locations that have good access to existing public transport and the Proposed Public Transport Network (PPTN), commercial, community, educational and recreational facilities.*
- *To ensure that the siting and design of new residential development takes account of its interface with existing residential development on adjoining sites and responds to the individual circumstances of its site and streetscape it is located within.*
- *To implement the City of Greater Dandenong Neighbourhood Character Study (Sept 2007).*

Clause 22.09-3 provides design guidelines, some of which also relate to the variances to the requirements of standards to Clause 55 under the schedule to the zone. The guidelines consider matters such as: housing form; height; bulk; site coverage; permeable site area; front setback; side and rear setbacks; private open space; car parking; landscaping; and, front boundary treatment. The application has been assessed against this policy as detailed within the attached Clause 22.09-3 table. *An assessment against this clause is included as Attachment 3.*

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**2.3.1 Town Planning Application - No. 81 Bowmore Road, Noble Park (Planning Application No. PLN19/0034) (Cont.)**

**General Provisions**

*Car parking (Clause 52.06)*

**Clause 52.06 Car Parking** needs to be considered under the current application. The purposes of this provision are:

- *To ensure that car parking is provided in accordance with the Municipal Planning Strategy and Local Planning Policy Framework.*
- *To ensure the provision of an appropriate number of car parking spaces having regard to the demand likely to be generated, the activities on the land and the nature of the locality.*
- *To support sustainable transport alternatives to the motor car.*
- *To promote the efficient use of car parking spaces through the consolidation of car parking facilities.*
- *To ensure that car parking does not adversely affect the amenity of the locality.*
- *To ensure that the design and location of car parking is of a high standard, creates a safe environment for users and enables easy and efficient use.*

The site is not located within the Principal Public Transport Network (PPTN) and therefore the car parking rate of Column A in Table 1 under Clause 52.06-5 applies to the application.

An application must meet the Design Standards for car parking included at Clause 52.06-9.

*An assessment against this clause is included as Attachment 4.*

*Two or more dwellings on a lot and residential buildings (Clause 55)*

Pursuant to Clause 55 of the Greater Dandenong Planning Scheme, the provisions of this Clause apply to an application:

- To construct two or more dwellings on a lot; and
- To construct a dwelling if there is at least one dwelling existing on the lot.

The purpose of this clause is:

- *To implement the State Planning Policy Framework and the Local Planning Policy Framework, including the Municipal Strategic Statement and local planning policies.*
- *To achieve residential development that respects the existing neighbourhood character or which contributes to a preferred neighbourhood character.*
- *To encourage residential development that provides reasonable standards of amenity for existing and new residents.*
- *To encourage residential development that is responsive to the site and the neighbourhood.*

A development:

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**2.3.1 Town Planning Application - No. 81 Bowmore Road, Noble Park (Planning Application No. PLN19/0034) (Cont.)**

- Must meet all of the objectives of this clause.
- Should meet all of the standards of this clause.

An assessment of the application against this policy is contained at the end of this report. This clause only applies for developments of less than 5 storeys.

*Decision guidelines (Clause 65)*

Clause 65 – Decision Guidelines needs to be considered, as is the case with all applications. For this application the requirements of Clause 65.01 for the approval of an application or plan is of relevance. This Clause outlines the requirements that the responsible authority must consider when determining the application.

**Proposed Planning Scheme Amendments**

The application is not affected by any proposed Planning Scheme Amendments.

**Reference Documents**

- *City of Greater Dandenong: Neighbourhood Character Study 2009.*
- *Greater Dandenong Housing Strategy 2014-2024.*

**Restrictive Covenants**

There are no restrictions registered on the Title and no easements affecting the land.

**Council Plan 2017-2021 – Strategic Objectives, Strategies and Plans**

The Council Plan describes the kind of future the Council is working for, and how Council will do this over four years. In accordance with the commitment in Council's Annual Plan, all applications are considered on their merits.

**Diversity (Access & Equity)**

It is not considered that the proposal raises any diversity issues affecting the planning assessment of this application.

**Community Safety**

It is considered that there would be no adverse community safety implications in permitting the proposal subject to strict conditions on any planning permit issued.

**Safe Design Guidelines**

Consideration of the relevant requirements of these Guidelines has been undertaken within the Assessment of this application.

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**2.3.1 Town Planning Application - No. 81 Bowmore Road, Noble Park (Planning Application No. PLN19/0034) (Cont.)**

**Referrals**

The application was not required to be referred to any external referral authorities pursuant to Section 55 of the *Planning and Environment Act 1987*.

**Internal**

The application was internally referred to the following Council Departments for their consideration. The comments provided will be considered in the assessment of the application.

Council Referrals	Advice/Response/Conditions
Arborist	No concerns
Civil Development	No concerns subject to conditions
ESD/ Sustainability	No concerns subject to conditions
Transport Planning	No concerns subject to conditions

**Advertising**

The application has been advertised pursuant to Section 52 of the Planning and Environment Act 1987, by:

- Sending notices to the owners and occupiers of adjoining land.
- Placing one sign on site facing Bowmore Road.

The notification has been carried out correctly.

Council has received two objections to date.

*The location of the objectors is shown in Attachment 2.*

**Consultation**

A consultative meeting was not held due to the objectors being unable to attend the scheduled time. Therefore, the objections stand as received.

**Summary of Grounds of Submissions/Objections**

The objections are summarised below (**bold**), followed by the Town Planner's Response (in *italics*).

- **Visual bulk**

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**2.3.1 Town Planning Application - No. 81 Bowmore Road, Noble Park (Planning Application No. PLN19/0034) (Cont.)**

*The proposal would replace the existing single storey dwelling with four double storey dwellings. However, the proposed double storey development would be appropriate to the neighbourhood and the site due to its context. Harrisfield Primary School and Harrisfield Shopping Centre are located to the immediate east of the subject site. There are double storey dwellings to the rear at 58 Bowmore Road (across the road to the west) and 73 Bowmore Road (four properties away to south which also abuts Harrisfield Primary School). The upper level component of the development has separation between each dwelling, providing visual relief when viewing the development from the adjoining properties. The landscaping associated with the development will also soften the appearance of built form. The articulated elevations also assist in minimising the appearance of visual bulk.*

- **Overshadowing**

*The proposed built form is setback from the boundary as the proposed driveway is located adjoining the title boundary between the proposed site and No.79 Bowmore Road. The shadow diagrams submitted with the application demonstrate that the shadow cast on No.79 Bowmore Road is not greater than the shadow cast by the existing paling fence that separates the two properties. The development would not cause unreasonable overshadowing as guided by Standard B21, satisfying the objective of Clause 55.04-5 – Overshadowing open space.*

- **Privacy**

*All windows of the first floor facing No.79 Bowmore Road, Noble Park would have a sill height of 1.7 metres above the floor level and would have fixed obscure glazing to prevent any overlooking into the adjoining properties. The development would not cause unreasonable overlooking as guided by Standard B22, satisfying the objective of Clause 55.04-6 – Overlooking.*

- **Increased traffic**

*The proposed development would result in an intensification of the use of the land. The number of vehicles parked on-site would be four, which all utilize the common accessway. The site is accessed via Bowmore Road which is a Council collector road linking the Princes Highway to Kelvinside Road. Only residential properties access Bowmore Road. Considering the number of vehicle movements resulting from the development is not high, the increase in traffic generation is considered acceptable.*

- **On-street car parking**

*The development proposal would retain the existing crossover connected to Bowmore Road and does not increase the number of crossovers. The proposal is also compliant with the requirements for two bedroom dwellings, as each dwelling has been provided with a single garage. Therefore the development complies with the purpose of Clause 52.06 as it would not reduce on-street car parking and provides adequate on-site car parking.*

**Assessment**

**Development**

State and Local Planning Policy Framework

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**2.3.1 Town Planning Application - No. 81 Bowmore Road, Noble Park (Planning Application No. PLN19/0034) (Cont.)**

In considering State and Local Planning Policy, Council can establish that an acceptable proposal will be guided by Clause 55 *Two or more dwellings on a lot* and Clause 22.09 *Residential Development and Neighbourhood Character* of the Greater Dandenong Planning Scheme. Each of these components ensures that Council facilitates the orderly development of urban areas, which is a specific objective of Clause 11.02 *Settlement*.

The objectives of Clause 15.01 *Urban Environment* and Clause 21.05-1 *Built Form* outline the key considerations in which a development must respond to urban design, character, streetscapes and landscape issues. It is considered that the proposal would provide a high quality building design which has regard to the surrounding environment, with the proposal presenting articulated building elevations to each of the sites interfaces that accommodates adequate setbacks for substantial landscaping. The proposal's compliance with Clause 22.09 and Clause 55 ensures that the development would achieve the objectives of Clause 15.01 and 21.05-1.

Clause 22.09 Assessment

Clause 22.09 directs the preferred character for all residential development within the municipality. In the assessment of the proposal against the design principles at Clause 22.09-3.1, the development demonstrates a design response considerate of the site's context. The proposal also addresses the design principles of Clause 22.09-3.3 for Incremental Change Areas, including housing type, building height, bulk and built form and site design. The preferred housing type for Incremental Change Areas is medium to high density, which is characterised by well designed and site responsive medium density infill development that respects the existing neighbourhood character. An assessment against the design principles of Clause 22.09 is included at Attachment 3 of this report. The assessment has revealed the following key issues:

*Setbacks, front boundary and width*

The proposed development would provide a front setback which would be in keeping with the predominant street pattern. However the encroachment of the fence enclosing the private open space of Dwelling 1 into the development's front setback would intrude into the streetscape. This fence would be in line with the porch of Dwelling 1 nullifying its encroachment, however the roof structure above the gate entry would be an unnecessarily dominant element within the front boundary. It is recommended that the roof structure above the fence to Dwelling 1's private open space be deleted, as a condition of any permit issued (See condition 1.1).

*Bulk and built form*

The Incremental Change Area seeks a preferred residential character which limits the rearmost dwelling of a development to single storey, unless it can be established that the visual impact of a double storey dwelling at the rear would not adversely affect the character of the area or sensitive interfaces. In this instance, the rear double storey dwelling would be appropriate in this context for the following reasons.

- At the rear of the site is the far rear corner of the school site, which is not a sensitive interface.
- There are commercial properties to the north and east which encompasses extensive built form on these sites.

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**2.3.1 Town Planning Application - No. 81 Bowmore Road, Noble Park (Planning Application No. PLN19/0034) (Cont.)**

- The site to the south has a garage located on the shared boundary, which is not a sensitive interface.
- There is tree planting and open space located along the northern boundary of the development to soften the interface to the adjoining habitable room windows and private open space.
- The upper floor is well setback from all sensitive boundary interfaces.

The assessment has revealed that this proposal provides a design response which is consistent with the preferred character envisaged by Clause 22.09-3.3.

Clause 55 Assessment

A Clause 55 Assessment is attached to this report at Attachment 4. The proposal achieves compliance with each standard and objective of Clause 55.

**Car Parking**

Clause 52.06 Assessment

The car parking requirement under Clause 52.06-5 requires one car space for each two bedroom dwelling with one visitor car space to every five dwellings. The proposal would provide four car spaces, satisfying the car parking requirement of Clause 52.06-5 and the purposes of Clause 52.06.

The car parking spaces would be designed in accordance with Clause 52.06-9. Swept paths have been reviewed by Council's Transport Department who did not raise any concerns. The proposal has been assessed against the design guidelines of Clause 52.06-9 included at Attachment 4 of this report. The proposal complies with each of the design guidelines.

**Conclusion**

The proposed development would provide a design response which is consistent with the strategies and objectives of the Greater Dandenong Planning Scheme, including achieving compliance with the principles of Clause 22.09 and Clause 55, which demonstrates an appropriate design response for the site. The proposal would limit amenity impacts on the neighbouring properties thus respecting the existing character. The site is located within an Incremental Change Area with the proposed development contributing to the preferred character envisaged by the Planning Scheme. It is for these reasons that the proposal be recommended for approval.

**Recommendation**

**That Council resolves to issue a Notice of Decision to grant a permit in respect of the land known and described as No. 81 Bowmore Road Noble Park, for the development of the land for four (4) double storey dwellings in accordance with the plans submitted with the application, subject to the following conditions:**

**2.3.1 Town Planning Application - No. 81 Bowmore Road, Noble Park (Planning Application No. PLN19/0034) (Cont.)**

1. **Before the development starts, amended plans to the satisfaction of the Responsible Authority must be submitted to and approved by the Responsible Authority. The amended plans must be drawn to scale with dimensions provided. The amended plans must be generally in accordance with the plans submitted and assessed with the application but modified to show:**

- 1.1. **The roof structure above the fence to Dwelling 1's private open space deleted.**

**When approved, these plans will be endorsed and will form part of this permit.**

2. **Except with the prior written consent of the Responsible Authority, the layout of the land and the size, design and location of the buildings and works permitted must always accord with the endorsed plan and must not be altered or modified.**
3. **Except with the prior written consent of the Responsible Authority, the approved building must not be occupied until all buildings and works and the conditions of this permit have been complied with.**
4. **The provisions, recommendations and requirements of the landscape plan must be implemented and complied with to the satisfaction of the Responsible Authority.**  
**Landscaping in accordance with the endorsed landscaping plan and schedule must be completed before the building is occupied.**  
**At all times, the landscaping must be maintained in good order in accordance with the endorsed landscape plan and schedule to the satisfaction of the Responsible Authority.**
5. **The development must be constructed in accordance with the design initiatives and commitments included in the Sustainable Design Assessment. No alterations to the endorsed sustainable design assessment can be made without written consent from the responsible authority.**
6. **Provision must be made for the drainage of the site including landscaped and pavement areas, all to the satisfaction of the Responsible Authority.**
7. **The connection of the internal drainage infrastructure to the LPD must be to the satisfaction of the Responsible Authority.**

**2.3.1 Town Planning Application - No. 81 Bowmore Road, Noble Park (Planning Application No. PLN19/0034) (Cont.)**

- 8. Collected stormwater must be retained onsite and discharged into the drainage system at pre development peak discharge rates as stated in the LPD approval letter. Approval of drainage plan including any retention system within the property boundary is required.**
- 9. Prior to the drainage plans being approved, a plan checking fee of 0.75% and supervision fee of 2.5% of the estimated cost of works is to be paid to Council.**
- 10. Access to the site and any associated roadwork must be constructed, all to the satisfaction of the Responsible Authority. Note all existing vehicle crossing will need to be removed and reinstate with kerb in accordance with Council Standards.**
- 11. Before the approved building is occupied, all piping and ducting above the ground floor storey of the building, except downpipes, must be concealed to the satisfaction of the Responsible Authority.**
- 12. Except with the prior written consent of the Responsible Authority, floor levels shown on the endorsed plan/s must not be altered or modified.**
- 13. Before the approved building is occupied, the development must be provided with external lighting capable of illuminating access to each garage, car parking space and pedestrian walkway. Lighting must be located, directed and shielded to the satisfaction of the Responsible Authority so as to prevent any adverse effect outside the land.**
- 14. Before the approved building is occupied, the obscure glazing to the windows shown on the endorsed plans must be provided through frosted glass or similarly treated glass. Adhesive film or similar removable material must not be used.**  
**All glazing must at all times be maintained to the satisfaction of the Responsible Authority.**
- 15. Before the approved building is occupied, all boundary walls in the development must be constructed, cleaned and finished to the satisfaction of the Responsible Authority.**
- 16. This permit will expire if:-**
  - 16.1. The development or any stage of it does not start within two (2) years of the date of this permit, or**

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**2.3.1 Town Planning Application - No. 81 Bowmore Road, Noble Park (Planning Application No. PLN19/0034) (Cont.)**

- 16.2. The development or any stage of it is not completed within four (4) years of the date of this permit.**

**Before the permit expires or within six (6) months afterwards the owner or occupier of the land may in writing request the Responsible Authority to extend the expiry date.**

**The owner or occupier of the land may in writing request the Responsible Authority to extend the expiry date to complete the development or a stage of the development if:**

- (a) The request for the extension is made within twelve (12) months after the permit expires; and**
- (b) The development or stage started lawfully before the permit expired.**

**Permit Notes**

**A Building Approval is required prior to the commencement of the approved development. This planning permit does not constitute any building approval.**

**Approval of any retention system within the property boundary is required by the relevant building surveyor.**

**Any works undertaken within the road reservation and easements will require the developer to obtain a Civil Works Permit from Council.**

**Prior to works commencing the developer will need to obtain an Asset Protection Permit from Council.**

**Before commencement of the development occurs, the applicant should contact the City of Greater Dandenong's Civil Development and Design Unit regarding legal point of discharge, new crossings, building over easements, etc.**

**As this is an established site, the proposed internal drainage should be connected to the existing legal point of discharge. The applicant may apply for local drainage information, if available; otherwise on site verification should be undertaken by the applicant.**

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**2.3.1 Town Planning Application - No. 81 Bowmore Road, Noble Park (Planning Application No. PLN19/0034) (Cont.)**

**STATUTORY PLANNING APPLICATIONS**

**TOWN PLANNING APPLICATION – NO. 81 BOWMORE, NOBLE PARK  
(PLANNING APPLICATION NO. PLN19/0034)**

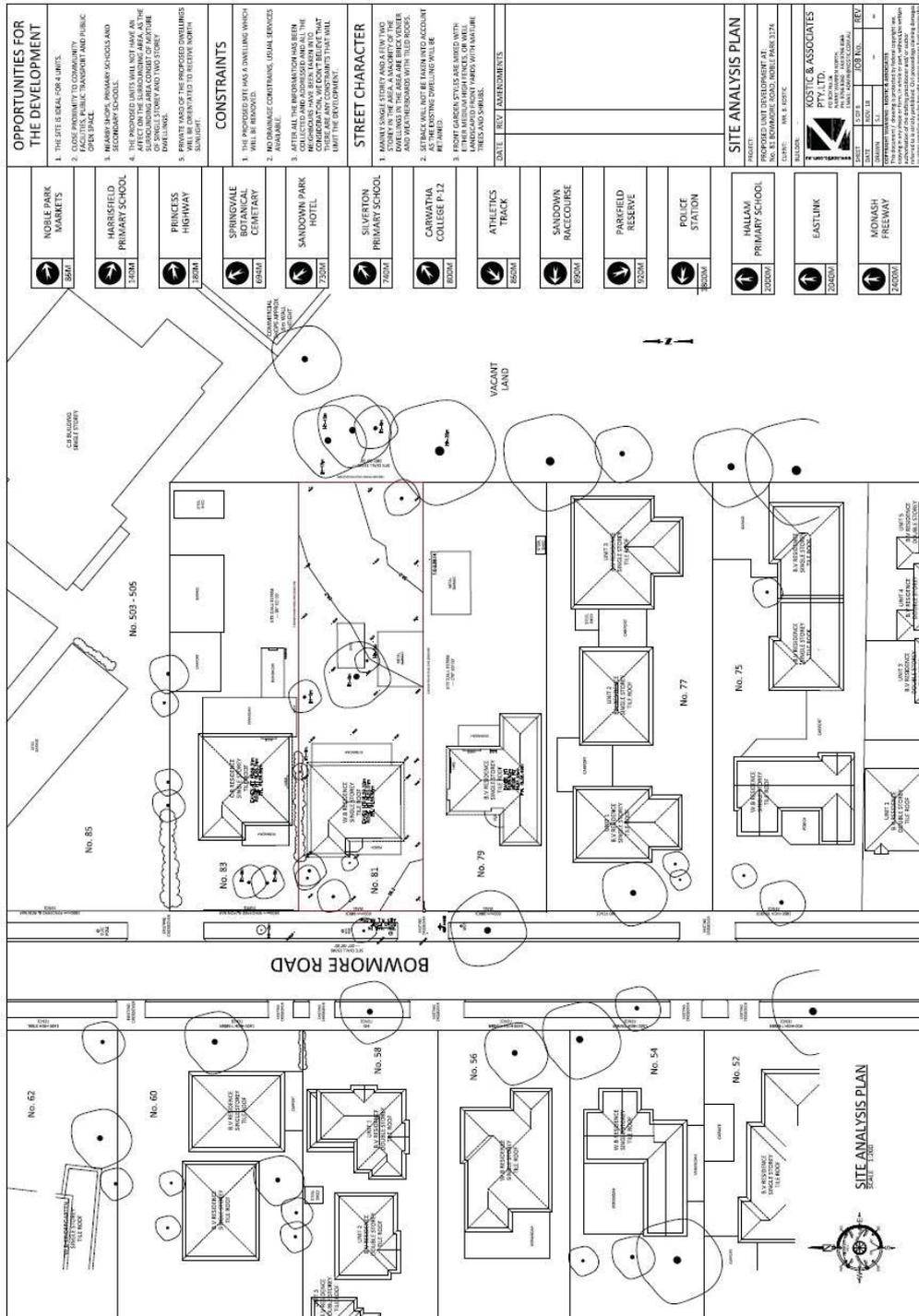
**ATTACHMENT 1**

**SUBMITTED PLANS**

**PAGES 12 (including cover)**

*If the details of the attachment are unclear please contact Governance on 8571 5235.*

**2.3.1 Town Planning Application - No. 81 Bowmore Road, Noble Park (Planning Application No. PLN19/0034) (Cont.)**



OPPORTUNITIES FOR THE DEVELOPMENT	
1. THE SITE IS IDEAL FOR LOTS.	
2. THE SITE IS SUITABLE FOR COMMERCIAL, INDUSTRIAL, PUBLIC, TRANSPORT AND PUBLIC OPEN SPACE.	
3. NEARBY SHOPS, PRIMARY SCHOOLS AND PUBLIC OPEN SPACE ARE BENEFICIAL TO THE SITE.	
4. THE PROPOSED DEVELOPMENT WILL NOT HAVE AN ADVERSE EFFECT ON THE SURROUNDING AREA AS THE PROPOSED DEVELOPMENT IS A SINGLE STOREY AND HAS A LOW PROFILE.	
5. PRIVATE WARD OF THE PROPOSED DEVELOPMENT IS SUITABLE TO RESIDE NEARBY.	

CONSTRAINTS	
1. THE PROPOSED SITE HAS A DRAINAGE WHICH WILL BE REMOVED.	
2. NO DRAINAGE CONSTRAINTS, UTILITIES SERVICES OR OVERHEAD POWER LINES ARE PRESENT ON THE SITE.	
3. ADHERE TO ALL THE REQUIREMENTS AND REGULATIONS OF THE LOCAL GOVERNMENT AND THE STATE GOVERNMENT. AT THE END OF THE PROJECT, THE SITE WILL BE LEFT IN A CLEAN AND SAFE CONDITION.	

STREET CHARACTER	
1. MAINLY SINGLE STOREY AND A FEW TWO STOREY IN THE AREA. A MAJORITY OF THE BUILDINGS ARE BRICK AND CONCRETE. THE BUILDINGS ARE WELL MAINTAINED WITH TILED ROOFS AND WOODEN SIDINGS.	
2. SETBACKS WILL NOT BE MAJOR INTO ACCOUNT AS THE EXISTING DWELLING WILL BE REMOVED.	
3. MOST OF THE EXISTING BUILDINGS ARE WOODEN WITH TILED ROOFS AND WOODEN SIDINGS.	

DATE 1 REVISIONS	
NO.	DESCRIPTION

SITE ANALYSIS PLAN	
PROPOSED UNIT DEVELOPMENT AT NO. 81 BOWMORE ROAD, NOBLE PARK 3174.	
CLIENT: MR. S. KOSTIC	
DESIGNER: KOSTIC & ASSOCIATES PTY. LTD.	
DATE: 22/07/19	
SCALE: 1:500	
PROJECT NO.: 19/0034	
DATE: 22/07/19	
SCALE: 1:500	
PROJECT NO.: 19/0034	

NEIGHBOURING PROPERTIES	
NOBLE PARK MARKETS (BRAT)	2500M
HARRISFIELD PRIMARY SCHOOL (SCHOOL)	2500M
PRINCCESS HIGHWAY (HIGHWAY)	1500M
SPRINGVALE BOTANICAL CEMETERY (CEMETERY)	2500M
SANDOWN PARK HOTEL (HOTEL)	2500M
SILVERTON PRIMARY SCHOOL (SCHOOL)	2500M
CARWATHA COLLEGE P-12 (SCHOOL)	2500M
ATHLETICS TRACK (TRACK)	2500M
SANDOWN RACECOURSE (RACECOURSE)	2500M
PARKFIELD RESERVE (RESERVE)	2500M
POLICE STATION (STATION)	2500M
HALLAM PRIMARY SCHOOL (SCHOOL)	2500M
EASTLINK (HIGHWAY)	2500M
MONASH FREEWAY (FREEWAY)	2500M

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2. THE SITE IS SUITABLE FOR COMMERCIAL, INDUSTRIAL, PUBLIC, TRANSPORT AND PUBLIC OPEN SPACE.	
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**2.3.1 Town Planning Application - No. 81 Bowmore Road, Noble Park (Planning Application No. PLN19/0034) (Cont.)**





**2.3.1 Town Planning Application - No. 81 Bowmore Road, Noble Park (Planning Application No. PLN19/0034) (Cont.)**

### 4 SOUTH ELEVATION

### 1 NORTH ELEVATION

### 3 EAST ELEVATION

### 2 WEST ELEVATION

### COLOURS AND MATERIAL SCHEDULE

EXTERNAL GROUND FLOOR WALLS	EXTERNAL FIRST FLOOR WALLS	PROPOSED ROOFING	CHIMNEAL COLOUR	SOFFIT, MEZZA - DOWNPIPS	ENTRY PORCH	BRICK PIER WITH DECORATIVE	FINISH AND SELECTED CLADDING	LIGHT GREY FINISH	GARAGE DOORS	SELECTED PANEL LIFT FLOORS	TIMBER FINISHES	WINDOWS	ALUMINIUM WINDOWS	ANDRICK GREY	PROPOSED DRIVEWAY	SEALED CONCRETE - GREY
AUTOFABRICK MELBOURNE SERIES - HARTWOOD COLOUR	REFINED CLADDING - OILME COLOUR	SELECTED TILE ROOF	CHARCOAL COLOUR	COLORBOND - MONTICUM COLOUR	BRICK PIER WITH DECORATIVE	FINISH AND SELECTED CLADDING	LIGHT GREY FINISH	SELECTED PANEL LIFT FLOORS	TIMBER FINISHES	ALUMINIUM WINDOWS	ANDRICK GREY	PROPOSED DRIVEWAY	SEALED CONCRETE - GREY			

**3D VIEWS**

**81 Bowmore Road Noble park**

**ELEVATIONS - 3D VIEWS**

**Date** 14 March 2019 **Project number** A-103

**Scale** 1:100 **Drawn by** P.D. **Revised by** B.

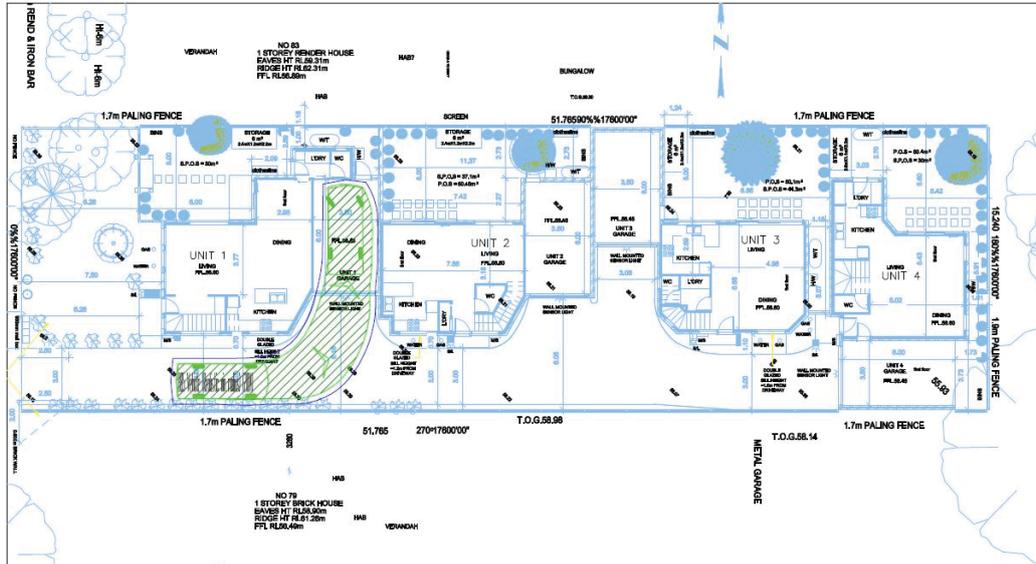
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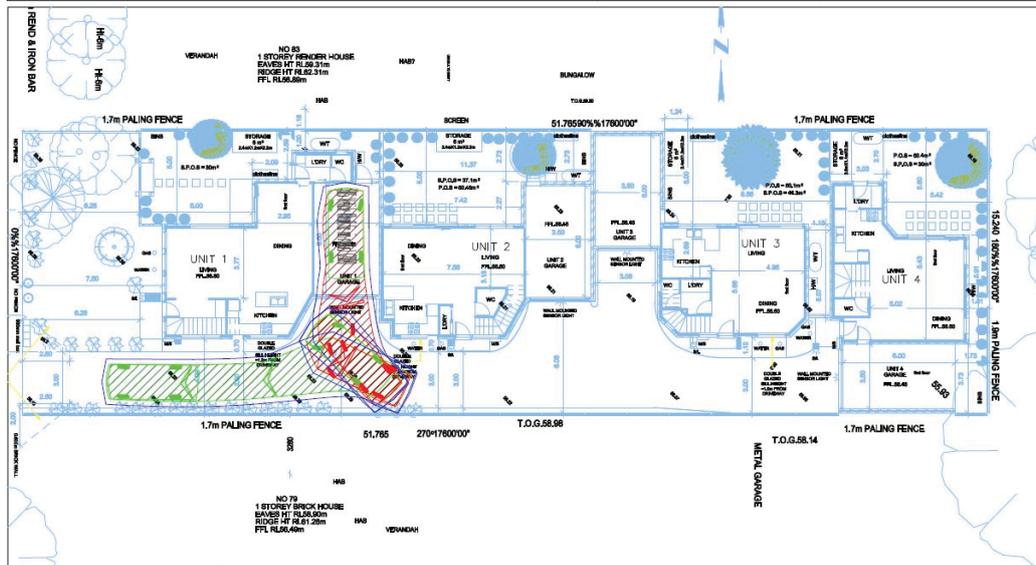
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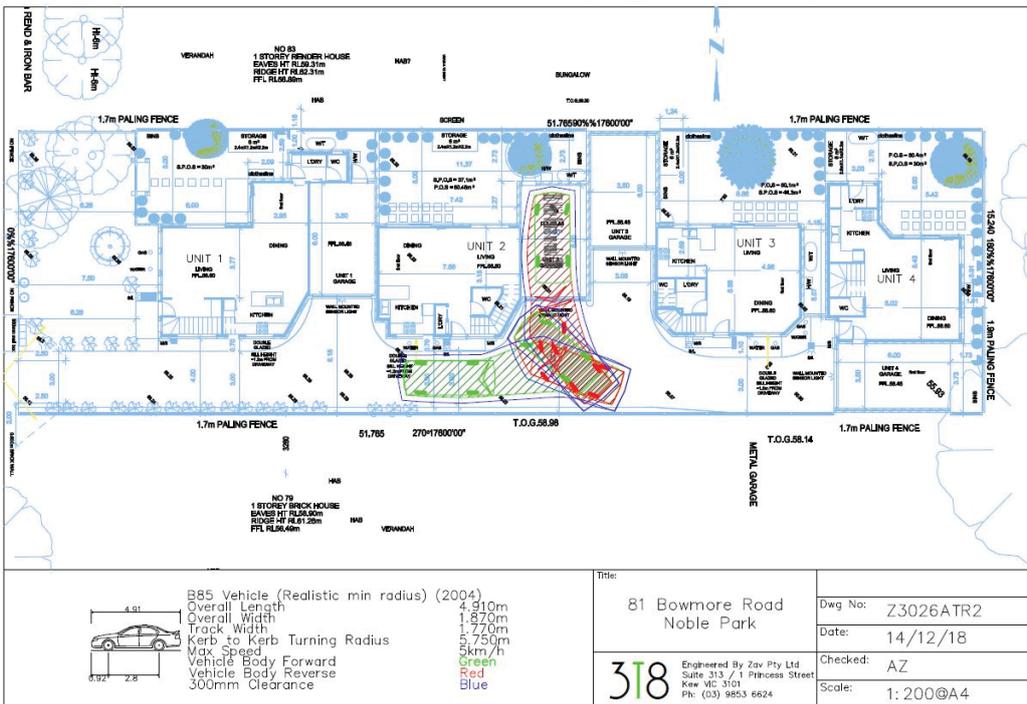
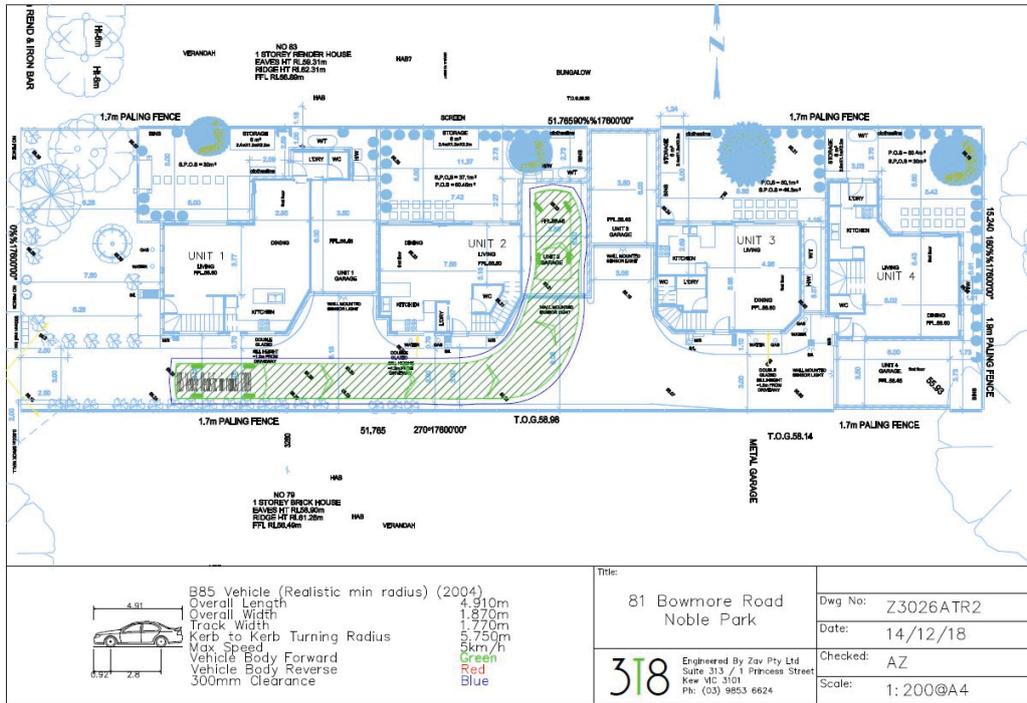


<p>B85 Vehicle (Realistic min radius) (2004)                  Overall Length 4.910m                  Overall Width 1.870m                  Track Width 1.770m                  Kerb to Kerb Turning Radius 5.750m                  Max Speed 57 km/h                  Vehicle Body Forward Green                  Vehicle Body Reverse Red                  Clearance 300mm Blue</p>	Title: 81 Bowmore Road Noble Park	Dwg No: Z3026ATR2 Date: 14/12/18
	Engineered By Zav Pty Ltd Suite 313 / 1 Princess Street New MC 3101 Ph: (03) 9853 6624	Checked: AZ Scale: 1:200@A4

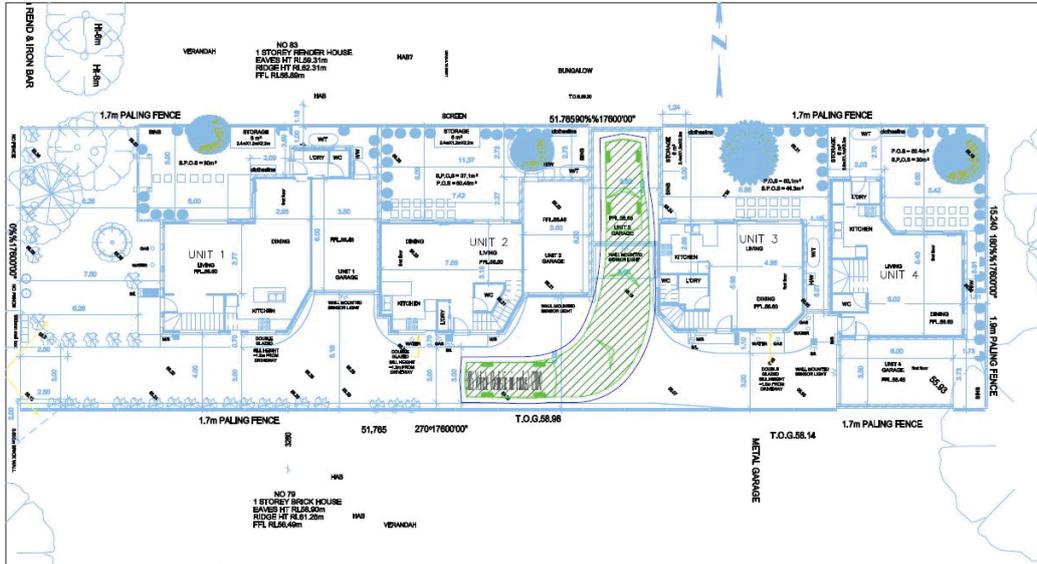


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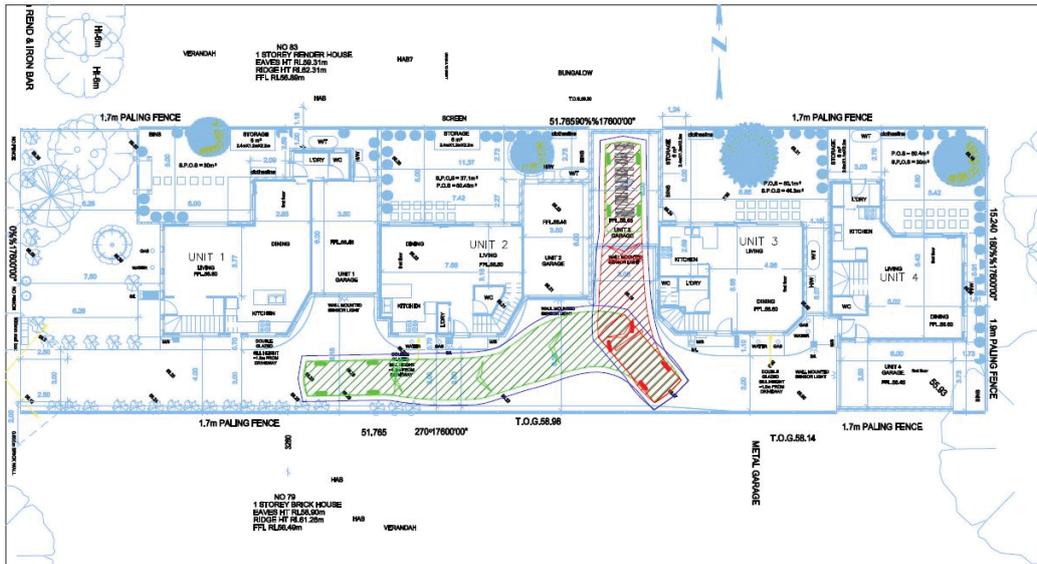
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**2.3.1 Town Planning Application - No. 81 Bowmore Road, Noble Park (Planning Application No. PLN19/0034) (Cont.)**

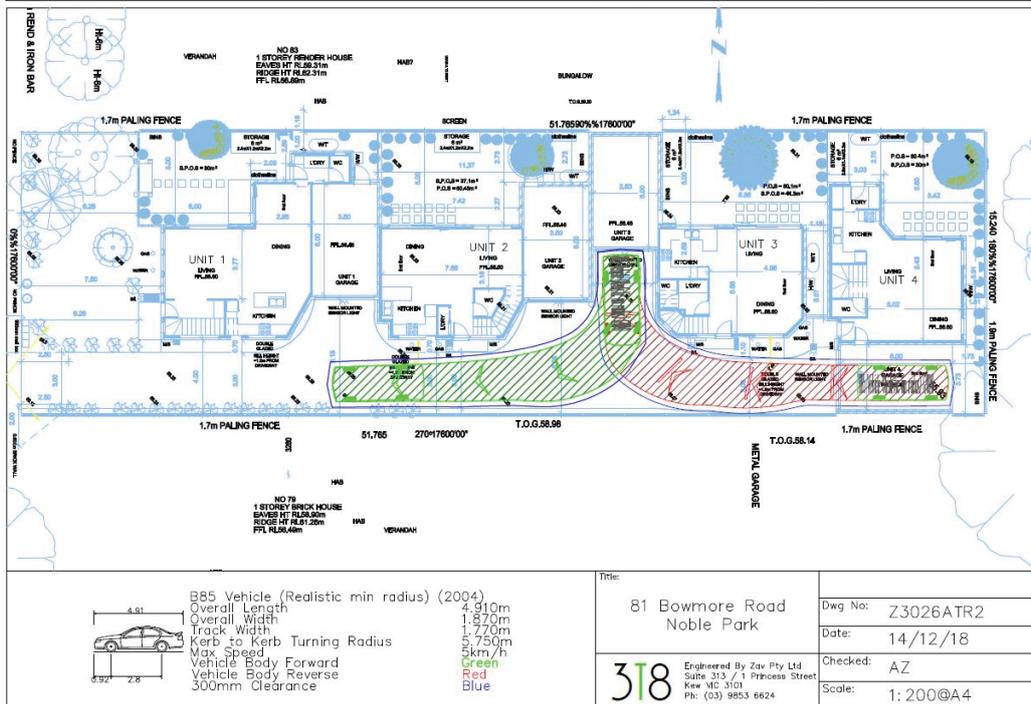
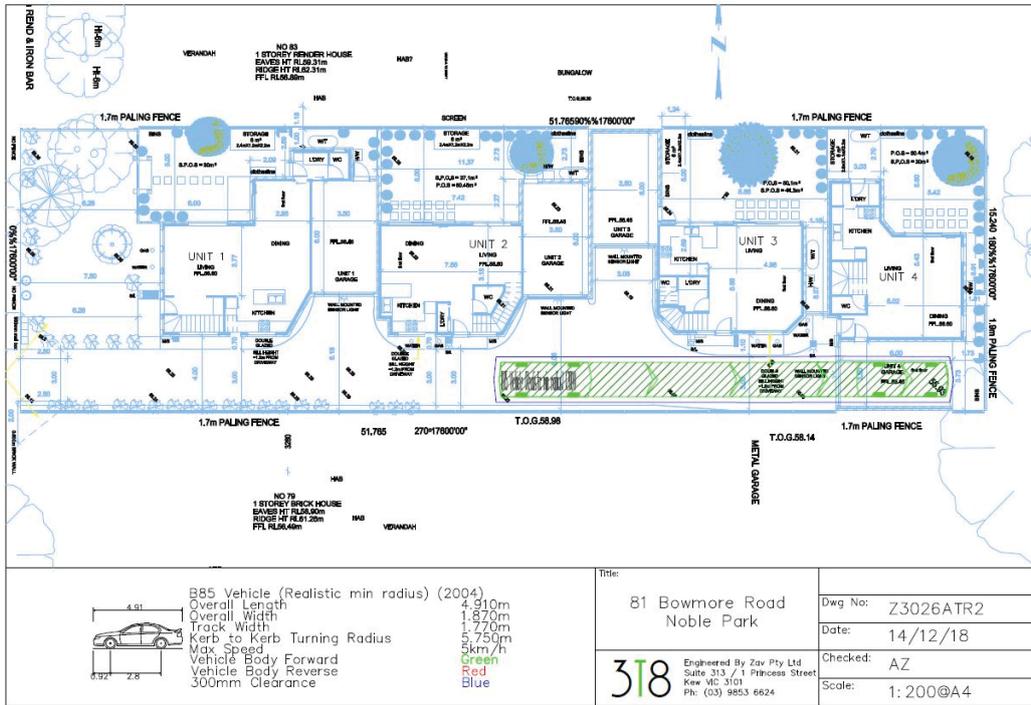


<p>B85 Vehicle (Realistic min radius) (2004)                  Overall Length 4.910m                  Overall Width 1.870m                  Track Width 1.770m                  Kerb to Kerb Turning Radius 5.750m                  Max Speed 50km/h                  Vehicle Body Forward Green                  Vehicle Body Reverse Red                  300mm Clearance Blue</p>	Title: 81 Bowmore Road Noble Park	Dwg No: Z3026ATR2 Date: 14/12/18
	3T8 Engineered By Zav Pty Ltd Suite 313 / 1 Princess Street Kew VIC 3101 Ph: (03) 9853 6624	Checked: AZ Scale: 1:200@A4



<p>B85 Vehicle (Realistic min radius) (2004)                  Overall Length 4.910m                  Overall Width 1.870m                  Track Width 1.770m                  Kerb to Kerb Turning Radius 5.750m                  Max Speed 50km/h                  Vehicle Body Forward Green                  Vehicle Body Reverse Red                  300mm Clearance Blue</p>	Title: 81 Bowmore Road Noble Park	Dwg No: Z3026ATR2 Date: 14/12/18
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**2.3.1 Town Planning Application - No. 81 Bowmore Road, Noble Park (Planning Application No. PLN19/0034) (Cont.)**



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**2.3.1 Town Planning Application - No. 81 Bowmore Road, Noble Park (Planning Application No. PLN19/0034) (Cont.)**

**STATUTORY PLANNING APPLICATIONS**

**TOWN PLANNING APPLICATION – NO. 81 BOWMORE, NOBLE PARK  
(PLANNING APPLICATION NO. PLN19/0034)**

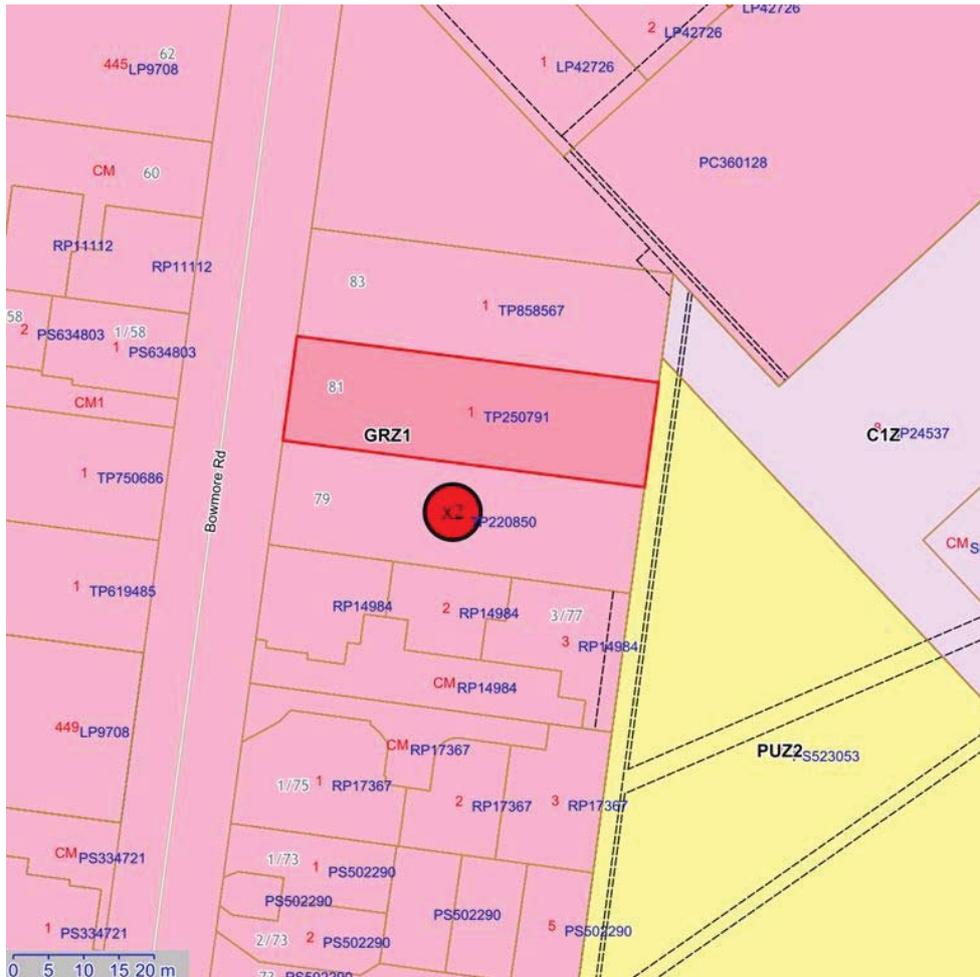
**ATTACHMENT 2**

**LOCATION OF OBJECTORS**

**PAGES 2 (including cover)**

*If the details of the attachment are unclear please contact Governance on 8571 5235.*

**2.3.1 Town Planning Application - No. 81 Bowmore Road, Noble Park (Planning Application No. PLN19/0034) (Cont.)**



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**2.3.1 Town Planning Application - No. 81 Bowmore Road, Noble Park (Planning Application No. PLN19/0034) (Cont.)**

**STATUTORY PLANNING APPLICATIONS**

**TOWN PLANNING APPLICATION – NO. 81 BOWMORE, NOBLE PARK  
(PLANNING APPLICATION NO. PLN19/0034)**

**ATTACHMENT 3**

**CLAUSE 22.09 ASSESSMENT**

**PAGES 9 (including cover)**

*If the details of the attachment are unclear please contact Governance on 8571 5235.*

**2.3.1 Town Planning Application - No. 81 Bowmore Road, Noble Park (Planning Application No. PLN19/0034) (Cont.)**

**Clause 22.09-3.1 Design Principles for all residential developments**

<p><b>Safety</b></p>	<p>To encourage the provision of safer residential neighbourhoods, new development should enable passive surveillance through designs that:</p> <p>Incorporate active frontages including ground floor habitable room windows.</p> <p>Maximise the number of habitable room windows on all levels of residential buildings that overlook the public realm, streets, laneways, internal access ways and car parking areas.</p> <p>Use semi-transparent fences to the street frontage.</p> <p>Light communal spaces including main entrances and car parking areas with high mounted sensor-lights.</p> <p>Ensure that all main entrances are visible and easily identifiable from the street.</p> <p>Locate non-habitable rooms such as bathrooms, away from entrances and street frontage.</p>	<p>✓ <b>Principle met</b> All four (4) dwellings would incorporate active frontages including ground floor habitable room windows.</p> <p>✓ <b>Principle met</b> The proposed development maximises the number of habitable room windows on all levels which would overlook the public realm, street, internal accessways and car parking areas.</p> <p>✓ <b>Principle met</b> No front fencing is proposed.</p> <p>✓ <b>Principle met</b> Mounted sensor lights above garages.</p> <p>✓ <b>Principle met</b> Each dwelling's main entrance would be visible and easily identifiable from the street.</p> <p>✓ <b>Principle met</b> Non-habitable rooms such as bathrooms are located away from entrances and street frontage.</p>
<p><b>Landscaping</b></p>	<p>Residential development should:</p> <p>Provide substantial, high quality on-site landscaping, including screen planting and canopy trees along ground level front and side and rear boundaries.</p> <p>Provide substantial, high quality landscaping along vehicular accessways.</p>	<p>✓ <b>Principle met</b> The proposed development would be capable of providing substantial, high quality on-site landscaping, including screen planting and canopy trees along the ground level western front boundary, northern side boundary and the eastern rear boundary.</p> <p>✓ <b>Principle met</b> The proposed development would be capable of providing substantial, high quality landscaping along the vehicular accessways.</p>

*If the details of the attachment are unclear please contact Governance on 8571 5235.*

ORDINARY COUNCIL MEETING - AGENDA

**2.3.1 Town Planning Application - No. 81 Bowmore Road, Noble Park (Planning Application No. PLN19/0034) (Cont.)**

<p>Include the planting of at least one substantial canopy tree to each front setback and ground level secluded private open space area.</p>	<p>✓ <b>Principle met</b> The proposed development would be able to include the planting of at least one substantial canopy tree to the front setback of Dwelling 1 and to each ground level secluded private open space area.</p>
<p>Planting trees that are common to and perform well in the area.</p>	<p>✓ <b>Principle met</b> The proposed development would be capable of planting trees that are common to and perform well in the area.</p>
<p>Avoid the removal of existing mature trees by incorporating their retention into the site design.</p>	<p>✓ <b>Principle met</b> The proposed development would avoid the removal of existing mature trees wherever possible.</p>
<p>Use landscaping to soften the appearance of the built form when viewed from the street and to respect the amenity of adjoining properties.</p>	<p>✓ <b>Principle met</b> The proposed development would be capable of using landscaping to soften the appearance of the built form when viewed from the street and to respect the amenity of adjoining properties.</p>
<p>Ensure that landscaping also addresses the Safety Design Principles.</p>	<p>✓ <b>Principle met</b> The proposed development would be capable of providing landscaping that addresses the Safety Design Principles.</p>
<p>Canopy trees should be planted in well proportioned setbacks/private open space that are sufficient to accommodate their future growth to maturity.</p>	<p>✓ <b>Principle met</b> The proposed development would be capable of providing canopy trees planted in well proportioned setbacks/private open space that would be sufficient to accommodate their future growth to maturity.</p>
<p>Landscaping should minimise the impact of increased storm water runoff through water sensitive urban design and reduced impervious surfaces.</p>	<p>✓ <b>Principle met</b> The proposed development would be capable of providing landscaping which would minimise the impact of increased storm water runoff through water sensitive urban design and reduced impervious surfaces.</p>
<p>Landscaping should be sustainable, drought tolerant, and include indigenous species and be supported through the provision of rainwater tanks.</p>	<p>✓ <b>Principle met</b> The proposed development would be capable of providing landscaping which would be sustainable, drought tolerant and include indigenous species. It would also be supported through the provision of rainwater tanks for each dwelling.</p>
<p>Car parking</p>	<p>✓ <b>Principle met</b> The application only proposed one crossover on a 15.24m wide frontage.</p>

ORDINARY COUNCIL MEETING - AGENDA

**2.3.1 Town Planning Application - No. 81 Bowmore Road, Noble Park (Planning Application No. PLN19/0034) (Cont.)**

	<p>On-site car parking should be:</p> <ul style="list-style-type: none"> <li>Well integrated into the design of the building,</li> <li>Generally hidden from view or appropriately screened where necessary,</li> <li>Located to the side or rear of the site so as to not dominate the streetscape and to maximise soft landscaping opportunities at ground level.</li> </ul> <p>Where car parking is located within the front setback it should be:</p> <ul style="list-style-type: none"> <li>Fully located within the site boundary, and</li> <li>Capable of fully accommodating a vehicle between a garage or carport and the site boundary.</li> </ul> <p>Developments with basement car parking should consider flooding concerns where applicable.</p>	<p>✓ <b>Principle met</b> On-site car parking would be well integrated into the design of the dwellings, generally hidden from view and located to the side or rear of the site so as to not dominate the streetscape and maximise soft landscaping opportunities at ground level.</p> <p>✓ <b>Principle met</b> No car parking is proposed within the front setback.</p> <p>✓ <b>Principle met</b> Basement car parking is not proposed.</p>
<p>Setbacks, front boundary and width</p>	<p>Residential developments should:</p> <p>Provide a front setback with fence design and height in keeping with the predominant street pattern.</p> <p>Maintain the apparent frontage width pattern.</p> <p>Provide appropriate side setbacks between buildings to enable screen planting where required, and at least one generous side setback to enable the retention of trees and/or the planting and future growth of trees to maturity.</p> <p>Provide open or low scale front fences to allow a visual connection between landscaping in front gardens and street tree planting.</p>	<p>✓ <b>Principle met</b> The proposed development would provide a front setback which would be in keeping with the predominant street pattern.</p> <p>✓ <b>Principle met</b> The apparent frontage width pattern would be maintained.</p> <p>✓ <b>Principle met</b> Appropriate side setbacks would be provided between buildings to enable screen planting and generous side setbacks are provided along the northern boundary to enable the planting and future growth of trees to maturity.</p> <p>✓ <b>Principle met</b> No front fencing is proposed.</p>
<p>Private open space</p>	<p>All residential developments should provide good quality, useable private open space for each dwelling directly accessible from the main living area.</p> <p>Ground level private open space areas should be able to accommodate boundary landscaping, domestic services and outdoor furniture so as to maximise the useability of the space.</p>	<p>✓ <b>Principle met</b> Each dwelling would provide good quality, useable private open space for each dwelling which would be directly accessible from the main living area.</p> <p>✓ <b>Principle met</b> Ground level private open space areas would be able to accommodate boundary landscaping, domestic services and outdoor furniture so as to maximise the useability of the space.</p>

ORDINARY COUNCIL MEETING - AGENDA

**2.3.1 Town Planning Application - No. 81 Bowmore Road, Noble Park (Planning Application No. PLN19/0034) (Cont.)**

	Private open space should be positioned to maximise solar access.	<b>✓ Principle met</b> Private open space would be positioned to maximise solar access.
	Upper floor levels of the same dwelling should avoid encroaching secluded private open space areas to ensure the solar access, useability and amenity of the space is not adversely affected.	<b>✓ Principle met</b> The upper floors of each dwelling would generally avoid encroaching over their respective secluded private open space areas.
	Upper level dwellings should avoid encroaching the secluded private open space of a separate lower level dwelling so as to ensure good solar access and amenity for the lower level dwelling.	<b>✓ Principle met</b> There are no upper level dwellings proposed above a separate lower level dwelling.
<b>Bulk &amp; Built Form</b>	All residential developments should respect the dominant façade pattern of the streetscape by: <ul style="list-style-type: none"> <li>Using similarly proportioned roof forms, windows, doors and verandahs; and</li> <li>Maintaining the proportion of wall space to windows and door openings.</li> </ul> Balconies should be designed to reduce the need for screening from adjoining dwellings and properties.	<b>✓ Principle met</b> The proposed dwellings would respect the dominant façade pattern of the streetscape by using similarly proportioned hipped roof forms, windows, doors and front porch and maintaining a similar proportion of wall space to windows and door openings.
	The development of new dwellings to the rear of existing retained dwellings is discouraged where: <ul style="list-style-type: none"> <li>The siting of the retained dwelling would not enable an acceptable future site layout for either the proposed or future dwelling; or</li> <li>The retention of the existing dwelling detracts from the identified future character.</li> </ul> On sites adjacent to identified heritage buildings, infill development should respect the adjoining heritage by: <ul style="list-style-type: none"> <li>Not exceeding the height of the neighbouring significant building;</li> <li>Minimising the visibility of higher sections of the new building; and</li> <li>Setting higher sections back at least the depth of one room from the frontage.</li> </ul> Residential development should:	<b>✓ Principle met</b> No balconies are proposed as part of this development. <b>✓ Principle met</b> The application does not propose to retain the existing dwelling. <b>✓ Principle met</b> The site is not adjacent to any identified heritage buildings.
<b>Site Design</b>		

ORDINARY COUNCIL MEETING - AGENDA

**2.3.1 Town Planning Application - No. 81 Bowmore Road, Noble Park (Planning Application No. PLN19/0034) (Cont.)**

<p>Preserve the amenity of adjoining dwellings through responsive site design that considers the privacy, solar access and outlook of adjoining properties.</p>	<p>✓ <b>Principle met</b> The proposed development would preserve the amenity of adjoining dwellings through a responsive site design that considers the privacy, solar access and outlook of adjoining properties.</p>	
<p>Maximise thermal performance and energy efficiency of the built form by addressing orientation, passive design and fabric performance</p>	<p>✓ <b>Principle met</b> The proposed development would maximise thermal performance and energy efficiency of the built form by addressing orientation and passive design.</p>	
<p>Ensure that building height, massing articulation responds sensitively to existing residential interfaces, site circumstances, setbacks and streetscape and reduces the need for screening.</p>	<p>✓ <b>Principle met</b> The proposed development would ensure that building height, massing and articulation responds sensitively to existing residential interfaces, site circumstances, setbacks and streetscape and reduces the need for screening.</p>	
<p>Provide sufficient setbacks (including the location of basements) to ensure the retention of existing trees and to accommodate the future growth of new trees.</p>	<p>✓ <b>Principle met</b> The proposed development would provide sufficient setbacks to accommodate the future growth of new trees.</p>	
<p>Provide suitable storage provisions for the management of operational waste</p>	<p>✓ <b>Principle met</b> Rubbish and recycling bins are shown for each dwelling.</p>	
<p>Appropriately located suitable facilities to encourage public transport use, cycling and walking.</p>	<p>✓ <b>Principle met</b> Bus route 800 runs along Princes Highway approximately 130m north-east of the subject site. Residents would be able to walk and cycle to and from the subject site.</p>	
<p><b>Materials &amp; Finishes</b></p>	<p>Residential development should:</p>	
	<p>Use quality, durable building materials and finishes that are designed for residential purposes.</p>	<p>✓ <b>Principle met</b> The proposed development would comprise of face brick at ground floor level and cladding at first floor level.</p>
	<p>Avoid the use of commercial or industrial style building materials and finishes.</p>	<p>✓ <b>Principle met</b> The proposed development would not include any commercial or industrial style building materials or finishes.</p>
	<p>Avoid using materials such as rendered cement sheeting, unarticulated surfaces and excessive repetitive use of materials.</p>	<p>✓ <b>Principle met</b> The proposed development would not include any rendered cement sheeting, unarticulated surfaces or excessive repetitive use of materials.</p>
	<p>Use a consistent simple palette of materials, colours finishes and architectural detailing.</p>	<p>✓ <b>Principle met</b> The proposed development would use a consistent simple palette of materials, colour finishes and architectural detailing.</p>

ORDINARY COUNCIL MEETING - AGENDA

**2.3.1 Town Planning Application - No. 81 Bowmore Road, Noble Park (Planning Application No. PLN19/0034) (Cont.)**

	<p>Maximise the ongoing affordability and sustainability of residential developments through the selection of low maintenance, resource and energy efficient materials and finishes that can be reasonably expected to endure for the life of the building.</p>	<p><b>✓ Principle met</b> The proposed development would maximise the ongoing affordability and sustainability of residential developments through selection of low maintenance, resource and energy efficient materials and finishes that can be reasonable expected to endure for the life of the building.</p>
Domestic services normal to a dwelling and Building services	<p>In order to minimise the impact of domestic and building services on the streetscape, adjacent properties, public realm and amenity of future residents, new residential development should:</p> <p>Ensure that all domestic and building services are visually integrated into the design of the building and appropriately positioned or screened so as to not be seen from the street or adjoining properties.</p>	<p><b>✓ Principle met</b> Domestic and building services could be visually integrated into the design of the development and appropriately positioned or screened so as not to be seen from the street or adjoining properties.</p>
	<p>Be designed to avoid the location of domestic and building services:</p> <ul style="list-style-type: none"> <li>• Within secluded private open space areas, including balconies; and</li> <li>• Where they may have noise impacts on adjoining habitable rooms and secluded private open space areas.</li> </ul>	<p><b>✓ Principle met</b> The proposed development could be designed to avoid the location of domestic and building services within secluded private open space areas and where they may have noise impacts on adjoining habitable rooms and secluded private open space areas.</p>
Internal Amenity	<p>Residential development should:</p>	
	<p>Ensure that dwelling layouts have connectivity between the main living area and private open space.</p>	<p><b>✓ Principle met</b> The proposed development would ensure that dwelling layouts have connectivity between the main living area and private open space.</p>
	<p>Be designed to avoid reliance on borrowed light to habitable rooms.</p>	<p><b>✓ Principle met</b> The proposed development has been designed to avoid reliance on borrowed light to habitable rooms.</p>
	<p>Ensure that balconies and habitable room windows are designed and located to reduce the need for excessive screening.</p>	<p><b>✓ Principle met</b> No balconies are proposed. Habitable room windows would be designed and located to reduce the need for excessive screening.</p>
	<p>Ensure that dwellings without ground level main living areas meet the Standards of Clauses 55.03-5, 55.04-1, 6 &amp; 7, 55.05-3, 4 &amp; 5.</p>	<p><b>✓ Principle met</b> No dwellings without ground level main living areas are proposed.</p>

ORDINARY COUNCIL MEETING - AGENDA

**2.3.1 Town Planning Application - No. 81 Bowmore Road, Noble Park (Planning Application No. PLN19/0034) (Cont.)**

**Clause 22.09-3.3 Design principles for Incremental Change Areas – General Residential Zone (GRZ)**

<b>Preferred housing type</b>	The preferred housing type for the Incremental Change Area is medium density.	<p>✓ <b>Principle met</b> The proposed development would be a medium density development.</p>
<b>Building Height</b>	The preferred maximum building height for land within the GRZ1 and GRZ2 is up to 2 storeys, including ground level.	<p>✓ <b>Principle met</b> The proposed development would be a maximum of two storeys in height, including ground level.</p>
<b>Landscaping</b>	Residential development should use landscaping to create a landscaped character, particularly canopy trees in front and rear gardens; and to protect the outlook of adjoining properties	<p>✓ <b>Principle met</b> The proposed development would be capable of using landscaping to create a landscape character, particularly canopy trees in front and rear gardens.</p>
<b>Setbacks, front boundary and width</b>	Parking, paving and car access within the front boundary setback should be limited in order to maximise the opportunity for soft landscaping and prevent the over dominance of carports and garages in the street.	<p>✓ <b>Principle met</b> Parking, paving and car access within the front setback would be limited to a single accessway which would maximise the opportunity for soft landscaping and prevent the over dominance of carports and garages in the street.</p>
<b>Private open space</b>	Residential development should provide secluded private open space at the side or rear of each dwelling to avoid the need for excessive screening or high front fencing.	<p>✓ <b>Principle met</b> The proposed development would provide secluded private open space at the side or rear of each dwelling to avoid the need for excessive screening or high front fencing.</p>
<b>Bulk &amp; Built Form</b>	Residential development should: Ensure that the built form respects the scale of existing prevailing built form character and responds to site circumstances and streetscape; Provide separation between dwellings at the upper level;	<p>✓ <b>Principle met</b> The proposed development would respect the scale of existing prevailing built form character and would respond to site circumstances and streetscape.</p>
	Retain spines of open space at the rear of properties to maximise landscaping opportunities and protect private secluded open space;	<p>✓ <b>Principle met</b> The proposal would provide at least 2.1 metres between each dwelling at first floor, providing adequate separation at the upper level.</p>
		<p>✓ <b>Principle met</b> There is no clear spine of open space at the rear of the properties on the eastern side of Bowmore Road.</p>

ORDINARY COUNCIL MEETING - AGENDA

**2.3.1 Town Planning Application - No. 81 Bowmore Road, Noble Park (Planning Application No. PLN19/0034) (Cont.)**

<p>Position more intense and higher elements of built form towards the front and centre of a site, transitioning to single storey elements to the rear of the lot.</p>	<p>✓ <b>Principle met</b> The four (4) proposed double storey dwellings would each have an upper level building footprint smaller than the ground floor. The built form would be evenly spread across the site with separation between each dwelling providing an appropriate design response to the neighbourhood and the site.</p>
<p>The rearmost dwelling on a lot should be single storey to ensure the identified future character of the area and the amenity of adjoining properties is respected by maximising landscaping opportunities and protecting adjoining private secluded open space.</p> <p>Two storey dwellings to the rear of a lot may be considered where:</p> <ul style="list-style-type: none"> <li>• The visual impact of the building bulk does not adversely affect the identified future character of the area;</li> <li>• Overlooking and/or overshadowing does not adversely affect the amenity of neighbouring properties;</li> <li>• The building bulk does not adversely affect the planting and future growth of canopy trees to maturity;</li> <li>• Sufficient side and rear boundary landscaping can be provided to screen adjoining properties;</li> <li>• Upper storey components are well recessed from adjoining sensitive interfaces.</li> </ul>	<p>✓ <b>Principle met</b> The rear double storey dwelling would be appropriate in this context for the following reasons:</p> <ul style="list-style-type: none"> <li>• At the rear of the site is the far rear corner of the school site, which is not a sensitive interface.</li> <li>• There are commercial properties to the north and east which encompasses extensive built form on these sites.</li> <li>• The site to the south has a garage located on the shared boundary, which is not a sensitive interface.</li> <li>• There is tree planting and open space located along the northern boundary of the development to soften the interface to the adjoining habitable room windows and private open space.</li> </ul>
<p>Residential development should be well articulated through the use of contrast, texture, variation in forms, materials and colours.</p>	<p>✓ <b>Principle met</b> The proposed development would be well articulated through the use of contrast, texture, variation in forms, materials and colours.</p>

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**2.3.1 Town Planning Application - No. 81 Bowmore Road, Noble Park (Planning Application No. PLN19/0034) (Cont.)**

**STATUTORY PLANNING APPLICATIONS**

**TOWN PLANNING APPLICATION – NO. 81 BOWMORE, NOBLE PARK  
(PLANNING APPLICATION NO. PLN19/0034)**

**ATTACHMENT 4**

**CAUSE 52.06 ASSESSMENT**

**PAGES 8 (including cover)**

*If the details of the attachment are unclear please contact Governance on 8571 5235.*

**2.3.1 Town Planning Application - No. 81 Bowmore Road, Noble Park (Planning Application No. PLN19/0034) (Cont.)**

**Clause 52.06-9 Design standards for car parking**  
 Plans prepared in accordance with Clause 52.06-8 must meet the design standards of Clause 52.06-9, unless the responsible authority agrees otherwise.  
 Design standards 1, 3, 6 and 7 do not apply to an application to construct one dwelling on a lot.

<b>Design standard 1 - Accessways</b>	Accessways must: <ul style="list-style-type: none"> <li>• Be at least 3 metres wide.</li> </ul>	✓ <b>Standard met</b> The proposed accessway would be a minimum of 3m wide along its entire length.
	<ul style="list-style-type: none"> <li>• Have an internal radius of at least 4 metres at changes of direction or intersection or be at least 4.2 metres wide.</li> </ul>	✓ <b>Standard met</b> The proposed accessway would be at least 4.2m wide at changes of direction.
	<ul style="list-style-type: none"> <li>• Allow vehicles parked in the last space of a dead-end accessway in public car parks to exit in a forward direction with one manoeuvre.</li> </ul>	✓ <b>Standard met</b> Vehicles associated with Dwelling 4 would be able to exit the site in a forward direction with one manoeuvre.
	<ul style="list-style-type: none"> <li>• Provide at least 2.1 metres headroom beneath overhead obstructions, calculated for a vehicle with a wheel base of 2.8 metres.</li> </ul>	✓ <b>Standard met</b> No overhead obstructions are proposed above the accessway.
	<ul style="list-style-type: none"> <li>• If the accessway serves four or more car spaces or connects to a road in a Road Zone, the accessway must be designed to that cars can exit the site in a forward direction.</li> </ul>	✓ <b>Standard met</b> The accessway would serve four car spaces and cars would be able to exit the site in a forward direction.
	<ul style="list-style-type: none"> <li>• Provide a passing area at the entrance at least 5 metres wide and 7 metres long if the accessway serves ten or more car parking spaces and is either more than 50 metres long or connects to a road in Road Zone.</li> </ul>	✓ <b>Standard met</b> A passing area is not required as less than 10 spaces are proposed.

ORDINARY COUNCIL MEETING - AGENDA

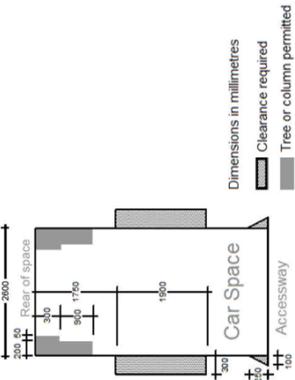
**2.3.1 Town Planning Application - No. 81 Bowmore Road, Noble Park (Planning Application No. PLN19/0034) (Cont.)**

	<ul style="list-style-type: none"> <li>Have a corner splay or area at least 50 percent clear of visual obstructions extending at least 2 metres along the frontage road from the edge of an exit lane and 2.5 metres along the exit lane from the frontage, to provide a clear view of pedestrians on the footpath of the frontage road. The area clear of visual obstructions may include an adjacent entry or exit lane where more than one lane is provided, or adjacent landscaped areas, provided the landscaping in those areas is less than 900mm in height.</li> </ul>	<p><b>✓ Standard met</b> A corner splay is shown along the frontage road from the edge of the exit lane for the accessway.</p>
	<p>If an accessway to four or more car parking spaces is from land in a Road Zone, the access to the car spaces must be at least 6 metres from the road carriageway.</p>	<p><b>✓ Standard met</b> Bowmore Road is not in a Road Zone.</p>
	<p>If entry to the car space is from a road, the width of the accessway may include the road.</p>	<p><b>✓ Standard met</b> The entry to the car spaces is not directly from the road.</p>

**2.3.1 Town Planning Application - No. 81 Bowmore Road, Noble Park (Planning Application No. PLN19/0034) (Cont.)**

<p><b>Design standard 2 – Car parking spaces</b></p>	<p>Car parking spaces and accessways must have the minimum dimensions as outlined in Table 2.</p> <p><b>Table 2: Minimum dimensions of car parking spaces and accessways</b></p> <table border="1"> <thead> <tr> <th>Angle of car parking spaces to access way</th> <th>Accessway width</th> <th>Car space width</th> <th>Car space length</th> </tr> </thead> <tbody> <tr> <td>Parallel</td> <td>3.6 m</td> <td>2.3 m</td> <td>6.7 m</td> </tr> <tr> <td>45°</td> <td>3.5 m</td> <td>2.6 m</td> <td>4.9 m</td> </tr> <tr> <td>60°</td> <td>4.9 m</td> <td>2.6 m</td> <td>4.9 m</td> </tr> <tr> <td>90°</td> <td>6.4 m</td> <td>2.6 m</td> <td>4.9 m</td> </tr> <tr> <td></td> <td>5.8 m</td> <td>2.8 m</td> <td>4.9 m</td> </tr> <tr> <td></td> <td>5.2 m</td> <td>3.0 m</td> <td>4.9 m</td> </tr> <tr> <td></td> <td>4.8 m</td> <td>3.2 m</td> <td>4.9 m</td> </tr> </tbody> </table> <p><i>Note to Table 2: Some dimensions in Table 2 vary from those shown in the Australian Standard AS2890.1-2004 (off street). The dimensions shown in Table 2 allocate more space to aisle widths and less to marked spaces to provide improved operation and access. The dimensions in Table 2 are to be used in preference to the Australian Standard AS2890.1-2004 (off street) except for disabled spaces which must achieve Australian Standard AS2890.6-2009 (disabled).</i></p>	Angle of car parking spaces to access way	Accessway width	Car space width	Car space length	Parallel	3.6 m	2.3 m	6.7 m	45°	3.5 m	2.6 m	4.9 m	60°	4.9 m	2.6 m	4.9 m	90°	6.4 m	2.6 m	4.9 m		5.8 m	2.8 m	4.9 m		5.2 m	3.0 m	4.9 m		4.8 m	3.2 m	4.9 m	<p><b>✓ Standard met</b></p> <p>No tandem car spaces are proposed.</p>
Angle of car parking spaces to access way	Accessway width	Car space width	Car space length																															
Parallel	3.6 m	2.3 m	6.7 m																															
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**2.3.1 Town Planning Application - No. 81 Bowmore Road, Noble Park (Planning Application No. PLN19/0034) (Cont.)**

	<p>A wall, fence, column, tree, tree guard or any other structure that abuts a car space must not encroach into the area marked 'clearance required' on Diagram 1, other than:</p> <ul style="list-style-type: none"> <li>• A column, tree or tree guard, which may project into a space if it is within the area marked 'tree or column permitted' on Diagram 1.</li> <li>• A structure, which may project into the space if it is at least 2.1 metres above the space.</li> </ul> <p><b>Diagram 1 Clearance to car parking spaces</b></p> 	<p>✓ <b>Standard met</b>                  No tandem car spaces are proposed.</p>
	<p>Car spaces in garages or carports must be at least 6 metres long and 3.5 metres wide for a single space and 5.5 metres wide for a double space measured inside the garage or carport.</p>	<p>✓ <b>Standard met</b>                  Each dwelling's single garage would be at least 6m long by 3.5m wide.</p>
	<p>Where parking spaces are provided in tandem (one space behind the other) an additional 500mm in length must be provided between each space.</p>	<p>✓ <b>Standard met</b>                  No tandem car spaces are proposed.</p>

ORDINARY COUNCIL MEETING - AGENDA

**2.3.1 Town Planning Application - No. 81 Bowmore Road, Noble Park (Planning Application No. PLN19/0034) (Cont.)**

	<p>Where two or more car parking spaces are provided for a dwelling, at least one space must be under cover.</p>	<p>✓ <b>Standard met</b> Each dwelling has only been provided with one (1) car space within a single garage.</p>													
	<p>Disabled car parking spaces must be designed in accordance with Australian Standard AS2890.6-2009 (disabled) and the Building Code of Australia. Disabled car parking spaces may encroach into an accessway width specified in Table 2 by 500mm.</p>	<p>✓ <b>Standard met</b> No disabled car parking spaces are proposed.</p>													
<p><b>Design standard 3: Gradients</b></p>	<p>Accessway grades must not be steeper than 1:10 (10 per cent) within 5 metres of the frontage to ensure safety for pedestrians and vehicles. The design must have regard to the wheelbase of the vehicle being designed for; pedestrian and vehicular traffic volumes; the nature of the car park; and the slope and configuration of the vehicle crossover at the site frontage. This does not apply to accessways serving three dwellings or less.</p>	<p>✓ <b>Standard met</b> The accessway would be relatively flat.</p>													
	<p>Ramps (except within 5 metres of the frontage) must have the maximum grades as outlined in Table 3 and be designed for vehicles travelling in a forward direction.</p> <p><b>Table 3: Ramp gradients</b></p> <table border="1" data-bbox="754 1003 927 1570"> <thead> <tr> <th>Type of car park</th> <th>Length of ramp</th> <th>Maximum grade</th> </tr> </thead> <tbody> <tr> <td rowspan="2">Public car parks</td> <td>20 metres or less</td> <td>1:5 (20%)</td> </tr> <tr> <td>longer than 20 metres</td> <td>1:6 (16.7%)</td> </tr> <tr> <td rowspan="2">Private or residential car parks</td> <td>20 metres or less</td> <td>1:4 (25%)</td> </tr> <tr> <td>longer than 20 metres</td> <td>1:5 (20%)</td> </tr> </tbody> </table>	Type of car park	Length of ramp	Maximum grade	Public car parks	20 metres or less	1:5 (20%)	longer than 20 metres	1:6 (16.7%)	Private or residential car parks	20 metres or less	1:4 (25%)	longer than 20 metres	1:5 (20%)	<p>✓ <b>Standard met</b> No ramps are proposed.</p>
Type of car park	Length of ramp	Maximum grade													
Public car parks	20 metres or less	1:5 (20%)													
	longer than 20 metres	1:6 (16.7%)													
Private or residential car parks	20 metres or less	1:4 (25%)													
	longer than 20 metres	1:5 (20%)													
	<p>Where the difference in grade between two sections of ramp or floor is greater than 1:8 (12.5 per cent) for a summit grade change, or greater than 1:6.7 (15 per cent) for a sag grade change, the ramp must include a transition section of at least 2 metres to prevent vehicles scraping or bottoming.</p>	<p>✓ <b>Standard met</b> No ramps are proposed.</p>													

ORDINARY COUNCIL MEETING - AGENDA

**2.3.1 Town Planning Application - No. 81 Bowmore Road, Noble Park (Planning Application No. PLN19/0034) (Cont.)**

	Plans must include an assessment of grade changes of greater than 1:5.6 (18 per cent) or less than 3 metres apart for clearances, to the satisfaction of the responsible authority.	✓ <b>Standard met</b> This is not relevant.
<b>Design standard 4: Mechanical parking</b>	Mechanical parking may be used to meet the car parking requirement provided: <ul style="list-style-type: none"> <li>At least 25 per cent of the mechanical car parking spaces can accommodate a vehicle clearance height of at least 1.8 metres.</li> <li>Car parking spaces that require the operation of the system are not allowed to visitors unless used in a valet parking situation.</li> <li>The design and operation is to the satisfaction of the responsible authority.</li> </ul>	✓ <b>Standard met</b> No mechanical parking is proposed.
		✓ <b>Standard met</b> No mechanical parking is proposed.
		✓ <b>Standard met</b> No mechanical parking is proposed.
		✓ <b>Standard met</b> No mechanical parking is proposed.
<b>Design standard 5: Urban design</b>	Ground level car parking, garage doors and accessways must not visually dominate public space.	✓ <b>Standard met</b> Ground level car parking, garage doors and the accessways would not visually dominate public space.
	Car parking within buildings (including visible portions of partly submerged basements) must be screened or obscured where possible, including through the use of occupied tenancies, landscaping, architectural treatments and artworks.	✓ <b>Standard met</b> Car parking within each dwelling's garage would be screened with a horizontal clad garage door.
	Design of car parks must take into account their use as entry points to the site.	✓ <b>Standard met</b> The proposed development does not include car parking at the entry point of the site.
<b>Design standard 6:</b>	Design of new internal streets in developments must maximise on street parking opportunities.	✓ <b>Standard met</b> The provision of one crossover to the Bowmore Road frontage of the site would maximise on street parking opportunities.
	Car parking must be well lit and clearly signed.	✓ <b>Standard met</b> The car parking area would be capable of being well lit.

ORDINARY COUNCIL MEETING - AGENDA

**2.3.1 Town Planning Application - No. 81 Bowmore Road, Noble Park (Planning Application No. PLN19/0034) (Cont.)**

<b>Safety</b>	<p>The design of car parks must maximise natural surveillance and pedestrian visibility from adjacent buildings.</p>	<p>✓ <b>Standard met</b> The design of the car parking area would maximise natural surveillance and pedestrian visibility from the adjacent dwellings.</p>
	<p>Pedestrian access to car parking areas from the street must be convenient.</p>	<p>✓ <b>Standard met</b> Pedestrian access to the car parking areas from the street would be via the common accessway.</p>
	<p>Pedestrian routes through car parking areas and building entries and other destination points must be clearly marked and separated from traffic in high activity parking areas.</p>	<p>✓ <b>Standard met</b> The accessway and car parking within the proposed development would not be high activity parking areas.</p>
<b>Design standard 7: Landscaping</b>	<p>The layout of car parking areas must provide for water sensitive urban design treatment and landscaping.</p>	<p>✓ <b>Standard met</b> The layout of the car parking area would provide for landscaping.</p>
	<p>Landscaping and trees must be planted to provide shade and shelter, soften the appearance of ground level car parking and aid in the clear identification of pedestrian paths.</p>	<p>✓ <b>Standard met</b> Landscaping and trees could be planted along the accessway to provide shade and shelter and soften the appearance of ground level car parking.</p>
	<p>Ground level car parking spaces must include trees planted with flush grilles. Spacing of trees must be determined having regard to the expected size of the selected species at maturity.</p>	<p>✓ <b>Standard met</b> Trees planted with flush grilles are not required for residential developments such as the current proposal.</p>

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**2.3.1 Town Planning Application - No. 81 Bowmore Road, Noble Park (Planning Application No. PLN19/0034) (Cont.)**

**STATUTORY PLANNING APPLICATIONS**

**TOWN PLANNING APPLICATION – NO. 81 BOWMORE, NOBLE PARK  
(PLANNING APPLICATION NO. PLN19/0034)**

**ATTACHMENT 5**

**CLAUSE 55 ASSESSMENT**

**PAGES 20 (including cover)**

*If the details of the attachment are unclear please contact Governance on 8571 5235.*

**2.3.1 Town Planning Application - No. 81 Bowmore Road, Noble Park (Planning Application No. PLN19/0034) (Cont.)**

**ASSESSMENT – CLAUSE 55**

**Clause 55.02-1 Neighbourhood character**

<p><b>Standard B1</b></p>	<p>The design response must be appropriate to the neighbourhood and the site.</p>	<p>✓ <b>Standard met</b> The proposed four (4) double storey dwellings would be appropriate to the neighbourhood and the site. Harrisfield Primary School and Harrisfield Shopping Centre are located to the immediate east of the subject site. There are double storey dwellings to the rear at 58 Bowmore Road (across the road to the west) and 73 Bowmore Road (four properties away to south which also abuts Harrisfield Primary School).</p>
	<p>The proposed design response must respect the existing or preferred neighbourhood character and respond to the features of the site.</p>	<p>✓ <b>Standard met</b> The proposed four (4) double storey dwellings would respect the existing and preferred neighbourhood character and respond to the features of the site.</p>

**Clause 55.02-2 Residential policy objectives**

<p><b>Standard B2</b></p>	<p>An application must be accompanied by a written statement to the satisfaction of the responsible authority that describes how the development is consistent with any relevant policy for housing in the SPPF and the LPPF, including the MSS and local planning policies.</p>	<p>✓ <b>Standard met</b> A Planning Report was submitted with the application.</p>
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**Clause 55.02-3 Dwelling diversity objective**

<p><b>Standard B3</b></p>	<p>Developments of ten or more dwellings should provide a range of dwelling sizes and types, including:</p> <ul style="list-style-type: none"> <li>• Dwellings with a different number of bedrooms.</li> <li>• At least one dwelling that contains a kitchen, bath or shower, and a toilet and wash basin at ground floor level.</li> </ul>	<p>✓ <b>Standard met</b> The proposed development is for only four (4) dwellings.</p>
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**Clause 55.02-4 Infrastructure objectives**

<p><b>Standard B4</b></p>	<p>Development should be connected to reticulated services, including reticulated sewerage, drainage, electricity and gas, if available.</p>	<p>✓ <b>Standard met</b> The proposed development would be connected to reticulated services in this established residential area.</p>
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*If the details of the attachment are unclear, please contact Governance on 8571 5235.*

ORDINARY COUNCIL MEETING - AGENDA

**2.3.1 Town Planning Application - No. 81 Bowmore Road, Noble Park (Planning Application No. PLN19/0034) (Cont.)**

<p>Development should not unreasonably exceed the capacity of utility services and infrastructure, including reticulated services and roads.</p>	<p>Development should not unreasonably exceed the capacity of utility services and infrastructure.</p>	<p><b>✓ Standard met</b> The proposed development of the site for four (4) dwellings would not unreasonably exceed the capacity of utility services and infrastructure.</p>
<p>In areas where utility services or infrastructure have little or no spare capacity, developments should provide for the upgrading of or mitigation of the impact on services or infrastructure.</p>	<p><b>✓ Standard met</b> There is no evidence to suggest that the subject site is located in an area where utility services or infrastructure have little or no spare capacity.</p>	<p><b>✓ Standard met</b> Each dwelling would have vehicle and pedestrian access via the common accessway.</p>
<p><b>Clause 55.02-5 Integration with the street objective</b></p>		
<p><b>Standard B5</b></p>	<p>Developments should provide adequate vehicle and pedestrian links that maintain or enhance local accessibility.</p>	<p><b>✓ Standard met</b> Dwelling 1 would front Bowmore Road to the west, whilst the other dwellings would front the common accessway.</p>
<p>Developments should be oriented to front existing and proposed streets.</p>	<p><b>✓ Standard met</b> Dwelling 1 would front Bowmore Road to the west, whilst the other dwellings would front the common accessway.</p>	<p><b>✓ Standard met</b> No front fencing is proposed. The secluded private open space of Dwelling 1 would have a 1.8m high fence (25% translucent) which would encroach into the front setback by approximately 1.2m to allow for a 30sqm secluded private open space with a minimum dimension of 5m. This would be in line with the front porch of Dwelling 1 which is an allowable encroachment as long as the maximum height does not exceed 3.6m.</p>
<p>High fencing in front of dwellings should be avoided if practicable.</p>	<p><b>✓ Standard met</b> The subject site does not adjoin any public open space.</p>	<p><b>✓ Standard met</b> The subject site does not adjoin any public open space.</p>
<p><b>Clause 55.03-1 Street setback objective</b></p>		
<p><b>Standard B6</b></p>	<p>Walls of buildings should be set back from streets at least the distance specified in a schedule to the zone: <b>GRZ: 7.5 metres or as per Table B1, whichever is the lesser.</b></p>	<p><b>✓ Standard met</b> Dwelling 1 would have a front setback from Bowmore Road of 7.5m.</p>

**2.3.1 Town Planning Application - No. 81 Bowmore Road, Noble Park (Planning Application No. PLN19/0034) (Cont.)**

Table B1 Street setback		
Development context	Minimum setback from front street (metres)	Minimum setback from a side street (metres)
There is an existing building on both the abutting allotments facing the same street, and the site is not on a corner.	The average distance of the setbacks of the front walls of the existing buildings on the abutting allotments facing the front street or 9 metres, whichever is the lesser.	Not applicable
There is an existing building on one abutting allotment facing the same street, and no existing building on the other abutting allotment facing the same street, and the site is not on a corner.	The same distance as the setback of the front wall of the existing building on the abutting allotment facing the front street or 9 metres, whichever is the lesser.	Not applicable
There is no existing building on either of the abutting allotments facing the same street, and the site is not on a corner.	6 metres for streets in a Road Zone, Category 1, and 4 metres for other streets.	Not applicable
The site is on a corner.	If there is a building on the abutting allotment facing the front street, the same distance as the setback of the front wall of the existing building on the abutting allotment facing the front street or 9 metres, whichever is the lesser.  If there is no building on the abutting allotment facing the front street, 6 metres for streets in a Road Zone, Category 1, and 4 metres for other streets.	Front walls of new development fronting the side street of a corner site should be setback at least the same distance as the setback of the front wall of any existing building on the abutting allotment facing the side street or 3 metres, whichever is the lesser.  Side walls of new development on a corner site should be setback the same distance as the setback of the front wall of any existing building on the abutting allotment facing the side street or 2 metres, whichever is the lesser.

**Clause 55.03-2 Building height objective**

<b>Standard B7</b>	<p>The maximum building height should not exceed the maximum height specified in the zone, schedule to the zone or an overlay that applies to the land.</p> <p><b>GRZ: 11 metres / 3 storeys mandatory maximum (refer Clause 32.08-9)</b></p>
	<p>✓ <b>Standard met</b></p> <p>The proposed maximum height is 7.32m.</p>

ORDINARY COUNCIL MEETING - AGENDA

**2.3.1 Town Planning Application - No. 81 Bowmore Road, Noble Park (Planning Application No. PLN19/0034) (Cont.)**

	<p>If no maximum height is specified in the zone, schedule to the zone or an overlay, the maximum building height should not exceed 9 metres, unless the slope of the natural ground level at any cross section wider than 8 metres of the site of the building is 2.5 degrees or more, in which case the maximum building height should not exceed 10 metres.</p> <p>Changes of building height between existing buildings and new buildings should be graduated.</p>	<p>N/A</p>
<p>✓ <b>Standard met</b> The adjoining property to the south at 79 Bowmore Road contains a single storey dwelling. The adjoining site to the north at 83 Bowmore Road also contains a single storey dwelling.</p>		
<p><b>Clause 55.03-3 Site coverage objective</b></p>		
<p><b>Standard B8</b> The site area covered by buildings should not exceed:  <ul style="list-style-type: none"> <li>• The maximum site coverage specified in a schedule to the zone, or</li> <li>• If no maximum site coverage is specified in a schedule to the zone, 60 per cent.</li> </ul> <b>GRZ1: 60% (none specified)</b></p>		<p>✓ <b>Standard met</b> The proposed site coverage would be 40.3%.</p>
<p><b>Clause 55.03-4 Permeability objectives</b></p>		
<p><b>Standard B9</b> The site area covered by the pervious surfaces should be at least:  <ul style="list-style-type: none"> <li>• The minimum areas specified in a schedule to the zone, or</li> <li>• If no minimum is specified in a schedule to the zone, 20 per cent of the site.</li> </ul> <b>GRZ1: 30%</b></p>		<p>✓ <b>Standard met</b> The proposed permeable area would be 38.41%.</p>
<p><b>Clause 55.03-5 Energy efficiency objectives</b></p>		
<p><b>Standard B10</b> Buildings should be:  <ul style="list-style-type: none"> <li>• Oriented to make appropriate use of solar energy.</li> <li>• Sited and designed to ensure that the energy efficiency of existing dwellings on adjoining lots is not unreasonably reduced.</li> </ul> </p>	<p>Living areas and private open space should be located on the north side of the development, if practicable.</p>	<p>✓ <b>Standard met</b> The proposed dwellings would be oriented to take advantage of solar energy from the east, north and west. They have been sited and designed to ensure that the energy efficiency of existing dwellings on adjoining lots is not unreasonably reduced.</p> <p>✓ <b>Standard met</b> Each dwelling's living area would be located on the northern side of each dwelling and each would have access to a north facing window. Each dwelling's private open space area would be located to the north of each dwelling and each would have a northern aspect.</p>

ORDINARY COUNCIL MEETING - AGENDA

**2.3.1 Town Planning Application - No. 81 Bowmore Road, Noble Park (Planning Application No. PLN19/0034) (Cont.)**

	<p>Developments should be designed so that solar access to north-facing windows is maximised.</p>	<p><b>✓ Standard met</b>                  Dwelling 1 would have two (2) north-facing windows which would have solar access at ground floor level and four (4) north-facing windows at first floor level.                  Dwelling 2 would have two (2) north-facing windows which would have solar access at ground floor level and three (3) north-facing windows at first floor level.                  Dwelling 3 would have two (2) north-facing windows at ground floor level and three (3) north-facing windows which would have solar access at first floor level.                  Dwelling 4 would have two (2) north-facing windows at ground floor level and one (1) north-facing window which would have solar access at first floor level.</p>
<p><b>Clause 55.03-6 Open space objective</b></p>		
<p><b>Standard B11</b></p>	<p>If any public or communal open space is provided on site, it should:</p> <ul style="list-style-type: none"> <li>• Be substantially fronted by dwellings, where appropriate.</li> <li>• Provide outlook for as many dwellings as practicable.</li> <li>• Be designed to protect any natural features on the site.</li> <li>• Be accessible and useable.</li> </ul>	<p><b>✓ Standard met</b>                  No public or communal open space is proposed on site.</p>
<p><b>Clause 55.03-7 Safety objective</b></p>		
<p><b>Standard B12</b></p>	<p>Entrances to dwellings and residential buildings should not be obscured or isolated from the street and internal accessways.                   Planting which creates unsafe spaces along streets and accessways should be avoided.</p>	<p><b>✓ Standard met</b>                  The entry to each dwelling would be visible from Bowmore Road to the west.   <b>✓ Standard met</b>                  The application does not propose any planting which would create unsafe spaces along Bowmore Road or the common accessway.</p>

**2.3.1 Town Planning Application - No. 81 Bowmore Road, Noble Park (Planning Application No. PLN19/0034) (Cont.)**

	<p>Developments should be designed to provide good lighting, visibility and surveillance of car parks and internal accessways.</p>	<p>✓ <b>Standard met</b>                  Dwelling 1 would have two (2) windows at ground floor level facing the common accessway and three (3) windows at first floor level facing the common accessway.                  Dwelling 2 would have three (3) windows at ground floor level facing the common accessway and five (5) windows at first floor level facing the common accessway.                  Dwelling 3 would have four (4) windows at ground floor level facing the common accessway and five (5) windows at first floor level facing the common accessway.                  Dwelling 4 would have no windows at ground floor level facing the common accessway and three (3) windows at first floor level facing the common accessway</p> <p>✓ <b>Standard met</b>                  Each dwelling's private open space would be protected from inappropriate use as a public thoroughfare.</p>
<p><b>Clause 55.03-6 Landscaping objectives</b></p>		
<p><b>Standard B13</b></p>	<p>The landscape layout and design should:</p> <ul style="list-style-type: none"> <li>• Protect any predominant landscape features of the neighbourhood.</li> <li>• Take into account the soil type and drainage patterns of the site.</li> <li>• Allow for intended vegetation growth and structural protection of buildings.</li> <li>• In locations of habitat importance, maintain existing habitat and provide for new habitat for plants and animals.</li> <li>• Provide a safe, attractive and functional environment for residents.</li> </ul> <p>Development should provide for the retention or planting of trees, where these are part of the character of the neighbourhood.</p> <p>Development should provide for the replacement of any significant trees that have been removed in the 12 months prior to the application being made</p>	<p>✓ <b>Standard met</b>                  The layout of the development and landscaping would allow for the intended growth of the nominated species. The first floor has been setback from the boundaries to provide adequate space to accommodate this growth.                  Overall, the landscaping would provide for safe, attractive and functional environment which is aesthetically pleasing for residents and neighbouring properties.</p> <p>✓ <b>Standard met</b>                  The large tree within the backyard of the existing dwelling could not be retained as part of the development due to its central location within the site. The removal of this tree could be offset by the five new trees which are proposed.</p> <p>✓ <b>Standard met</b>                  It does not appear as though any trees have been removed from the site in the 12 months prior to the application being made.</p>

ORDINARY COUNCIL MEETING - AGENDA

**2.3.1 Town Planning Application - No. 81 Bowmore Road, Noble Park (Planning Application No. PLN19/0034) (Cont.)**

	<p>The landscape design should specify landscape themes, vegetation (location and species), paving and lighting.</p> <p>Development should meet any additional landscape requirements specified in a schedule to the zone.</p> <p><b>All schedules to all residential zones:</b></p> <p><b>“70% of ground level front setback, and side and rear setbacks, planted with substantial landscaping and canopy trees.”</b></p>	<p>✓ <b>Standard met</b> Landscape themes are clearly depicted on the landscape plan through the use of native species and varied surface materials.</p> <p>✓ <b>Standard met</b> More than 70% of the ground level western setback would be capable of being planted with substantial landscaping and canopy trees. The northern side and the eastern rear setbacks would also be capable of being planted with substantial landscaping and canopy trees.</p>
<p><b>Clause 55.03-9 Access objective</b></p>		
<p><b>Standard B14</b></p>	<p>The width of accessways or car spaces should not exceed:</p> <ul style="list-style-type: none"> <li>• 33 per cent of the street frontage, or</li> <li>• if the width of the street frontage is less than 20 metres, 40 per cent of the street frontage.</li> </ul> <p>No more than one single-width crossover should be provided for each dwelling fronting a street.</p> <p>The location of crossovers should maximise retention of on-street car parking spaces.</p> <p>The number of access points to a road in a Road Zone should be minimised.</p> <p>Developments must provide for access for service, emergency and delivery vehicles.</p>	<p>✓ <b>Standard met</b> Less than 40% of the Bowmore Road street frontage would be taken up by the common accessway.</p> <p>✓ <b>Standard met</b> Only one (1) single width accessway is proposed.</p> <p>✓ <b>Standard met</b> The retention of the existing crossover would maximise the retention of on-street car parking spaces.</p> <p>✓ <b>Standard met</b> Bowmore Road is not in a Road Zone.</p> <p>✓ <b>Standard met</b> The proposed development would provide access for service, emergency and delivery vehicles.</p>
<p><b>Clause 55.03-10 Parking location objectives</b></p>		
<p><b>Standard B15</b></p>	<p>Car parking facilities should:</p> <ul style="list-style-type: none"> <li>• Be reasonably close and convenient to dwellings and residential buildings.</li> <li>• Be secure.</li> <li>• Be well ventilated if enclosed.</li> </ul>	<p>✓ <b>Standard met</b> Car parking facilities for each dwelling would be close and convenient for each dwelling. The garage of each dwelling would be secure and would be capable of being well ventilated.</p>

ORDINARY COUNCIL MEETING - AGENDA

**2.3.1 Town Planning Application - No. 81 Bowmore Road, Noble Park (Planning Application No. PLN19/0034) (Cont.)**

	<p>Shared accessways or car parks of other dwellings and residential buildings should be located at least 1.5 metres from the windows of habitable rooms. This setback may be reduced to 1 metre where there is a fence at least 1.5 metres high or where window sills are at least 1.4 metres above the accessway.</p>	<p>✓ <b>Standard met</b>                  Dwelling 1 and 2's south-facing ground floor Kitchen windows would be setback less than 1m from the common accessway and have a minimum sill height of less than 1.4m above the common accessway, whilst Dwelling 3's south-facing ground floor Dining Room window would have a minimum sill height of less than 1.4m above the common accessway. Each of these windows would have double glazing to protect residents from vehicle noise impacts, satisfying the standard.</p>
<p><b>Clause 55.04-1 Side and rear setbacks objective</b></p>		
<p><b>Standard B17</b></p>	<p>A new building not on or within 200mm of a boundary should be setback from side or rear boundaries:</p> <ul style="list-style-type: none"> <li>• At least the distance specified in a schedule to the zone, or</li> <li>• If no distance is specified in a schedule to the zone, 1 metre, plus 0.3 metres for every metre of height over 3.6 metres up to 6.9 metres, plus 1 metre for every metre of height over 6.9 metres.</li> </ul>	<p>✓ <b>Standard met</b>                  All dwellings within the proposed development would be setback more than 1m from all boundaries at ground floor level (for all walls not constructed on the boundary).                  All dwellings within the proposed development would be setback more than 2.08m from all boundaries at first floor level.</p>

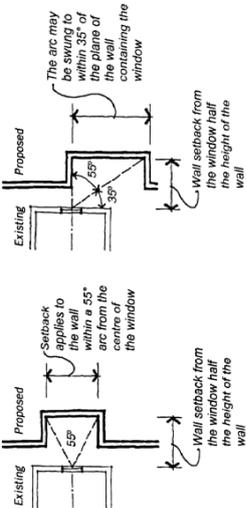
**2.3.1 Town Planning Application - No. 81 Bowmore Road, Noble Park (Planning Application No. PLN19/0034) (Cont.)**

<p><b>Diagram B1 Side and rear setbacks</b></p>	<p><b>Standard met</b> The proposed development would achieve a minimum 1m setback at ground floor level and 2.08m setback at first floor level.</p> <p><b>Standard met</b> These are not proposed.</p>
<p>Sunblinds, verandahs, porches, eaves, fascias, gutters, masonry chimneys, flues, pipes, domestic fuel or water tanks, and heating or cooling equipment or other services may encroach not more than 0.5 metres into the setbacks of this standard.</p> <p>Landings having an area of not more than 2 square metres and less than 1 metre high, stairways, ramps, pergolas, shade sails and carports may encroach into the setbacks of this standard.</p>	

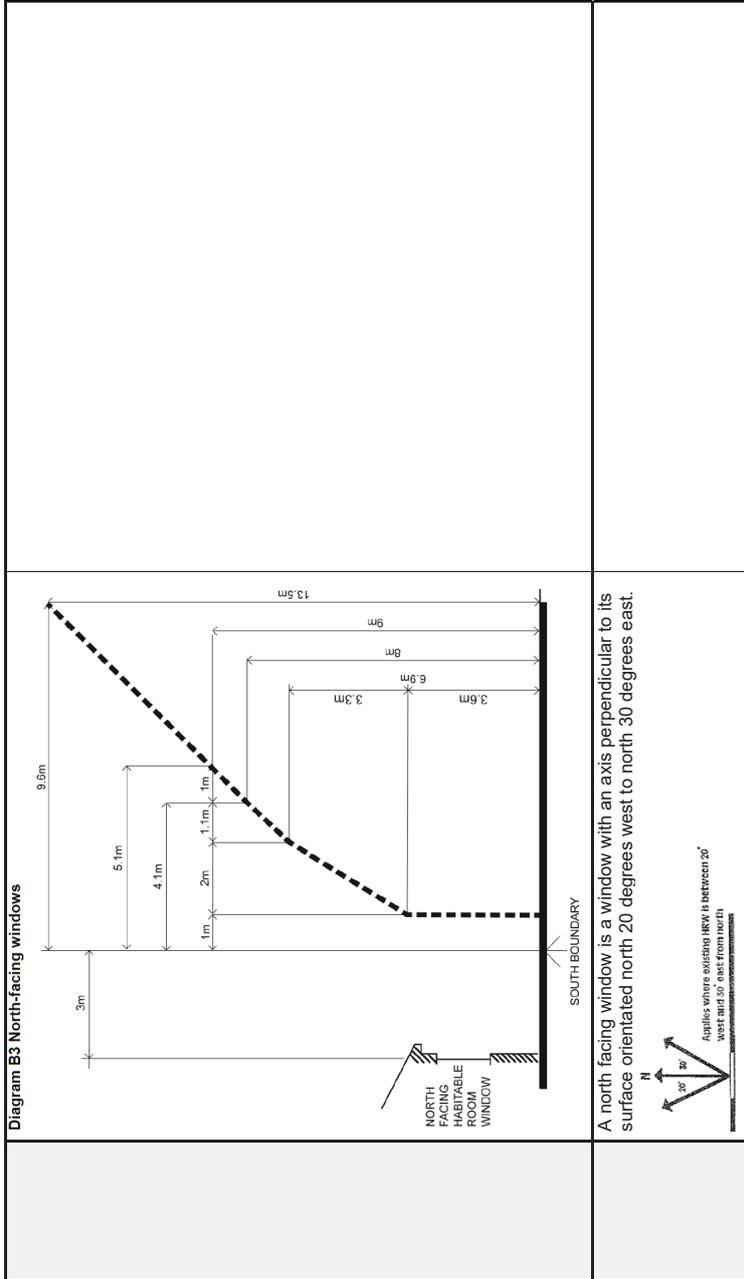
**2.3.1 Town Planning Application - No. 81 Bowmore Road, Noble Park (Planning Application No. PLN19/0034) (Cont.)**

<b>Clause 55.04-2 Walls on boundaries objective</b>	
<p><b>Standard B18</b></p>	<p>A new wall constructed on or within 200mm of a side or rear boundary of a lot or a carport constructed on or within 1 metre of a side or rear boundary of lot should not abut the boundary:</p> <ul style="list-style-type: none"> <li>• For a length of more than the distance specified in the schedule to the zone; or</li> <li>• If no distance is specified in a schedule to the zone, for a length of more than:                             <ul style="list-style-type: none"> <li>- 10 metres plus 25 per cent of the remaining length of the boundary of an adjoining lot, or</li> <li>- Where there are existing or simultaneously constructed walls or carports abutting the boundary on an abutting lot, the length of the existing or simultaneously constructed walls or carports, whichever is the greater.</li> </ul> </li> </ul> <p>A new wall or carport may fully abut a side or rear boundary where slope and retaining walls or fences would result in the effective height of the wall or carport being less than 2 metres on the abutting property.</p> <p>A building on a boundary includes a building set back up to 200mm from a boundary.</p> <p>The height of a new wall constructed on or within 200 mm of a side or rear boundary or a carport constructed on or within 1 metre of a side or rear boundary should not exceed an average of 3.2 metres with no part higher than 3.6 metres unless abutting a higher existing or simultaneously constructed wall.</p>
<b>Clause 55.04-3 Daylight to existing windows objective</b>	
<p><b>Standard B19</b></p>	<p>Buildings opposite an existing habitable room window should provide for a light court to the existing window that has a minimum area of 3 square metres and minimum dimension of 1 metre clear to the sky. The calculation of the area may include land on the abutting lot.</p>
<p><b>Standard met</b></p> <p>Dwelling 3's garage wall on the northern boundary would be less than 10m in length.</p> <p>Dwelling 4's garage wall on the southern boundary would also be less than 10m in length.</p>	<p><b>Standard met</b></p> <p>There are no side or rear boundaries which would be fully abutted by a new wall or carport.</p>
<p><b>Standard met</b></p> <p>Dwelling 3's northern garage wall would sit just off the northern boundary and Dwelling 4's southern garage wall would sit just off the southern boundary.</p>	<p><b>Standard met</b></p> <p>The maximum height of Dwelling 3's garage wall on the boundary is 3.2m.</p> <p>The maximum height of Dwelling 4's garage wall on the boundary is 3m.</p>
<p><b>Standard met</b></p> <p>There are no existing dwellings to the east.</p> <p>The existing dwelling to south at 79 Bowmore Road has a north-facing habitable room window which is setback at least 3.28m from the boundary and therefore would have at least 1m clear to the sky.</p> <p>The existing dwelling to the north at 83 Bowmore Road has a south-facing habitable room window which is setback at least 1m from the boundary and therefore would have at least 1m clear to the sky.</p>	<p><b>Standard met</b></p> <p>There are no existing dwellings to the east.</p> <p>The existing dwelling to south at 79 Bowmore Road has a north-facing habitable room window which is setback at least 3.28m from the boundary and therefore would have at least 1m clear to the sky.</p> <p>The existing dwelling to the north at 83 Bowmore Road has a south-facing habitable room window which is setback at least 1m from the boundary and therefore would have at least 1m clear to the sky.</p>

**2.3.1 Town Planning Application - No. 81 Bowmore Road, Noble Park (Planning Application No. PLN19/0034) (Cont.)**

<p><b>✓ Standard met</b></p> <p>The north facing wall of Dwelling 1 would have a height of 3m closest to the adjoining dwelling at 83 Bowmore Road and therefore does not need to be setback any further from the nearest habitable room window of the adjoining property at 83 Bowmore Road.</p> <p>The existing dwelling at 79 Bowmore Road is setback 3.28m from the shared boundary with the subject site, and the southern garage wall of Dwelling 1 opposite the existing north-facing habitable room window at 79 Bowmore Road is setback 6.18m from the shared boundary.</p>	<p>Walls or carports more than 3 metres in height opposite an existing habitable room window should be set back from the window at least 50 per cent of the height of the new wall if the wall is within a 55 degree arc from the centre of the existing window. The arc may be swung to within 35 degrees of the plane of the wall containing the existing window.</p> <p><b>Diagram B2 Daylight to existing windows</b></p>  <p>Where the existing window is above ground floor level, the wall height is measured from the floor level of the room containing the window.</p>
<p><b>✓ Standard met</b></p> <p>The existing north-facing habitable room window of the existing dwelling at 79 Bowmore Road is more than 3m from the shared boundary with the subject site.</p>	<p><b>Clause 55.04-4 North-facing windows objective</b></p> <p><b>Standard B20</b></p> <p>If a north-facing habitable room window of an existing dwelling is within 3 metres of a boundary on an abutting lot, a building should be setback from the boundary 1 metre, plus 0.6 metres for every metre of height over 3.6 metres up to 6.9 metres, plus 1 metre for every metre of height over 6.9 metres, for a distance of 3 metres from the edge of each side of the window.</p>

**2.3.1 Town Planning Application - No. 81 Bowmore Road, Noble Park (Planning Application No. PLN19/0034) (Cont.)**



ORDINARY COUNCIL MEETING - AGENDA

**2.3.1 Town Planning Application - No. 81 Bowmore Road, Noble Park (Planning Application No. PLN19/0034) (Cont.)**

**Clause 55.04-5 Overshadowing open space objective**

<p><b>Standard B21</b></p>	<p>Where sunlight to the secluded private open space of an existing dwelling is reduced, at least 75 per cent, or 40 square metres with a minimum dimension of 3 metres, whichever is the lesser area, of the secluded private open space should receive a minimum of five hours of sunlight between 9am and 3pm on 22 Sept.</p>	<p>✓ <b>Standard met</b>                  Harrisfield Primary School to the east would not be affected by overshadowing from the proposed development at 9am or 12pm, but would have some overshadowing at 2pm and 3pm.                  The site to the south at 79 Bowmore Road would have some overshadowing from the proposed development at 9am, 12pm, 2pm and 3pm.                  The site to the north at 83 Bowmore Road would not be affected by overshadowing from the proposed development.                  Overall, 75% of the secluded private open space areas of the adjoining properties would receive at least 5 hours of sunlight between 9am and 3pm on September 22.</p> <p>✓ <b>Standard met</b>                  The existing sunlight to the secluded private open space of the existing adjoining properties is not currently less than the requirements of this standard.</p>
	<p>If existing sunlight to the secluded private open space of an existing dwelling is less than the requirements of this standard, the amount of sunlight should not be further reduced.</p>	

**Clause 55.04-6 Overlooking objective**

<p><b>Standard B22</b></p>	<p>A habitable room window, balcony, terrace, deck or patio should be located and designed to avoid direct views into the secluded private open space of an existing dwelling within a horizontal distance of 9 metres (measured at ground level) of the window, balcony, terrace, deck or patio. Views should be measured within a 45 degree angle from the plane of the window or perimeter of the balcony, terrace, deck or patio, and from a height of 1.7 metres above floor level.</p> <p><b>Diagram B4 Overlooking open space</b></p>	<p>✓ <b>Standard met</b>                  The north-facing upper level habitable room windows of each dwelling have been provided with obscure glazing up to 1.7m above finished floor level or would be highlight windows within minimum sill heights of 1.7m above finished floor level.                  Dwelling 4's east-facing upper level habitable room window would be obscure glazed up to 1.7m above finished floor level.                  All of the south-facing upper level habitable room windows either do not overlook a sensitive space, have obscure glazing below 1.7m or are highlight windows with minimum sill heights of 1.7m above finished floor level.</p>
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**2.3.1 Town Planning Application - No. 81 Bowmore Road, Noble Park (Planning Application No. PLN19/0034) (Cont.)**

	<p><b>Standard met</b></p> <p>The north-facing upper level habitable room windows of each dwelling have been provided with obscure glazing up to 1.7m above finished floor level or would be highlight windows within minimum sill heights of 1.7m above finished floor level.</p> <p>Dwelling 4's east-facing upper level habitable room window would be obscure glazed up to 1.7m above finished floor level.</p> <p>All of the south-facing upper level habitable room windows either do not overlook a sensitive space, have obscure glazing below 1.7m or are highlight windows with minimum sill heights of 1.7m above finished floor level.</p> <p><b>Standard met</b></p> <p>Obscure glazing in any part of a window below 1.7 metres above floor level is not proposed to be openable.</p> <p><b>Standard met</b></p> <p>No external screens are proposed.</p> <p><b>Standard met</b></p> <p>The existing 1.7m high paling fences on the southern and northern boundaries and the existing 1.9m high paling fence on the eastern boundary should prevent any ground floor overlooking.</p>
<p>A habitable room window, balcony, terrace, deck or patio with a direct view into a habitable room window of existing dwelling within a horizontal distance of 9 metres (measured at ground level) of the window, balcony, terrace, deck or patio should be either:</p> <ul style="list-style-type: none"> <li>• Offset a minimum of 1.5 metres from the edge of one window to the edge of the other.</li> <li>• Have sill heights of at least 1.7 metres above floor level.</li> <li>• Have fixed, obscure glazing in any part of the window below 1.7 metre above floor level.</li> <li>• Have permanently fixed external screens to at least 1.7 metres above floor level and be no more than 25 per cent transparent.</li> </ul> <p>Obscure glazing in any part of the window below 1.7 metres above floor level may be openable provided that there are no direct views as specified in this standard.</p> <p>Screens used to obscure a view should be:</p> <ul style="list-style-type: none"> <li>• Perforated panels or trellis with a maximum of 25 per cent openings or solid translucent panels.</li> <li>• Permanent, fixed and durable.</li> <li>• Designed and coloured to blend in with the development.</li> </ul> <p>The standard does not apply to a new habitable room window, balcony, terrace, deck or patio which faces a property boundary where there is a visual barrier at least 1.8 metres high and the floor level of the habitable room, balcony, terrace, deck or patio is less than 0.8 metres above ground level at the boundary.</p>	<p><b>Standard met</b></p> <p>A habitable room window, balcony, terrace, deck or patio with a horizontal distance of 9 metres (measured at ground level) of the window, balcony, terrace, deck or patio should be either:</p> <ul style="list-style-type: none"> <li>• Offset a minimum of 1.5 metres from the edge of one window to the edge of the other.</li> <li>• Have sill heights of at least 1.7 metres above floor level.</li> <li>• Have fixed, obscure glazing in any part of the window below 1.7 metre above floor level.</li> <li>• Have permanently fixed external screens to at least 1.7 metres above floor level and be no more than 25 per cent transparent.</li> </ul> <p>Obscure glazing in any part of the window below 1.7 metres above floor level may be openable provided that there are no direct views as specified in this standard.</p> <p>Screens used to obscure a view should be:</p> <ul style="list-style-type: none"> <li>• Perforated panels or trellis with a maximum of 25 per cent openings or solid translucent panels.</li> <li>• Permanent, fixed and durable.</li> <li>• Designed and coloured to blend in with the development.</li> </ul> <p>The standard does not apply to a new habitable room window, balcony, terrace, deck or patio which faces a property boundary where there is a visual barrier at least 1.8 metres high and the floor level of the habitable room, balcony, terrace, deck or patio is less than 0.8 metres above ground level at the boundary.</p>

**2.3.1 Town Planning Application - No. 81 Bowmore Road, Noble Park (Planning Application No. PLN19/0034) (Cont.)**

<p><b>Clause 55.04-7 Internal views objective</b></p>	<p><b>Standard B23</b></p> <p>Windows and balconies should be designed to prevent overlooking of more than 50 per cent of the secluded private open space of a lower-level dwelling or residential building directly below and within the same development.</p> <p><b>✓ Standard met</b></p> <p>Dwelling 1 does not have any east-facing upper level windows and all of its north-facing upper level windows are provided with obscure glazing up to 1.7m above finished floor level or minimum sill heights up to 1.7m above finished floor level and would therefore not overlook Dwelling 2's secluded private open space area.</p> <p>Dwelling 2 does not have any west-facing upper level windows and all of its north-facing upper level windows are provided with obscure glazing up to 1.7m above finished floor level and would therefore not overlook Dwelling 1's secluded private open space area. It also does not have any east-facing upper level windows which would overlook Dwelling 3's secluded private open space area.</p> <p>Dwelling 3 does not have any west-facing upper level windows which would overlook Dwelling 2's secluded private open space area and all of its north-facing upper level windows are provided with obscure glazing up to 1.7m above finished floor level and would therefore not overlook Dwelling 2's secluded private open space area. It also does not have any east-facing upper level windows which would overlook Dwelling 3's secluded private open space area. It also does not have any east-facing upper level windows which would overlook Dwelling 4's secluded private open space area.</p> <p>Dwelling 4 does not have any west-facing upper level windows which would overlook Dwelling 3's secluded private open space area and its north-facing upper level window would be provided with obscure glazing up to 1.7m above finished floor level and would therefore not overlook Dwelling 3's secluded private open space area.</p>
<p><b>Clause 55.04-8 Noise impacts objectives</b></p>	<p><b>Standard B24</b></p> <p>Noise sources, such as mechanical plant, should not be located near bedrooms of immediately adjacent existing dwellings.</p> <p><b>✓ Standard met</b></p> <p>No mechanical plant is proposed to be located near the bedrooms of any immediately adjacent existing dwellings.</p> <p>Noise sensitive rooms and secluded private open spaces of new dwellings and residential buildings should take into account of noise sources on immediately adjacent properties.</p> <p><b>✓ Standard met</b></p> <p>The proposed development has taken this into account.</p> <p>Dwellings and residential buildings close to busy roads, railway lines or industry should be designed to limit noise levels in habitable rooms.</p> <p><b>✓ Standard met</b></p> <p>The subject site is not located near a busy road, railway line or industrial area.</p>

**2.3.1 Town Planning Application - No. 81 Bowmore Road, Noble Park (Planning Application No. PLN19/0034) (Cont.)**

<b>Clause 55.05-1 Accessibility objective</b>	
<b>Standard B25</b>	<p>The dwelling entries of the ground floor of dwellings and residential buildings should be accessible or able to be easily made accessible to people with limited mobility.</p> <p><b>Standard met</b> The dwelling entries of the ground floor of each dwelling would be accessible or able to be easily made accessible to people with limited mobility.</p>
<b>Clause 55.05-2 Dwelling entry objective</b>	
<b>Standard B26</b>	<p>Entries to dwellings and residential buildings should:</p> <ul style="list-style-type: none"> <li>• Be visible and easily identifiable from streets and other public areas.</li> <li>• Provide shelter, a sense of personal address and a transitional space around the entry.</li> </ul> <p><b>Standard met</b> The entry to each dwelling would be visible from Bowmore Road to the west. Each dwelling would have a porch adjoining each front entry which would provide shelter, a sense of personal address and a transitional space around the entry.</p>
<b>Clause 55.05-3 Daylight to new windows objective</b>	
<b>Standard B27</b>	<p>A window in a habitable room should be located to face:</p> <ul style="list-style-type: none"> <li>• An outdoor space clear to the sky or a light court with a minimum area of 3 square metres and minimum dimension of 1 metre clear to the sky, not including land on an abutting lot, or</li> <li>• A verandah provided it is open for at least on third of its perimeter, or</li> <li>• A carport provided it has two or more open sides and is open for at least on third of its perimeter.</li> </ul> <p><b>Standard met</b> All habitable room windows within the proposed development would face an outdoor space clear to the sky or a light court with a minimum area of 3 square metres and a minimum dimension of 1m clear to the sky.</p>

ORDINARY COUNCIL MEETING - AGENDA

**2.3.1 Town Planning Application - No. 81 Bowmore Road, Noble Park (Planning Application No. PLN19/0034) (Cont.)**

**Clause 55.05-4 Private open space objective**

<p><b>Standard B28</b></p>	<p>A dwelling or residential building should have private open space of an area and dimensions specified in a schedule to the zone.  <b>GRZ1:</b> <i>"An area of 50 square metres of ground level, private open space, with an area of secluded private open space at the side or rear of the dwelling with a minimum area of 30 square metres and a minimum dimension of 5 metres and convenient access from a living room; or                  A balcony or rooftop with a minimum area of 10 square metres with a minimum width of 2 metres that is directly accessible from the main living area."</i></p>	<p>✓ <b>Standard met</b>                  Dwelling 1 would have a 79.5m<sup>2</sup> front yard and a 42.9m<sup>2</sup> backyard for a total private open space provision of 122.4m<sup>2</sup>, in excess of the 50m<sup>2</sup> required for this dwelling. The secluded private open space area at the side of the dwelling would have an area of 30m<sup>2</sup> with a minimum dimension of 5m in both directions.                  Dwelling 2 would have a 50.5m<sup>2</sup> backyard which would be in excess of the minimum 50m<sup>2</sup> required for this dwelling. It would include a component of secluded private open space with an area of greater than 30m<sup>2</sup> with a minimum dimension of 5m in both directions.                  Dwelling 3 would have a 50.6m<sup>2</sup> backyard which would be in excess of the 50m<sup>2</sup> required for this dwelling. It would include a component of secluded private open space with an area greater than 30m<sup>2</sup> with a minimum dimension of 5m in both directions.                  Dwelling 4 would have a 51.1m<sup>2</sup> backyard which would be in excess of the 50m<sup>2</sup> required for this dwelling. It would include a component of secluded private open space with an area greater than 30m<sup>2</sup> with a minimum dimension of 5m in both directions.</p>
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**Clause 55.05-5 Solar access to open space objective**

<p><b>Standard B29</b></p>	<p>The private open space should be located on the north side of the dwelling or residential building, if appropriate.</p>	<p>✓ <b>Standard met</b>                  Each dwelling would have an area of private open space located to the north of the dwelling.</p>
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**2.3.1 Town Planning Application - No. 81 Bowmore Road, Noble Park (Planning Application No. PLN19/0034) (Cont.)**

<p><b>Standard met</b></p> <p>There are no walls on the northern boundary of any dwelling's secluded private open space area.</p>	<p>The southern boundary of secluded private open space should be set back from any wall on the north of the space at least (2 +0.9h) metres, where 'h' is the height of the wall.</p> <p><b>Diagram B5 Solar access to open space</b></p>
<p><b>Standard met</b></p> <p>Each of the dwellings would have convenient access to at least 6m<sup>3</sup> of externally accessible, secure storage space.</p>	<p><b>Clause 55.05-6 Storage objective</b></p> <p><b>Standard B30</b></p> <p>Each dwelling should have convenient access to at least 6 cubic metres of externally accessible, secure storage space.</p>
<p><b>Standard met</b></p> <p>The design of the proposed dwellings, including façade articulation and detailing, window and door proportions, roof form and verandahs, eaves and parapets, would respect the existing and preferred neighbourhood character.</p>	<p><b>Clause 55.06-1 Design detail objective</b></p> <p><b>Standard B31</b></p> <p>The design of buildings, including:</p> <ul style="list-style-type: none"> <li>• Façade articulation and detailing,</li> <li>• Window and door proportions,</li> <li>• Roof form, and</li> <li>• Verandahs, eaves and parapets,</li> </ul> <p>should respect the existing or preferred neighbourhood character.</p>
<p><b>Standard met</b></p> <p>The proposed garages/carports would be visually compatible with the development and the existing or preferred neighbourhood character.</p>	<p>Garages and carports should be visually compatible with the development and the existing or preferred neighbourhood character.</p>
<p><b>Standard met</b></p> <p>No front fencing is proposed.</p>	<p><b>Clause 55.06-2 Front fences objective</b></p> <p><b>Standard B32</b></p> <p>The design of front fences should complement the design of the dwelling or residential building and any front fences on adjoining properties.</p>

**2.3.1 Town Planning Application - No. 81 Bowmore Road, Noble Park (Planning Application No. PLN19/0034) (Cont.)**

<p>A front fence within 3 metres of a street should not exceed:</p> <ul style="list-style-type: none"> <li>The maximum height specified in a schedule to the zone, or</li> </ul> <p><u>All schedules to all residential zones:</u></p> <p>1 <b>"Maximum 1.5 metre height in streets in Road Zone Category 1.2 metre maximum height for other streets"</b></p> <ul style="list-style-type: none"> <li>If no maximum height is specified in a schedule to the zone, the maximum height specified in Table B3.</li> </ul> <p>Table B3 Maximum front fence height</p> <table border="1" data-bbox="459 1086 555 1635"> <thead> <tr> <th>Street Context</th> <th>Maximum front fence height</th> </tr> </thead> <tbody> <tr> <td>Streets in a Road Zone, Category 1</td> <td>2 metres</td> </tr> <tr> <td>Other streets</td> <td>1.5 metres</td> </tr> </tbody> </table>	Street Context	Maximum front fence height	Streets in a Road Zone, Category 1	2 metres	Other streets	1.5 metres	<p>✓ <b>Standard met</b> No front fencing is proposed.</p>
Street Context	Maximum front fence height						
Streets in a Road Zone, Category 1	2 metres						
Other streets	1.5 metres						
<p><b>Clause 55.06-3 Common property objectives</b></p>							
<p><b>Standard B33</b></p> <p>Developments should clearly delineate public, communal and private areas.</p> <p>Common property, where provided, should be functional and capable of efficient management.</p>	<p>✓ <b>Standard met</b> The proposed development would clearly delineate public, communal and private areas.</p> <p>✓ <b>Standard met</b> Common property would be functional and capable of efficient management.</p>						
<p><b>Clause 55.06-4 Site services objectives</b></p>							
<p><b>Standard B34</b></p> <p>The design and layout of dwellings and residential buildings should provide sufficient space (including easements where required) and facilities for services to be installed and maintained efficiently and economically.</p> <p>Bin and recycling enclosures, mailboxes and other site facilities should be adequate in size, durable, waterproof and blend in with the development.</p> <p>Bin and recycling enclosures should be located for convenient access by residents.</p> <p>Mailboxes should be provided and located for convenient access as required by Australia Post.</p>	<p>✓ <b>Standard met</b> The design and layout of the proposed development would provide sufficient space and facilities for services to be installed and maintained efficiently and economically.</p> <p>✓ <b>Standard met</b> Rubbish and recycling bins, mailboxes and other site facilities for each dwelling have been shown on the plans.</p> <p>✓ <b>Standard met</b> Rubbish and recycling bins for each dwelling have been shown on the plans.</p> <p>✓ <b>Standard met</b> Mailboxes have been shown on the plans.</p>						

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### 2.3.2 Town Planning Application - No. 2 Virginia Street, Springvale (Planning Application No. PLN17/0812)

File Id:	127610
Responsible Officer:	Director City Planning, Design and Amenity
Attachments:	Submitted Plans Location of Objectors Clause 22.09 Assessment Clause 55 Assessment Clause 55.07 Assessment Clause 52.06 Assessment

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#### Application Summary

Applicant:	Perry Town Planning c/o ERM
Proposal:	The development of the land for fourteen (14) apartments within a four storey building with basement
Zone:	Residential Growth Zone – Schedule 2
Overlay:	No Overlays
Ward:	Lightwood

This application has been brought before the Council because it has received ten (10) objections during the advertising process.

The application proposes the development of the land for fourteen (14) apartments within a four storey building with basement. A permit is required pursuant to Clause 32.07-5 of the Greater Dandenong Planning Scheme to construct two or more dwellings on a lot.

#### Objectors Summary

The application was advertised to the surrounding area through the erection of an on-site notice and the mailing of notices to adjoining and surrounding owners and occupiers. Ten (10) objections were received to the application. Issues raised generally relate to matters of:

- Neighbourhood character
- Visual bulk, setbacks and massing
- Building height
- Privacy
- Overshadowing

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**2.3.2 Town Planning Application - No. 2 Virginia Street, Springvale (Planning Application No. PLN17/0812) (Cont.)**

- Inadequate car parking
- Traffic and congestion
- Constrained infrastructure

### **Assessment Summary**

As assessed, the current application is considered appropriate for approval, subject to conditions. The subject site is located within proximity to the Springvale Activity Centre which caters for a wide variety of amenities, supporting a higher density of residential development. The site is identified within the Substantial Change Area under Clause 22.09-3.2, which is expected to contain a greater proportion of well-designed and site responsive medium to high density infill development that respects neighbourhood character.

The proposal would meet Council's expectations for high density development which is guided by the policy expectations and design principles of Clause 22.09 *Residential Development and Neighbourhood Character* and the objectives of Clause 55 *Two or more dwellings on a lot*.

### **Recommendation Summary**

As assessed, the proposal is consistent with and appropriately responds to the provisions of the Greater Dandenong Planning Scheme. The proposal appropriately responds to strategic policy for residential development in the area with this report recommending that the application be supported and that a **Notice of Decision to Grant a Planning Permit** (which provides appeal rights to objectors) be issued containing the conditions as set out in the recommendation.

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**2.3.2 Town Planning Application - No. 2 Virginia Street, Springvale (Planning Application No. PLN17/0812) (Cont.)**

**Subject Site and Surrounds**

**Subject Site**

- The subject land is an irregular shaped lot located on the southern side of Virginia Street, Springvale.
- Virginia Street is oriented in an east-west direction and the subject land is currently occupied by a single storey dwelling of brick construction.
- The lot has a total area of 793sqm with a 17m abuttal to Virginia Street at the northern boundary of the site.
- Existing improvements on the land comprise a single storey dwelling located to the front of the lot, with a rear garden extending to the rear boundary.
- Boundary treatments consist of timber paling fences on the eastern, southern and western boundaries with brick and timber front fencing facing Virginia Street.

**Surrounding Area**

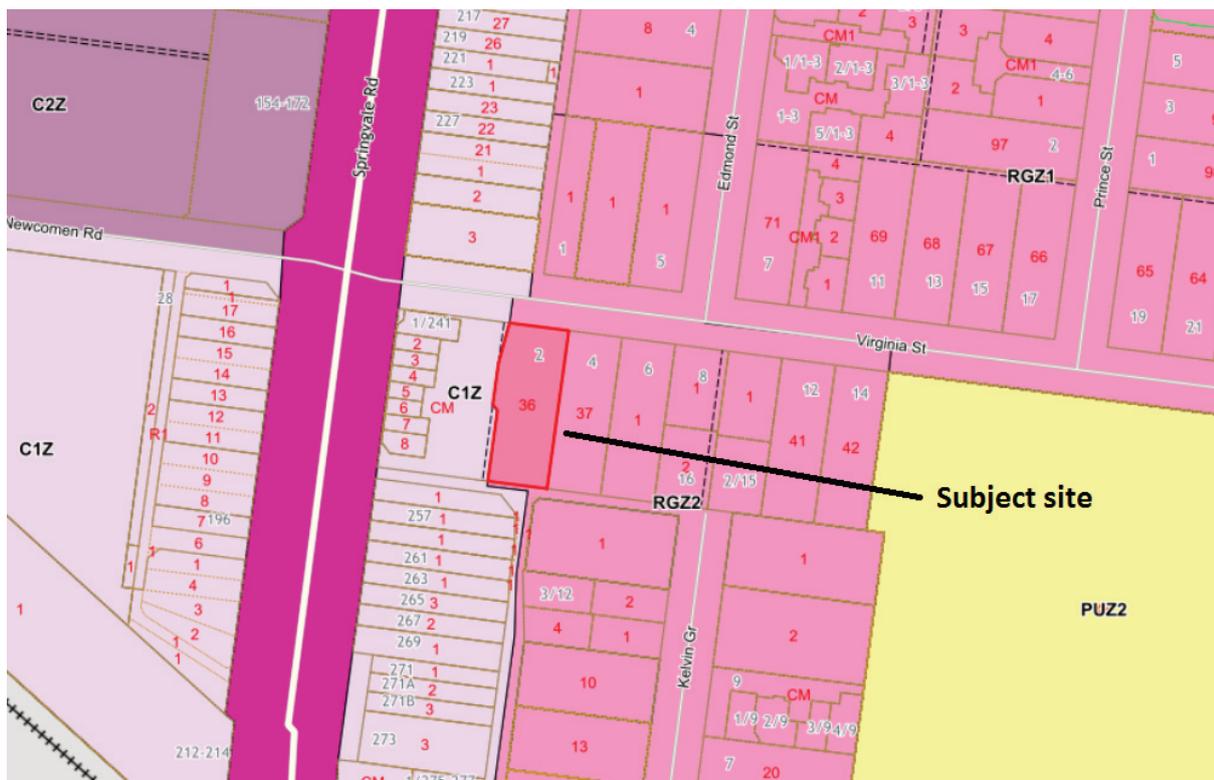
- To the east of the site is 4 Virginia Street, a single storey dwelling with a similar setback and design with the existing building, being a brick dwelling with tiled roof.
- Adjacent to the west is 241 Springvale Road, which is commercially zoned, used for commercial and retail purposes and car parking.
- Properties opposite the site to the north are 3 Virginia Street and 235-239 Springvale Road. 3 Virginia Street is a three story residential apartment building and 235 -239 Springvale Road is a mixed-use building, comprising commercial uses at ground floor and residential apartments on the upper levels.
- The immediate surrounds of the subject site exhibit a variety of built forms and land uses. Virginia Street is located within a pocket of Residential Growth Zone with an abutting Commercial 1 Zone to the west.
- The Public Use Zone and Public Park and Recreation Zone are located further to the east.
- Industrial 1 Zone and Commercial 2 Zone exists to the periphery of the Springvale Activity Centre, used primarily for warehousing, light industry and bulky retailing.
- Springvale railway station is located 270m to the south of the subject site.
- There are a range of educational facilities close to the site, including the Springvale Rise Primary School which is 600m to the south and Springvale Secondary College and Springvale Special Development School 800m to the south-east of the site.
- There are a number of public recreation facilities in close proximity such as the Springvale Town Hall and library situated 1km to the south of the site and the Springvale Central shopping centre 600m to the south-east of the site. A feature of the locality is its excellent pedestrian connectivity to a wide range of services.
- The neighbourhood benefits from public open spaces around the area, including Warner Reserve, Mile Creek and Springvale Reserve.
- The site is located within proximity to the Springvale Railway Station, located 150m to the south of the site. In addition, the site also benefits from proximity (approximately 60m) to a variety of

**2.3.2 Town Planning Application - No. 2 Virginia Street, Springvale (Planning Application No. PLN17/0812) (Cont.)**

bus services running along Springvale Road including the 811, 813 and 902 services. These connect from Springvale to Dandenong via Waverley Gardens and from Chelsea to Airport West.

- The site is also services by a number of major arterials including Springvale Road, the Princes Highway (1.7km) and EastLink entrance (4.7km).
- There is a mix of built forms and lot sizes in proximity to the site including single dwelling lots, town houses, multi-dwelling developments and three storey apartment buildings. The emerging form and scale of development is indicative of the substantial change area.

Locality Plan



**Background**

**Previous Applications**

A search of Council records revealed that Council has previously considered the following planning applications for the site:

- PLN14/0684: The development of the land for a double storey dwelling to the rear of an existing dwelling. The application was lapsed on 04/05/2015.

**Proposal**

The application proposes the development of the land for fourteen (14) apartments within a four storey building with basement. Details of the proposal are as follows:

## ORDINARY COUNCIL MEETING - AGENDA

**2.3.2 Town Planning Application - No. 2 Virginia Street, Springvale (Planning Application No. PLN17/0812) (Cont.)**

Type of proposal	Apartment building with a basement car park
Number of dwellings	14 apartments
Levels	Four (4) storeys
Height	Maximum height of 13.25m
Orientated to	Virginia Street
External materials	<p>The proposed material schedule includes metal wall cladding, rendered finish, composite aluminium cladding, aluminium strapping and aluminium powdercoated windows</p> <p>The proposed colour schedule includes white, grey, charcoal and black</p>
Setbacks	<p>Basement:</p> <ul style="list-style-type: none"> <li>• North: 4m</li> <li>• East: 0m</li> <li>• South: 0m</li> <li>• West: 1.02m</li> </ul> <p>Ground:</p> <ul style="list-style-type: none"> <li>• North: 5.048m</li> <li>• East: 2m</li> <li>• South: 3m</li> <li>• West: 0.9m</li> </ul> <p>First:</p> <ul style="list-style-type: none"> <li>• North: 5.545m</li> <li>• East: 2m</li> <li>• South: 3.061m</li> <li>• West: 0.635m</li> </ul> <p>Second:</p> <ul style="list-style-type: none"> <li>• North: 8.085m</li> <li>• East: 3.45m</li> <li>• South: 5.2m</li> <li>• West: 4m</li> </ul> <p>Third:</p>

**2.3.2 Town Planning Application - No. 2 Virginia Street, Springvale (Planning Application No. PLN17/0812) (Cont.)**

	<ul style="list-style-type: none"> <li>• North: 11.439m</li> <li>• East: 5.966m</li> <li>• South: 9.6m</li> <li>• West: 3.631m</li> </ul>
Private open space type	<p>Apartment 1 (G01): 65sqm of private open space, including an area of 27sqm of secluded private open space to the site frontage with a minimum dimension of 3.9m</p> <p>Apartment 2 (G02): 36sqm of private open space, including an area of 25sqm of secluded private open space with a minimum dimension of 2.9m</p> <p>Apartment 3 (G03): 50sqm of private open space, including an area of 35sqm of secluded private open space with a minimum dimension of 3m</p> <p>Apartment 4 (G04): 48sqm of private open space, including an area of 26sqm of secluded private open space with a minimum dimension of 5m</p> <p>Apartment 5 (G05): 43sqm of private open space, including an area of 26sqm with a varied minimum dimension between 2.939m and 4.387m</p> <p>Apartment 6 (101): A balcony with 10sqm of secluded private open space and a minimum dimension of 3m</p> <p>Apartment 7 (102): A balcony with 10sqm of secluded private open space and a minimum dimension of 2.1m</p> <p>Apartment 8 (103): A balcony with 10sqm of secluded private open space and a minimum dimension of 2.45m</p> <p>Apartment 9 (104): A balcony with 10sqm of secluded private open space and a minimum dimension of 2.4m</p> <p>Apartment 10 (105): A balcony with 9.1sqm of secluded private open space and a minimum dimension of 2m and a secondary balcony with 6sqm of secluded private open space and a minimum dimension of 1.75m</p> <p>Apartment 11 (201): A balcony with 10sqm of secluded private open space and a minimum dimension of 2m</p> <p>Apartment 12 (202): A balcony with 10sqm of secluded private open space and a minimum dimension of 2.45m</p> <p>Apartment 13 (203): A balcony with 20sqm of secluded private open space and a minimum dimension of 2m (plus a small section of 1.444m)</p>

## ORDINARY COUNCIL MEETING - AGENDA

**2.3.2 Town Planning Application - No. 2 Virginia Street, Springvale (Planning Application No. PLN17/0812) (Cont.)**

	Apartment 14 (301): A balcony with 19sqm of secluded private open space and a minimum dimension of 2.032m
Number of car parking spaces required	A total of 14 car parking spaces are required pursuant to Clause 52.06-5 No visitor car parking spaces are required as the site is located within the Principal Public Transport Network area
Number of car parking spaces provided	A total of 15 car parking spaces are provided on site, including one (1) visitor car parking space
Type of car parking	All car parking is provided at basement level at grade, with two (2) mechanical car stackers
Access	Access is provided via the existing concrete crossover to the western side of the frontage, leading to the proposed basement car park
Basement layout	<p>The basement is accessed from Virginia Street, providing a ramp down to the available car parking spaces at the following grades:</p> <ul style="list-style-type: none"> <li>• Initial 5m – 1:10</li> <li>• 2m – 1:4.5</li> <li>• 11.986m – 1:4</li> <li>• 2.5m – 1:8</li> </ul> <p>Car parking is arranged to the middle and rear of the basement area with two (2) mechanical stackers including spaces 1 – 4</p> <p>Site services, refuse bins, bike racks and storage sheds are located towards the front area of the basement, with stairwell and lift access adjacent. Addition storage containers are provided at the rear of car spaces 10 to 14</p> <p>10 high mounted condenser units are located adjacent car space 14, servicing ground and first floor levels</p> <p>Three (3) 5,000L underground rainwater tanks are provided under the basement floor</p>
Front fence	A 1.2m rendered fence is proposed along the site frontage, with 1.5m high louvered service cupboards
Garden area required	Not applicable as the site is located within the Residential Growth Zone

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**2.3.2 Town Planning Application - No. 2 Virginia Street, Springvale (Planning Application No. PLN17/0812) (Cont.)**

Additional information	Fire hydrants, electricity, water and gas services are all located to the site frontage, screened by 1.5m high louvres
Easements and assets	No easements present on the site, however a south east sewer pipe spans the western side boundary

*A copy of the submitted plans is included as Attachment 1.*

### **Victorian Charter of Human Rights and Responsibilities**

The Victorian Charter of Human Rights and Responsibilities has been considered in the preparation of this report but is not relevant to its contents.

### **Financial Implications**

No financial resources are impacted by this report.

### **Planning Scheme and Policy Frameworks**

Pursuant to the Greater Dandenong Planning Scheme, a planning permit is required to construct two or more dwellings on a lot pursuant to Clause 32.07-5 of the Residential Growth Zone.

The relevant controls and policies are as follows:

#### **Zoning Controls**

The subject site is located in Residential Growth Zone, as is the surrounding residential area. The purpose of the General Residential Zone outlined at Clause 32.07 is:

- *To implement the State Planning Policy Framework and the Local Planning Policy Framework, including the Municipal Strategic Statement and local planning policies.*
- *To provide housing at increased densities in buildings up to and including four storey buildings.*
- *To encourage a diversity of housing types in locations offering good access to services and transport including activity centres and town centres.*
- *To encourage a scale of development that provides a transition between areas of more intensive use and development and other residential areas.*
- *To ensure residential development achieves design objectives specifies in a schedule to this zone.*
- *To allow educational, recreational, religious, community and a limited range of other non-residential uses to serve local community needs in appropriate locations.*

Pursuant to Clause 32.07-5 of the Greater Dandenong Planning Scheme, a planning permit is required to construct two or more dwellings on a lot.

It is noted that within Schedule 2 to the zone, varied requirements of Clause 55 are set out as follows:

- Standard B6 (Minimum Street Setback) – As per B6 or 5 metres, whichever is the lesser;

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**2.3.2 Town Planning Application - No. 2 Virginia Street, Springvale (Planning Application No. PLN17/0812) (Cont.)**

- Standard B8 (Site coverage) – [only valid for GRZ1, not GRZ2]; Maximum of 70%;
- Standard B13 (Landscaping) – 70% of ground level front setback, and side and rear setbacks, planted with substantial landscaping and canopy trees [only valid for GRZ1, not GRZ2];
- Standard B28 (Private Open Space) – An area of 40 square metres of ground level, private open space, with one part of the private open space to consist of secluded private open space at the side or rear of the dwelling with a minimum area of 25 square metres, and a minimum dimension of 3 metres and convenient access from a living room; or a balcony with a minimum area of 10 square metres with a minimum width of 2 metres and convenient access from a living room; and
- Standard B32 (Front Fence Height) – Maximum 1.5 metre height in streets in Road Zone Category 1, 1.2 metre maximum height for other streets.

**Overlay Controls**

No overlays affect the subject site or surrounding area.

**State Planning Policy Framework**

The **Operation of the State Planning Policy Framework** outlined at Clause 10 seeks to ensure that the objectives of planning in Victoria are fostered through appropriate land use and development planning policies and practices which integrate relevant environmental, social and economic factors in the interests of net community benefit and sustainable development.

In order to achieve those objectives, there are a number of more specific objectives contained within the State Planning Policy Framework that need to be considered under this application.

**Settlement (Clause 11.01-1S)**

Settlement is outlined at Clause 11.01-1S. Objectives of this Clause include:

- *To promote the sustainable growth of development of Victoria and deliver choice and opportunity for all Victorians through a network of settlements.*

**Activity Centres (Clause 11.03-1S)**

Activity centres is outlined at Clause 11.03-1S. Objectives of this Clause include:

- *To encourage the concentration of major retail, residential, commercial, administrative, entertainment and cultural developments into activity centres that are highly accessible to the community.*

**Urban Design (Clause 15.01-1S)**

Urban design is outlined at Clause 15.01-1S. Objectives of this Clause include:

- *To create urban environments that are safe, healthy, functional and enjoyable and that contribute to a sense of place and cultural identity.*

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**2.3.2 Town Planning Application - No. 2 Virginia Street, Springvale (Planning Application No. PLN17/0812) (Cont.)**

Building Design (Clause 15.01-2S)

Building design is outlined at Clause 15.01-2S. Objectives of this Clause include:

- *To achieve building design outcomes that contribute positively to the local context and enhance the public realm.*

Integrated Housing (Clause 16.01-1S)

Integrated housing is outlined at Clause 16.01-1S. Objectives of this Clause include:

- *To promote a housing market that meets community needs.*

Housing Diversity (Clause 16.01-3S)

Housing diversity is outlined at Clause 16.01-3S. Objectives of this Clause include:

- *To provide for a range of housing types to meet diverse needs.*

Land Use and Transport Planning (Clause 18.01-1S)

Land use and transport planning is outlined at Clause 18.01-1S. Objectives of this Clause include:

- *To create a safe and sustainable transport system by integrating land use and transport.*

**Local Planning Policy Framework**

The Local Planning Policy Framework (LPPF) includes the Municipal Strategic Statement (MSS) and Local Policies.

The MSS is contained within Clause 21 of the Scheme. The MSS at **Clause 21.02** focuses on the **Municipal Profile**, within which the following is noted:

- *There is considerable diversity within Greater Dandenong's housing stock. Most housing stock is between 30 to 50 years old, though there are some areas with dwellings in excess of 100 years old. Areas of newer housing are located in the north-east and central southern areas, with in-fill development occurring across the municipality (Clause 21.02-3).*
- *Higher density housing is generally located in proximity to railway stations and major shopping centres, in particular in central Dandenong (Clause 21.02-3).*
- *Whilst there is a clear pre-dominance of single detached dwellings, there are a range of other types of dwellings including dual occupancies, villa-units, town houses and apartments. The highest concentration of older villa units and apartments and more recent multi-unit redevelopments have occurred around central Dandenong, Springvale and Noble Park activity centres (Clause 21.02-4).*
- *With diverse cultural groups that call Greater Dandenong home, there are certain distinct precincts that are emerging that have their own character. Their built form is characterised by buildings with flat unarticulated facades, prominent balconies, limited frontage/side setbacks, limited or no landscaping (Clause 21.02-4).*

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**2.3.2 Town Planning Application - No. 2 Virginia Street, Springvale (Planning Application No. PLN17/0812) (Cont.)**

A **Vision for Greater Dandenong** is outlined at **Clause 21.03**. The vision is that Greater Dandenong will be a municipality where housing diversity and choice is promoted in its various attractive neighbourhoods.

The objectives and strategies of the MSS are under four (4) main themes including: land use; built form; open space and natural environment; and, infrastructure and transportation (considered individually under Clauses 21.04 to 21.07). Of particular relevance to this application are Clauses 21.04 – Land Use and 21.05 – Built Form:

*Clause 21.04-1 Housing and community*

- *Greater Dandenong's population is expected to rise by 22 percent, from 147,000 to 179,000 in the decade to 2024, placing pressure on transport networks, infrastructure, services and public open space.*
- *Approximately 9,950 new households will need to be accommodated across the municipality by 2024 (Greater Dandenong Housing Strategy 2014-2024).*
- *Supporting urban consolidation and providing housing in existing areas close to activity centres means that people do not need to travel as far to work, shop or to take part in sports/leisure activities thus reducing the environmental impacts of transport.*
- *Increases in housing density must be balanced by adequate provision of open space, good urban design and improvements to the public realm.*
- *Encourage the provision of housing that is adaptable to support the needs of the changing needs of present and future residents.*
- *Encourage innovative redevelopment and renewal of deteriorating housing stock and older styled higher-density apartments and multi-unit developments.*
- *Encourage new residential development that incorporates adequate space for the planting and the long term viability and safe retention of canopy trees.*
- *Respecting the valued, existing neighbourhood character within incremental and minimal change areas.*
- *Requiring medium-density developments to be site and locality responsive and to respect existing and proposed neighbourhood character.*

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**2.3.2 Town Planning Application - No. 2 Virginia Street, Springvale (Planning Application No. PLN17/0812) (Cont.)**

**Clause 21.05-1 – Urban design, character, streetscapes and landscapes**

– contains the following relevant objectives and strategies:

- *To facilitate high quality building design and architecture.*
  - *Ensure building design is consistent with the identified future character of an area and fully integrates with surrounding environment.*
  - *Encourage high standards of building design and architecture, which allows for flexibility and adaptation in use.*
  - *Encourage innovative architecture and building design.*
  
- *To facilitate high quality development, which has regard for the surrounding environment and built form.*
  - *Promote views of high quality landscapes and pleasing vistas from both the public and private realm.*
  - *Promote all aspects of character – physical, environmental, social and cultural.*
  - *Encourage planting and landscape themes, which complement and improve the environment.*
  - *Encourage developments to provide for canopy trees.*
  - *Recognising valued existing neighbourhood character and promoting identified future character as defined in the Residential Development and Neighbourhood Character Policy at Clause 22.09.*
  
- *To protect and improve streetscapes*
  - *Ensure that new developments improve streetscapes through generous landscape setbacks and canopy tree planting.*
  - *Ensure landscaping within private property that complements and improves the streetscapes and landscaping of public areas.*
  
- *To ensure landscaping that enhances the built environment*
  - *Encourage new developments to establish a landscape setting, which reflects the local and wider landscape character.*
  - *Encourage landscaping that integrates canopy trees and an appropriate mix of shrubs and ground covers and complements and integrates with existing or proposed landscaping in public areas.*

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**2.3.2 Town Planning Application - No. 2 Virginia Street, Springvale (Planning Application No. PLN17/0812) (Cont.)**

**Clause 22.09 – Residential Development & Neighbourhood Character Policy**

– contains the following objectives at Clause 22.09-2:

- *To guide the location and design of different types of residential development within Greater Dandenong, having regard to State and local planning policies, while respecting the valued characteristics and identified future character of residential neighbourhoods.*
- *To ensure that new residential development is consistent with the identified future character and preferred built form envisaged for the three Future Change Areas.*
- *To provide certainty about which areas are identified for, or protected from, increased residential development consistent with the purpose of the applicable zone.*
- *To facilitate high quality, well designed residential development and on-site landscaping.*
- *To promote a range of housing types to accommodate the future needs of the municipality's changing population.*
- *To ensure that residential development uses innovative, responsive and functional siting and design solutions that:*
  - *Achieve high quality internal amenity and private open space outcomes for future residents;*
  - *Make a positive contribution to the streetscape through quality design, contextual responsiveness and visual interest;*
  - *Promote public realm safety by maximising passive surveillance.*
  - *Demonstrate responsiveness to the site, adjoining interfaces, streetscape and landscape context;*
  - *Respect the amenity of adjoining residents and the reasonable development potential of adjoining properties;*
  - *Achieve environmentally sustainable design outcomes;*
  - *Use quality, durable building materials that are integrated into the overall building form and façade; and*
  - *Minimise the visual dominance of vehicle accessways and storage facilities, such as garages, car ports and basement entrances.*

Clause 22.09-3.1 (Design Principles) provides design principles, which apply to all Future Change Areas.

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**2.3.2 Town Planning Application - No. 2 Virginia Street, Springvale (Planning Application No. PLN17/0812) (Cont.)**

Clause 22.09-3.2 (Substantial Change Areas) provides design principles which are identified as follows:

- *Preferred housing type – The preferred housing type for the Substantial Change Area is medium to high density.*
- *Building Height – The preferred maximum building height for land within the RGZ1 and RGZ2 is up to 4 storeys, including ground level.*
- *Bulk and Built Form –*
  - *Building bulk and height can be relatively uniform throughout the depth of sites, where articulated building elevations and well-proportioned ground level setbacks to upper levels are provided at the front, side and rear of buildings to allow for substantial landscaping to soften the built form*
  - *Upper level tiering may be appropriate in some cases with upper levels recessed from view. Tiered building profiles that result in excessive upper level setbacks should be avoided.*
  - *Separation between upper levels of dwellings on a site is not generally needed, provided the building portrays a high standard of design and does not result in unreasonable amenity impacts.*
  - *The bulk and mass of the upper levels of any dwelling should not have an unreasonable adverse impact on the amenity of adjacent residential secluded private open spaces.*
  - *Residential development should be well articulated through the use of contrast, texture, variation in forms, materials, openings, colours and the inclusion of vertical design elements.*
- *Site Design – High density residential developments should provide safe and innovative communal open spaces.*

**Clause 22.10 – Springvale Activity Centre Local Planning Policy** – contains the following objectives:

- *To encourage the consolidation of appropriate sites where development outcomes respect the character of the activity centre and where it assists in the establishment of well designed, mixed-use developments.*
- *To ensure lots integrate and reflect the rhythm and scale of adjoining lots.*
- *To position the centre at a level that encourages further investment, redevelopment and business confidence.*
- *To improve walking and cycling links within the centre*
- *To encourage the availability and appropriate siting of cycling and public transport infrastructure.*
- *To provide appropriate higher density housing options to support the commercial component of the centre.*
- *To reduce visual clutter and promote consistent design form.*
- *To encourage the use of high quality building materials and finishes on the exterior of all new development*

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**2.3.2 Town Planning Application - No. 2 Virginia Street, Springvale (Planning Application No. PLN17/0812) (Cont.)**

**Particular Provisions**

Car Parking (Clause 52.06)

The purposes of this provision, Clause 52.06, are:

- *To ensure that car parking is provided in accordance with the State Planning Policy Framework and Local Planning Policy Framework.*
- *To ensure the provision of an appropriate number of car parking spaces having regard to the demand likely to be generated, the activities on the land and the nature of the locality.*
- *To support sustainable transport alternatives to the motor car.*
- *To promote the efficient use of car parking spaces through the consolidation of car parking facilities.*
- *To ensure that car parking does not adversely affect the amenity of the locality.*
- *To ensure that the design and location of car parking is of a high standard, creates a safe environment for users and enables easy and efficient use.*

Clause 52.06-2 notes that a new use must not commence or the floor area of an existing use must not be increased until the required car spaces have been provided on the land.

The required spaces are identified in the table to Clause 52.06-5. Clause 52.06-3 further notes that a permit may be granted to reduce or waive the number of car spaces required by the table.

The table at Clause 52.06-5 notes that a dwelling with 1 or 2 bedrooms requires 1 car space, and a dwelling with 3 or more bedrooms requires 2 spaces to each dwelling.

The rate of nil (i.e. 0) visitor car parking spaces apply to land identified as being within the Principal Public Transport Network Area ("PPTN Area"), for developments of 5 or more dwellings. In this regard, as the proposal is identified as being located within PPTN Area and contains fourteen (14) apartments; there is no requirement for any visitor car parking to be provided on the subject site.

Car parking is to be designed and constructed in accordance with the requirements of Clause 52.06-9 and 52.06-11 of the Scheme.

Two or more dwellings on a lot and residential buildings (Clause 55)

Pursuant to Clause 55 of the Greater Dandenong Planning Scheme, the provisions of this Clause apply to an application:

- *To construct two or more dwellings on a lot.*

The purposes of this clause are:

- *To implement the State Planning Policy Framework and the Local Planning Policy Framework, including the Municipal Strategic Statement and local planning policies.*
- *To achieve residential development that respects the existing neighbourhood character or which contributes to a preferred neighbourhood character.*

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**2.3.2 Town Planning Application - No. 2 Virginia Street, Springvale (Planning Application No. PLN17/0812) (Cont.)**

- *To encourage residential development that provides reasonable standards of amenity for existing and new residents.*
- *To encourage residential development that is responsive to the site and the neighbourhood.*

A development:

- *Must meet all of the objectives of this clause.*
- *Should meet all of the standards of this clause.*

If a zone or a schedule to a zone specified a requirement of a standard different from a requirement set out in this clause, the requirement in the zone or a schedule to the zone applies.

**General Provisions**

Clause 65 – Decision Guidelines needs to be considered, as is the case with all applications. For this application the requirements of Clause 65.01 for the approval of an application or plan is of relevance. This Clause outlines the requirements that the responsible authority must consider when determining the application.

**Restrictive Covenants**

Restrictive Covenant 2143944 is registered to the Certificate of Title. The Covenant restricts the excavation of particular materials except for the purpose of excavating for the foundations of any building to be erected thereon or to use the said land for the manufacturing or winning of bricks, tiles or pottery. The grant of a permit would not be in breach of the Covenant restrictions.

**Council Plan 2017-2021 – Strategic Objectives, Strategies and Plans**

The Council Plan describes the kind of future the Council is working for, and how Council will do this over four years. In accordance with the commitment in Council's Annual Plan, all applications are considered on their merits.

**Diversity (Access & Equity)**

It is not considered that the proposal raises any diversity issues affecting the planning assessment of this application.

**Community Safety**

It is considered that there would be no adverse community safety implications in permitting the proposal.

**Safe Design Guidelines**

Consideration of the relevant requirements of these Guidelines has been undertaken within the Assessment of this application.

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**2.3.2 Town Planning Application - No. 2 Virginia Street, Springvale (Planning Application No. PLN17/0812) (Cont.)**

**Referrals**

**External**

The application was not required to be referred to any external referral authorities pursuant to Section 55 of the Planning and Environment Act 1987.

**Internal**

The application was internally referred to the following Council Departments for their consideration. The comments provided will be considered in the assessment of the application.

<b>Internal Referrals</b>	
Civil Development	No objections, subject to conditions on permit
Transport Planning	No objections, subject to conditions on permit
Asset Planning	No objections, subject to conditions on permit
ESD and Sustainability	No objections, subject to conditions on permit
Waste Management	No objections, subject to conditions on permit
Urban Design	No objections, subject to conditions on permit

**Advertising**

The application has been advertised pursuant to Section 52 of the Planning and Environment Act 1987, by:

- Sending notices to the owners and occupiers of adjoining land.
- Placing sign on site facing Virginia Street.

The notification has been carried out correctly.

Council has received ten (10) objections to date.

*The location of the objectors is shown in Attachment 2.*

**Consultation**

A consultative meeting was held on 29/08/2018, with the applicant and a Council representative in attendance. No objectors attended the consultative meeting.

**Summary of Grounds of Objections**

The objections are summarised below (**bold**), followed by the Town Planner's Response (in *italics*).

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**2.3.2 Town Planning Application - No. 2 Virginia Street, Springvale (Planning Application No. PLN17/0812) (Cont.)**

**Neighbourhood character**

*Concerns were raised that the proposal is inconsistent with the character of the street and surrounding area. The site is located within the substantial change area which encourages well-designed medium to high density development. The proposal maintains consistency with the identified future character of the substantial change area, as well as consistency with the existing character of the immediate surrounds with two (2) apartment style buildings directly opposite the site at 3 Virginia Street and 235-239 Springvale Road.*

**Visual bulk, setbacks and massing**

*Concerns were raised that the proposal presents as visually bulky, with excessive massing and minimal setbacks. The proposal generally complies with the Standard B17 provisions with the exception of an instance to the western boundary (car park interface). In addition, the proposal affords adequate articulation at the individual levels through the use of visual cut outs (balconies), varied materials and colours and physical recession. The proposal is considered to be of an acceptable built form, consistent with the development character sought under Clause 22.09-3.2 for the substantial change area.*

**Building height**

*Objectors have raised concern regarding the overall height of the development. The four storey height proposed (totalling a maximum height of 13.25m) maintains consistency with the zone and local policy provisions noting that the zone allows a discretionary maximum height of 13.5m and the policy allows a preferred maximum building height up to four (4) storeys.*

**Privacy**

*Objectors have raised concern regarding privacy and overlooking. The proposal includes the necessary screening mechanisms to avoid overlooking as per the requirements of Standard B22.*

**Overshadowing**

*Objectors have raised concern regarding overshadowing of private open space. The proposal would overshadow the private open space of the adjoining property to the east at 4 Virginia Street, however it is noted that at its worst (3pm) at least 105sqm of the open space (approx.) maintains sunlight with a minimum dimension of 3m, thus meeting the standard and objective outlined at Clause 55.04-5. Whilst overshadowing will also occur to the south of the site, this area is used for commercial car parking and thus not applicable to the standards.*

**Inadequate car parking**

*Objectors have raised concern regarding inadequate car parking available for the site. The proposal affords 15 car parking spaces (inclusive of one visitor space), where only 14 are required, thus achieving consistency and exceeding the provisions outlined at Clause 52.06-5. It is noted that the site is located within the Principal Public Transport Network (PPTN), thus visitor car parking requirements are waived. The proposal therefore has excess car parking spaces available on site.*

**Traffic and congestion**

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**2.3.2 Town Planning Application - No. 2 Virginia Street, Springvale (Planning Application No. PLN17/0812) (Cont.)**

*Objectors have raised concern regarding traffic and congestion on Virginia Street and the surrounding local road network. The application was referred to Council's Transport Planning department with no concern raised regarding additional traffic and street congestion.*

**Constrained infrastructure**

*Objectors have raised concern regarding constrained public infrastructure due to the increase in demand from the proposed development. The application was referred to Council's Asset Planning and Civil Development departments with no concern raised regarding a strain on infrastructure capacity.*

**Assessment**

**Planning Policy Framework / Local Planning Policy Framework**

In considering the Planning Policy Framework and the Local Planning Policy Framework, Council can establish that an acceptable proposal will be guided by:

- Clause 55 Two or more dwellings on a lot;
- Clause 22.09 Residential Development and Neighbourhood Character; and
- Clause 22.10 Springvale Activity Centre Local planning policy of the Greater Dandenong Planning Scheme.

Each of these Clauses ensures that Council facilitates the orderly development of urban areas, which is a specific objective of Clause 11.02 *Settlement*.

The objectives of Clause 15.01-01S *Urban Design*, Clause 15.01-02S *Building Design* and Clause 21.05-1 *Built Form* outline the key considerations in which a development must respond to urban design, character, streetscapes and landscape issues.

It is considered that the proposed design response respects the preferred neighbourhood character of the substantial change area by providing a high density housing typology in the form of a 4 storey apartment building.

The proposal is of a high quality urban design, with physical recession, articulation, the use of feature screens, varied use of materials, textures and other visual interest. The proposal is not significantly tiered at the upper levels, thus avoiding the 'wedding cake' effect.

The overall layout incorporates acceptable landscaping treatments across the site as evident in the landscape plan provided with the application. This includes significant canopy tree and shrubbery plantings within well-proportioned setback areas to allow growth to maturity.

The proposal is also located within an area subject to substantial change with other apartment buildings constructed within the last 10 years, of a similar scale and massing. The proposal is however, a much improved contemporary design, limiting any visual impact to the street. The proposal's compliance with Clause 22.09 and Clause 55 (subject to conditions) ensures that the development would achieve the objectives set out in Clause 15.01 and Clause 21.05-1.

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**2.3.2 Town Planning Application - No. 2 Virginia Street, Springvale (Planning Application No. PLN17/0812) (Cont.)**

In addition, the Springvale Activity Centre Local Planning Policy at Clause 22.10 provides a number of Policy Objectives as related to the Centre. These include:

- *To provide appropriate higher density housing options to support the commercial component of the centre.*

It is policy that new residential development contributes to an improved urban character and respects existing residential interface and setbacks and that well designed multi-level medium and higher density housing in the centre is encouraged. The proposed development is consistent with the objectives and policy directions of the Springvale Activity Centre Local Policy as well as the recently approved Springvale Activity Centre Structure Plan and therefore strongly encouraged in this location.

As such Council officers recommend that the application be approved subject to planning permit conditions as necessary.

**Clause 22.09 Assessment**

An assessment against the design principles of Clause 22.09 is included at Attachment 3 of this report. This proposal provides a design response which is consistent with the preferred character envisaged by Clause 22.09, except in the following instances:

- **Safety**

The proposed development fails to provide adequate security lighting along the pedestrian entrance and within the basement car park.

Permit conditions will require the provision of sensor lighting along the pedestrian entrance, along the basement ramp and within the basement car park to improve overall site safety (Condition 1.1).

**Clause 55 Assessment**

A Clause 55 Assessment is attached to this report at Attachment 4 and 5. Standards that warrant further consideration are discussed as follows:

Clause 55.03-7 Safety objective

Objective:

- *To ensure the layout of development provides for the safety and security of residents and property.*

Standard B12

The proposal fails to meet the relevant standard requiring the provision of lighting to the car parking and pedestrian areas.

A condition of permit will require the provision of sensor lighting along the pedestrian entrance, along the basement ramp and within the basement car park to improve overall site safety (Condition 1.1).

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**2.3.2 Town Planning Application - No. 2 Virginia Street, Springvale (Planning Application No. PLN17/0812) (Cont.)**

Clause 55.03-8 Landscaping objectives (varied under RGZ2)

Relevant objectives:

- To encourage development that respects the landscape character of the neighbourhood.
- To encourage development that maintains and enhances habitat for plants and animals in locations of habitat importance.
- To provide appropriate landscaping.
- To encourage the retention of mature vegetation on the site.

Standard B13

The proposal fails to meet the minimum 70% landscaping requirement within the front setback area of the site, with 50% landscaping proposed. Whilst the proposal fails to meet the minimum standard, it is clear that adequate landscaping has been provided across the site as evident in the landscaping plan which seeks to soften the overall built form of the proposal.

Whilst the proposal fails to meet the standard, given the width of the block, the specific accessway width and pedestrian access requirements for apartment buildings, areas available for landscaping are generally more limited than typical multi-dwelling arrangements. Further, the applicant has indicated that the services engineer has confirmed the requirement for the site services (hydrant and sprinkler boosters) to be on the front boundary, facing the street, again reducing space available for landscaping.

As such, the reduced rate of 50% is considered to be appropriate, noting the proposed landscaping onsite will assist in providing a strong landscape character for the site and surrounds, with a large feature tree planting within the building frontage.

The proposal is considered to meet the objectives of Clause 55.03-8, with a variation to the standard recommended.

Clause 55.05-1 Side and rear setbacks objective

Objective:

- To ensure that the height and setback of a building from a boundary respects the existing or preferred neighbourhood character and limits the impact on the amenity of existing dwellings.

Standard B17

The proposal fails to meet the minimum side setback requirements to the western boundary at first floor, second floor and third floor as well as the minimum side setback requirements to the eastern boundary at ground, second floor and third floor.

Whilst the proposal fails to meet the minimum setback requirement to the western boundary, the adjoining interface is not considered to be a sensitive one (car park associated with shops) and as such, the variation sought is going to have a limited impact. Furthermore, the site to the west is zoned Commercial 1 Zone, meaning it is unlikely to be used for a sensitive use, such as residential, in the future.

**2.3.2 Town Planning Application - No. 2 Virginia Street, Springvale (Planning Application No. PLN17/0812) (Cont.)**

In addition, whilst the proposal fails to meet the minimum setback requirement to the eastern boundary, the adjoining interface is primarily an existing accessway, garage and other outbuildings hard to the boundary, thus the impact of visual bulk and massing to adjoining residential land is limited. Also, the variations sought to the eastern boundary are considered very minor and result in minimal visual bulk, as they are primarily eaves, planter box and a porch feature, thus limiting the impact of massing.

As such, the proposal is considered to meet the objective of Clause 55.04-1, with a variation to the standard recommended.

Clause 55.05-4 Private open space objective (varied under RGZ2) / Clause 55.07-9 Private open space above ground floor objective (varied under RGZ2)

Objective:

- To provide adequate private open space for the reasonable recreation and service needs of residents.

Standard B28

The following dwellings fail to meet the minimum requirements of the Residential Growth Zone – Schedule 2, which require S/POS as per the following:

*An area of 40 square metres, with one part of the private open space to consist of secluded private open space at the side or rear of the dwelling or residential building with a minimum area of 25 square metres; or a balcony or rooftop with a minimum area of 10 square metres with a minimum width of 2 metres that is directly accessible from a living room.*

Dwellings that fail to comply with the standard:

- Dwelling 1 (G01): 65sqm of private open space, including an area of 27sqm of secluded private open space to the site frontage with a minimum dimension of 3m (frontage not considered secluded with 1.2m high front fence only)
- Dwelling 2 (G02): 36sqm of private open space (4sqm variation), including an area of 25sqm of secluded private open space with a minimum dimension of 2.9m (0.1m variation)
- Dwelling 5 (G05): 43sqm of private open space, including an area of 26sqm with a varied minimum dimension between 2.9m (0.1m variation) and 4.4m
- Dwelling 10 (105): A balcony with 9.1sqm (0.9sqm variation) of secluded private open space and a minimum dimension of 2m and a secondary balcony with 6sqm of secluded private open space and a minimum dimension of 1.75m

Whilst it is acknowledged that there are a number of the open space areas at ground floor fail to meet the minimum dimension and area sizes (see non-compliances above), these are all very minor non-compliances in terms of dimensions. Furthermore, the open space areas are considered to be of high quality, accessible and useable for recreational purposes with all services located within the basement, thus ensuring that the space is unencumbered.

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**2.3.2 Town Planning Application - No. 2 Virginia Street, Springvale (Planning Application No. PLN17/0812) (Cont.)**

In addition to the above, all balconies meet the minimum requirements of Standard B28 with the exception of Dwelling 10 (105) which fails to meet the minimum area requirement of 10sqm with only 9.1sqm proposed. A minor shortfall of 0.9sqm is sought for variation. However, as the dwelling affords an additional 6sqm balcony to bedroom 1 and the balcony will not be encumbered by site services, it is considered that the variation is acceptable on the basis that this space is sufficient for recreational purposes.

Overall, it is considered that the proposal meets the objective of Clause 55.05-4.

Clause 55.05-5 Solar access to open space objective

Objective:

- To allow solar access into the secluded private open space of new dwellings and residential buildings.

Standard B29

The ground, first and second floor, south facing open space/balconies do not meet the minimum setback requirements, specifically apartments G03, G04, 104 and 203. The minimum setbacks required at ground floor would generally all be in excess of 5 metres based on a wall height between 4.2 metres to 6.6 metres whilst the minimum setbacks required at first floor would be 4.7 metres with a wall height of 3 metres.

The proposal fails to meet the minimum standard for the south facing secluded private open space areas, primarily due to the north-south orientation of the site and its proposed use as an apartment building. However, it is important to note that this is not an unusual outcome on a development of this nature.

Whilst a number of dwellings on the southern side of the building will fail to meet the minimum setback requirement under Standard B29, the shadow diagrams indicate that solar access is achieved throughout the day due to the positioning of ground floor open space and balconies, which have been designed to have an east or west orientation in some part ensuring long term useability for improved residential amenity.

Overall, it is considered that the proposal meets the objective of Clause 55.05-5.

Clause 55.07-7 Accessibility objective

Objective:

- *To ensure the design of dwellings meets the needs of people with limited mobility.*

Standard B41

**2.3.2 Town Planning Application - No. 2 Virginia Street, Springvale (Planning Application No. PLN17/0812) (Cont.)**

It is noted that 7 of the 14 dwellings have been proposed for accessibility in accordance with the standard. However, out of these 7 dwellings, 2 fail to meet the minimum standard requirements. Dwellings 1 and 5 fail to provide an adaptable style bathroom in accordance with the standards, noting that in some instances the toilets are located in separate rooms, or the circulation area is not correctly located.

A permit condition will be necessary to ensure that the proposal meets the objective of Clause 55.07-7. The condition will require the reconfiguration of the dwelling 1 and 5 bathrooms to ensure that they are adaptable style bathrooms, allowing access for people with limited mobility (Condition 1.2).

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**2.3.2 Town Planning Application - No. 2 Virginia Street, Springvale (Planning Application No. PLN17/0812) (Cont.)**

Clause 55.07-10 Storage objective

Objective:

- *To provide adequate storage facilities for each dwelling.*

Standard B45

Dwelling 301 fails to meet the minimum storage requirement, with only 8cbm of internal storage and 5cbm of external storage proposed, whereas a total of 14cbm and 9cbm located within the dwelling is required.

Given that this is the top floor apartment, it is believed that sufficient space is available for the provision of storage to ensure compliance with the standard and as such a condition of permit will be required to ensure that dwelling 301 meets the storage standard (Condition 1.6).

It is acknowledged that there are a number of variations to Clause 55, as detailed above, however it is important to note that almost all of these variations are very minor, and making further changes to accommodate the minor variations is likely to result in a poor outcome in terms of the functionality, liveability and built form of the proposal. Furthermore, given the minor variations sought, it is highly likely that VCAT would support the proposal in its current form.

**Clause 52.06 Assessment**

A Clause 52.06 Assessment is attached to this report at Attachment 6. Standards that warrant further consideration are discussed as follows:

- **Mechanical Parking**

Council's Transport Planning department have recommended that both mechanical stacking units have a minimum length of 5.4 metres.

Permit conditions will require that mechanical stackers have a minimum length of 5.4 metres to ensure that B99 vehicles can be accommodated (Condition 1.7).

- **Safety**

The proposed development fails to provide adequate security lighting along the pedestrian entrance and within the basement car park.

Permit conditions will require the provision of sensor lighting along the pedestrian entrance, along the basement ramp and within the basement car park to improve overall site safety (Condition 1.1).

Visitors will have to access to the site through remote application technology and prior arrangements with tenants.

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**2.3.2 Town Planning Application - No. 2 Virginia Street, Springvale (Planning Application No. PLN17/0812) (Cont.)**

**Other matters**

Bicycle Parking

Pursuant to Clause 52.34, the following bicycle parking rates are applicable:

- Dwelling:
  - Employee/resident: In developments of four or more storeys, 1 to each 5 dwellings; and
  - Visitor/shopper/student: In developments of four or more storeys, 1 to each 10 dwellings.

As such, a total of four (4) bicycle parking spaces are required, with two (2) for residents and two (2) for visitors to the site.

The proposed basement includes the provision of 13 bicycle parking spaces utilising 'ned kelly' bicycle racks, thus the provisions of Clause 52.34 have been achieved.

Waste Management Plan

The application includes a detailed waste management plan which has been assessed by Council's Waste department. The waste management plan indicates the use of a private waste contractor, with collection from the kerbside. Waste will be transferred from the basement bin storage room with the use of a bin tug, up the basement ramp onto the street prior to collection. A total of eight (8) 240L bins are proposed, with four (4) for both garbage and recycling. No objections were received to the proposed waste management plan and no additional conditions required.

Sustainable Management Plan

The application included a detailed sustainability report which has been assessed by Council's ESD department. No objections were received, subject to planning permit conditions.

**Conclusion**

The proposal is generally consistent with the provisions of the Greater Dandenong Planning Scheme, including the zoning requirements, local policy direction, application of Clause 55, and the decision guidelines of Clause 65, subject to conditions.

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**2.3.2 Town Planning Application - No. 2 Virginia Street, Springvale (Planning Application No. PLN17/0812) (Cont.)**

**Recommendation**

**That Council resolves to issue a Notice of Decision to Grant a Permit in respect of the land known and described as 2 Virginia Street SPRINGVALE VIC 3173, for the development of the land for fourteen (14) apartments within a four storey building with basement in accordance with the plans submitted with the application subject to the following conditions:**

- 1. Before the development starts, amended plans to the satisfaction of the Responsible Authority must be submitted to and approved by the Responsible Authority. The amended plans must be drawn to scale with dimensions. The amended plans must be generally in accordance with the plans submitted and assessed with the application but modified to show:
  - 1.1. Sensor lighting provided along the length of the pedestrian entrance, the length of the basement ramp and within the basement car park.**
  - 1.2. Dwelling 1 and 5 bathrooms to be reconfigured ensuring compliance with Standard B41.**
  - 1.3. All adaptable bathroom showers nominated as 'hobless' step free showers.**
  - 1.4. Dwelling 301 storage to be increased to meet the minimum Standard B45 requirement.**
  - 1.5. Mechanical car parking stackers to have a minimum length of 5.4 metres.**
  - 1.6. Elevations specifying which windows are operable, including the type of operable window. All windows must comply with Standard B22.**
  - 1.7. Incorporate additional shading measures to dwellings 1, 101 and 301 to reduce direct solar heat gain.**
  - 1.8. Finished floor levels and basement apex to the satisfaction of the Responsible Authority.**
  - 1.9. The landscape plan modified to capture any changes under Condition 1.****All to the satisfaction of the Responsible Authority.****
- 2. When approved, the amended landscape plan will be endorsed and will form part of this permit.**
- 3. The provisions, recommendations and requirements of the landscape plan must be implemented and complied with to the satisfaction of the Responsible Authority.**
- 4. Landscaping in accordance with the endorsed landscaping plan and schedule must be completed before the building is occupied.**

**2.3.2 Town Planning Application - No. 2 Virginia Street, Springvale (Planning Application No. PLN17/0812) (Cont.)**

5. **At all times, the landscaping must be maintained in good order in accordance with the endorsed landscape plan and schedule to the satisfaction of the Responsible Authority.**
6. **The provisions, requirements and recommendations of the endorsed Waste Management Plan must be implemented and complied with to the satisfaction of the Responsible Authority.**
7. **When approved, the Waste Management Plan will be endorsed and will form part of this permit.**
8. **Before the development starts, the applicant is to submit a revised Sustainability Management Plan, in particular a revised energy efficiency assessment in accordance with any alterations to the plans in response to Condition 1 of the permit.**
9. **The development must be constructed in accordance with the design initiatives specified in the approved sustainability management plan (prepared by Ark Resources, Report no. 1110A, dated 27 Nov 2017). Any alterations to this report must not occur without written consent from the responsible authority**
10. **Except with the prior written consent of the Responsible Authority, the layout of the land and the size, design and location of the buildings and works permitted must always accord with the endorsed plan and must not be altered or modified.**
11. **Once the approved development has started, it must be continued and completed in accordance with the endorsed plans, to the satisfaction of the Responsible Authority.**
12. **Except with the prior written consent of the Responsible Authority, the approved building must not be occupied until all buildings and works and the conditions of this permit have been complied with.**
13. **Before the approved building is occupied, the development must be provided with external lighting capable of illuminating access to the basement, car parking spaces and pedestrian walkway. Lighting must be located, directed and shielded to the satisfaction of the Responsible Authority so as to prevent any adverse effect outside the land.**
14. **Letterboxes and all other structures (including fencing and landscaping) should be constructed to a maximum height of 900mm or relocated clear of a splayed area (2m x 2.5m) along the frontage road at access points in accordance with Clause 52.06-9 of the Planning Scheme.**
15. **Before the approved building is occupied, the privacy screens and other measures to prevent overlooking as shown on the endorsed plans must be installed to the satisfaction of the Responsible Authority.**

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**2.3.2 Town Planning Application - No. 2 Virginia Street, Springvale (Planning Application No. PLN17/0812) (Cont.)**

16. All privacy screens and other measures to prevent overlooking as shown on the endorsed plans must at all times be maintained to the satisfaction of the Responsible Authority.
17. Except with the prior written consent of the Responsible Authority, service units, including air conditioning/heating units, must not be located on any of the balcony areas.
18. The mechanical car stackers must be maintained in a good working order and be permanently available for the parking of vehicles in accordance with their purpose, to the satisfaction of the Responsible Authority.
19. The mechanical stackers must be routinely serviced and maintained to the satisfaction of the Responsible Authority to ensure satisfactory access to all car spaces and to prevent any adverse effect on adjoining land by the emission of noise.
20. Provision must be made for the drainage for proposed development including landscaped and paved areas, all to the satisfaction of the Responsible Authority.
21. The connection of the internal drainage infrastructure to the Legal Point of Discharge must be to the satisfaction of the Responsible Authority.
22. Collected stormwater must be retained onsite and discharged into the drainage system at pre development peak discharge rates as stated in the Legal Point of Discharge approval letter. Approval of drainage plan including any retention system within the property boundary is required.
23. Access to the site and any associated roadwork must be constructed, all to the satisfaction of the Responsible Authority.
24. No buildings or works may be constructed over any easement or other restriction on the land or any sewers, drains, pipes, wires or cables under the control of a public authority without the prior written consent of the relevant authority and the Responsible Authority.
25. This permit will expire if: -
  - 25.1 The development or any stage of it does not start within two (2) years of the date of this permit, or
  - 25.2 The development or any stage of it is not completed within four (4) years of the date of this permit.

Before the permit expires or within six (6) months afterwards the owner or occupier of the land may in writing request the Responsible Authority to extend the expiry date.

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**2.3.2 Town Planning Application - No. 2 Virginia Street, Springvale (Planning Application No. PLN17/0812)  
(Cont.)**

**The owner or occupier of the land may in writing request the Responsible Authority to extend the expiry date to complete the development or a stage of the development if:**

- 25.3. The request for the extension is made within twelve (12) months after the permit expires; and**
- 25.4. The development or stage started lawfully before the permit expired.**

**Permit notes**

**The minimum finished floor level of the proposed construction would be recommended 48.71m to AHD.**

**The apex level of entry ramp to the underground basement would be recommended to be 48.15m to AHD.**

**Any works undertaken within the road reservation and easements will require the developer to obtain a Civil Works Permit from Council.**

**Prior to works commencing the developer will need to obtain an Asset Protection Permit from Council.**

**Any existing vehicle crossing will need to be removed and reinstate with kerb in accordance with Council Standards.**

**No buildings or works may be constructed over any easement or other restriction on the land or any sewers, drains, pipes, wires or cables under the control of a public authority without the prior written consent of the relevant authority and the Responsible Authority.**

**This permit is granted on the basis that consent to build over the easement is granted. If consent is not granted, the permit cannot be acted upon.**

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**2.3.2 Town Planning Application - No. 2 Virginia Street, Springvale (Planning Application No. PLN17/0812)  
(Cont.)**

**STATUTORY PLANNING APPLICATIONS**

**TOWN PLANNING APPLICATION - NO. 2 VIRGINIA STREET, SPRINGVALE  
(PLANNING APPLICATION NO. PLN17/0812)**

**ATTACHMENT 1**

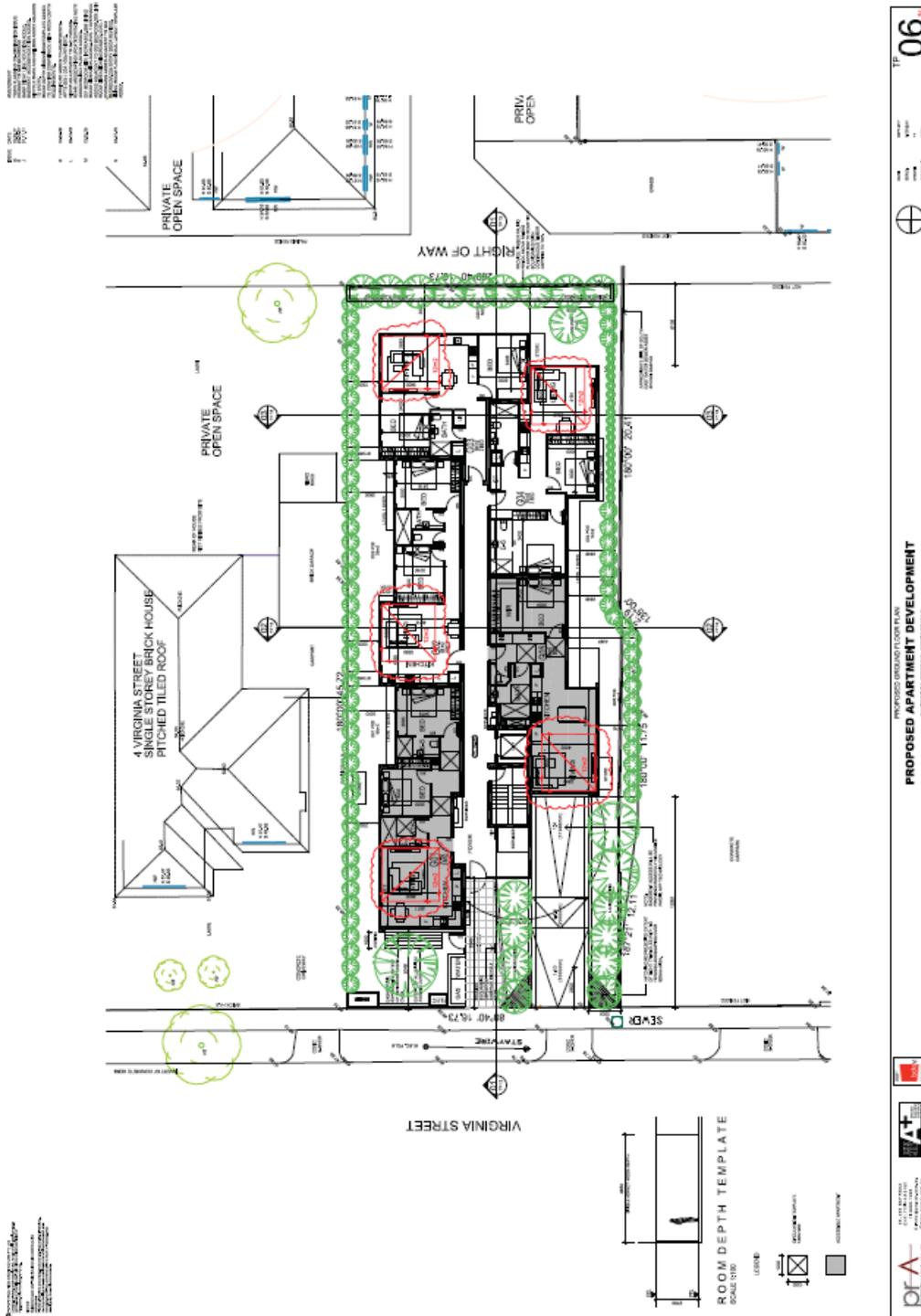
**SUBMITTED PLANS**

**PAGES 15 (including cover)**

*If the details of the attachment are unclear please contact Governance on 8571 5235.*

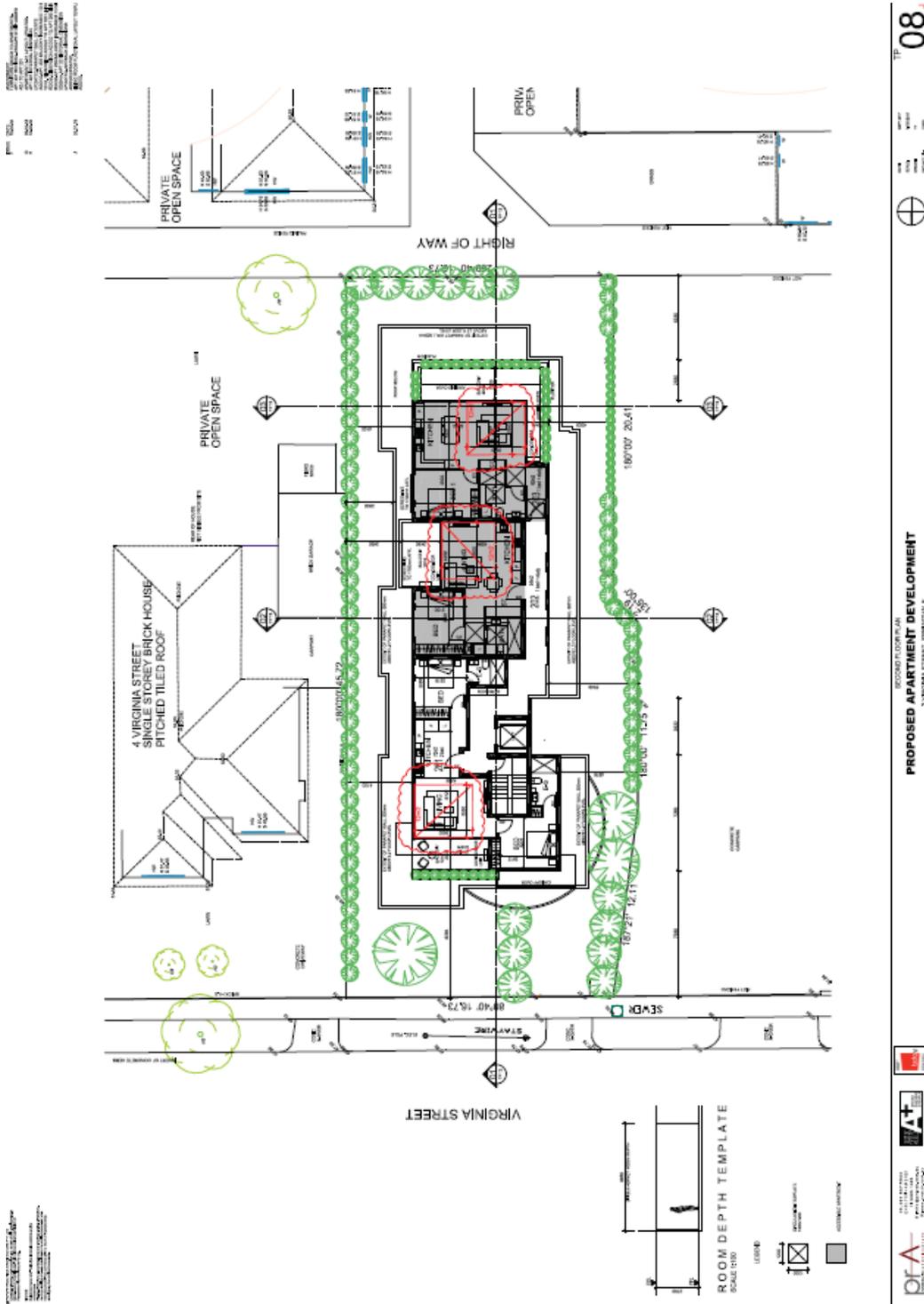


**2.3.2 Town Planning Application - No. 2 Virginia Street, Springvale (Planning Application No. PLN17/0812) (Cont.)**





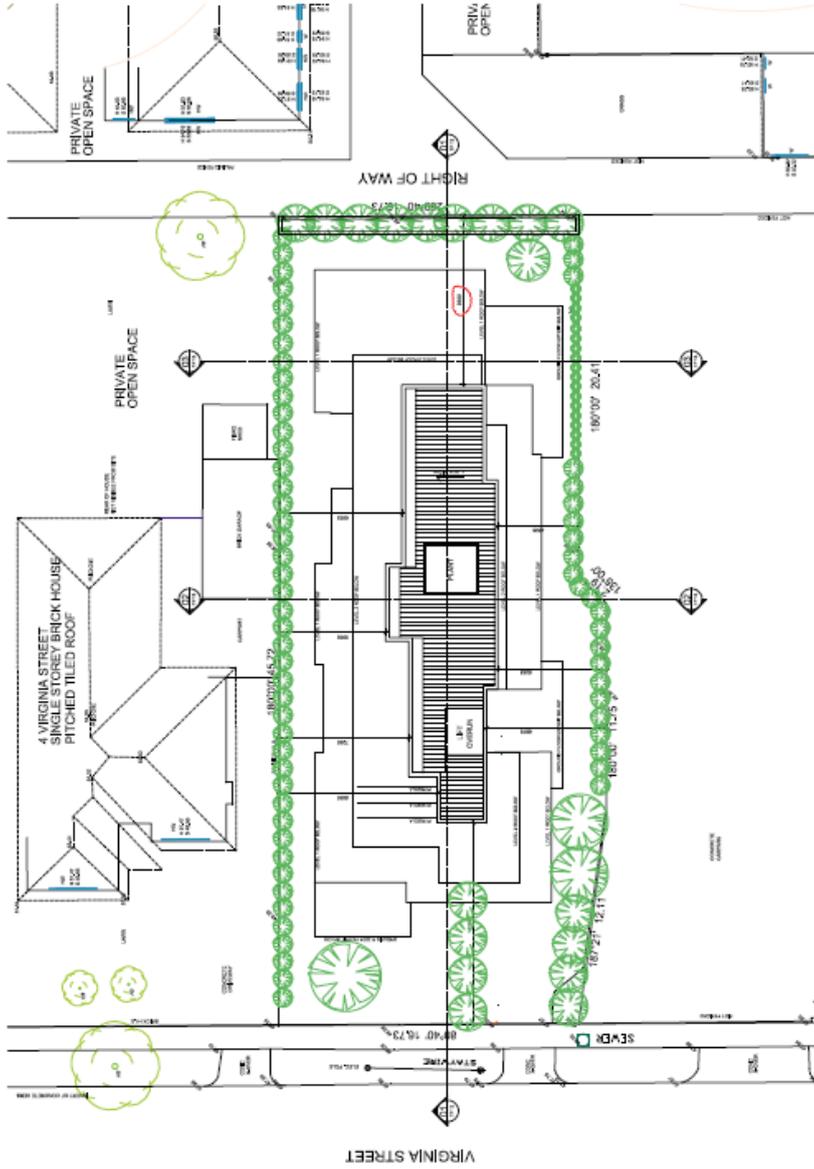
**2.3.2 Town Planning Application - No. 2 Virginia Street, Springvale (Planning Application No. PLN17/0812) (Cont.)**





**2.3.2 Town Planning Application - No. 2 Virginia Street, Springvale (Planning Application No. PLN17/0812) (Cont.)**

PROPOSED ROOF PLAN  
 2 LEVELS: LEVEL 1, LEVEL 2



PROPOSED ROOF PLAN  
 2 LEVELS: LEVEL 1, LEVEL 2

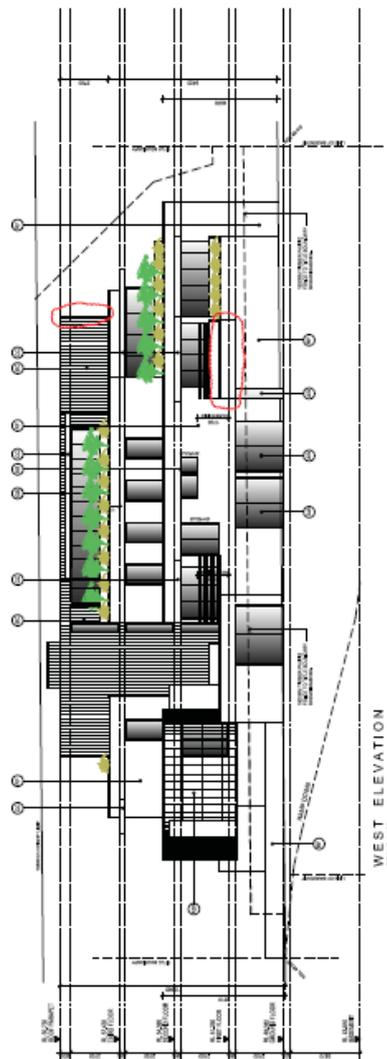
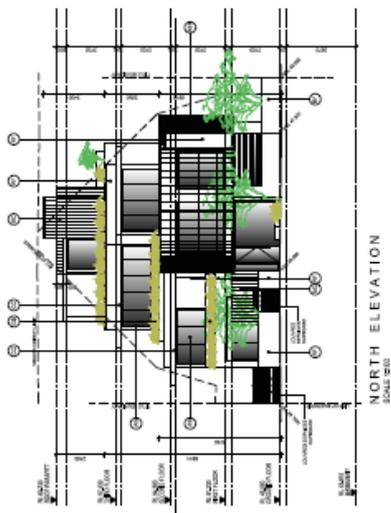
PROPOSED ROOF PLAN  
 2 LEVELS: LEVEL 1, LEVEL 2  
**PROPOSED APARTMENT DEVELOPMENT**

**2.3.2 Town Planning Application - No. 2 Virginia Street, Springvale (Planning Application No. PLN17/0812) (Cont.)**

1	1:1000
2	1:500
3	1:250
4	1:100
5	1:50
6	1:25
7	1:10
8	1:5
9	1:2
10	1:1

**FINISH LEGEND**

①	CONCRETE
②	PAINTED BRICK
③	GLAZED ALUMINIUM CURTAIN WALL
④	GLAZED ALUMINIUM WINDOW
⑤	GLAZED ALUMINIUM DOOR
⑥	GLAZED ALUMINIUM BALCONY RAILING
⑦	GLAZED ALUMINIUM BALCONY GLASS
⑧	GLAZED ALUMINIUM BALCONY GLASS RAILING
⑨	GLAZED ALUMINIUM BALCONY GLASS RAILING GLASS
⑩	GLAZED ALUMINIUM BALCONY GLASS RAILING GLASS RAILING



11



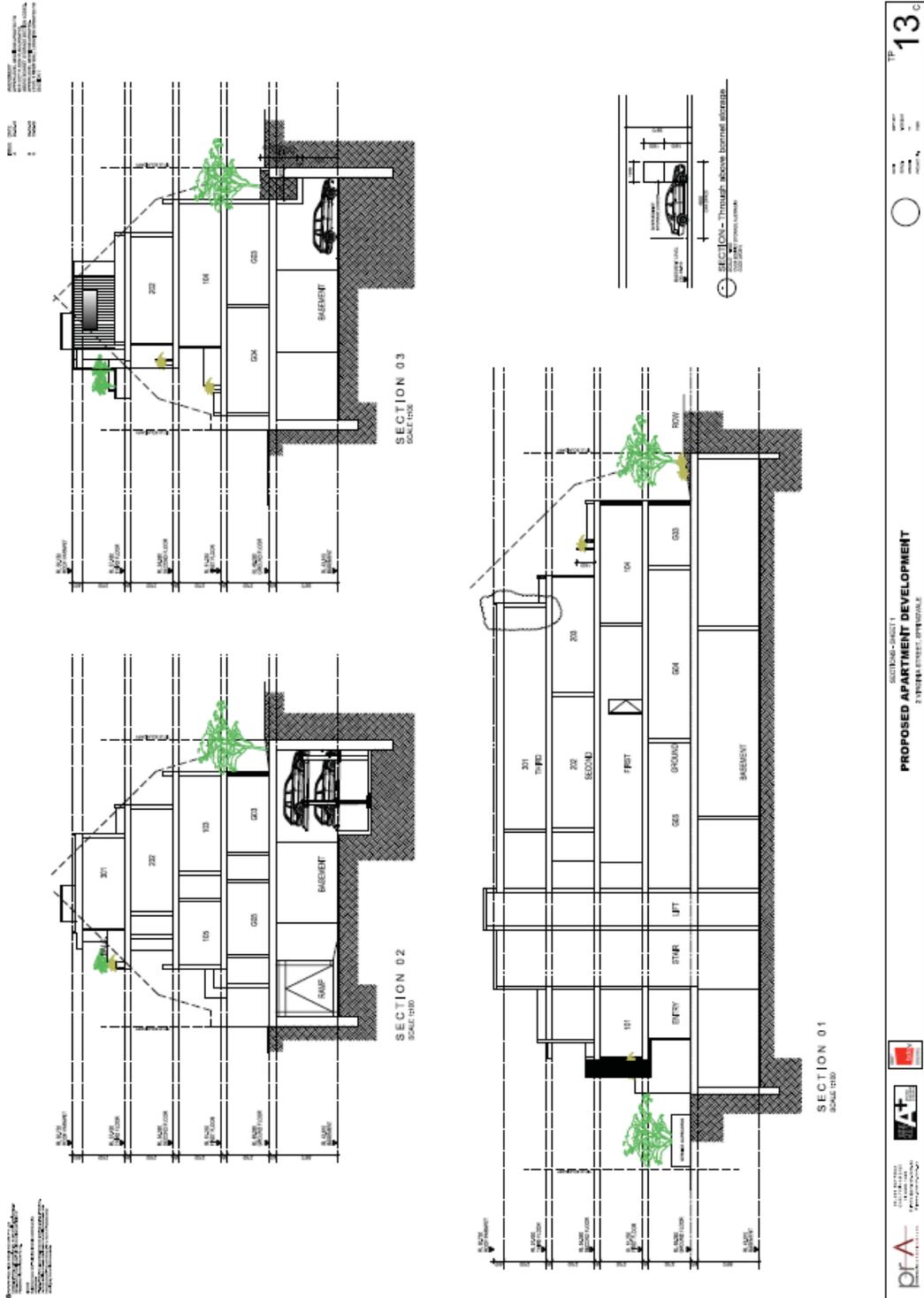


**PROPOSED APARTMENT DEVELOPMENT**  
 2 VIRGINIA STREET, SPRINGVALE

**2.3.2 Town Planning Application - No. 2 Virginia Street, Springvale (Planning Application No. PLN17/0812) (Cont.)**

1. Proposed Building  
 2. Proposed Landscaping  
 3. Proposed Fencing  
 4. Proposed Driveway  
 5. Proposed Pathway  
 6. Proposed Parking  
 7. Proposed Retaining Wall  
 8. Proposed Stormwater Drain  
 9. Proposed Boundary  
 10. Proposed Easement  
 11. Proposed Access  
 12. Proposed Structure  
 13. Proposed Deck  
 14. Proposed Terrace  
 15. Proposed Pool  
 16. Proposed Spa  
 17. Proposed Hot Tub  
 18. Proposed BBQ  
 19. Proposed Garden Bed  
 20. Proposed Lawn  
 21. Proposed Trees  
 22. Proposed Shrubs  
 23. Proposed Palms  
 24. Proposed Climbers  
 25. Proposed Fences  
 26. Proposed Gates  
 27. Proposed Posts  
 28. Proposed Rails  
 29. Proposed Panels  
 30. Proposed Bricks  
 31. Proposed Tiles  
 32. Proposed Windows  
 33. Proposed Doors  
 34. Proposed Stairs  
 35. Proposed Ramps  
 36. Proposed Balustrades  
 37. Proposed Handrails  
 38. Proposed Benches  
 39. Proposed Tables  
 40. Proposed Seats  
 41. Proposed Lighting  
 42. Proposed Irrigation  
 43. Proposed Pumps  
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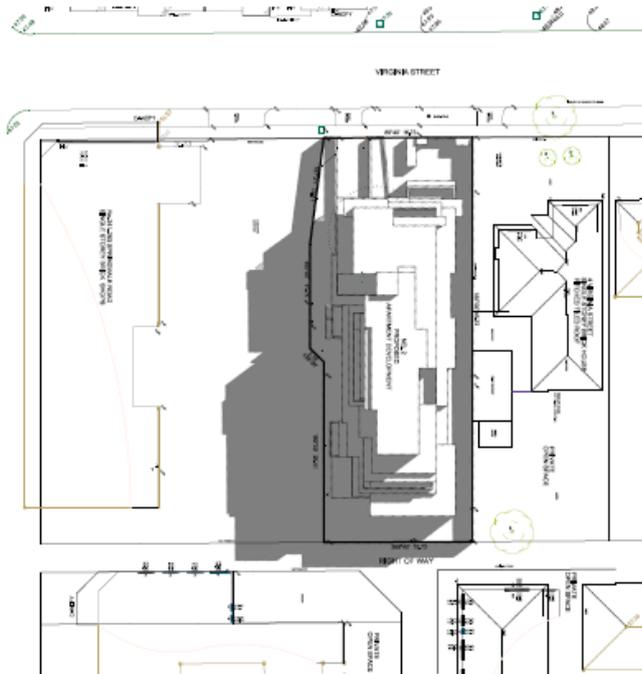
2.3.2 Town Planning Application - No. 2 Virginia Street, Springvale (Planning Application No. PLN17/0812) (Cont.)



**2.3.2 Town Planning Application - No. 2 Virginia Street, Springvale (Planning Application No. PLN17/0812)  
(Cont.)**

**PFA** PROJECT MANAGEMENT CONSULTANTS  
**AT** ARCHITECTS  
**PROPOSED APARTMENT DEVELOPMENT**  
ENVIRONMENTAL SERVICES  
SHADOW DIAGRAM 9AM  
TP 14

SHADOW DIAGRAM 9AM PROPOSED  
SCALE 1:200



DATE: 12/08/2019  
TIME: 10:00 AM  
PROJECT: PROPOSED APARTMENT DEVELOPMENT  
DRAWN BY: [Name]  
CHECKED BY: [Name]

DATE: 12/08/2019  
TIME: 10:00 AM  
PROJECT: PROPOSED APARTMENT DEVELOPMENT  
DRAWN BY: [Name]  
CHECKED BY: [Name]

**2.3.2 Town Planning Application - No. 2 Virginia Street, Springvale (Planning Application No. PLN17/0812)  
(Cont.)**

**PFA** PROJECT MANAGEMENT CONSULTANTS  
**AT** ARCHITECTS  
**PROPOSED APARTMENT DEVELOPMENT**  
DANBURY DISTRICT 1200  
VIRGINIA STREET, SPRINGVALE  
15<sup>th</sup> FLOOR

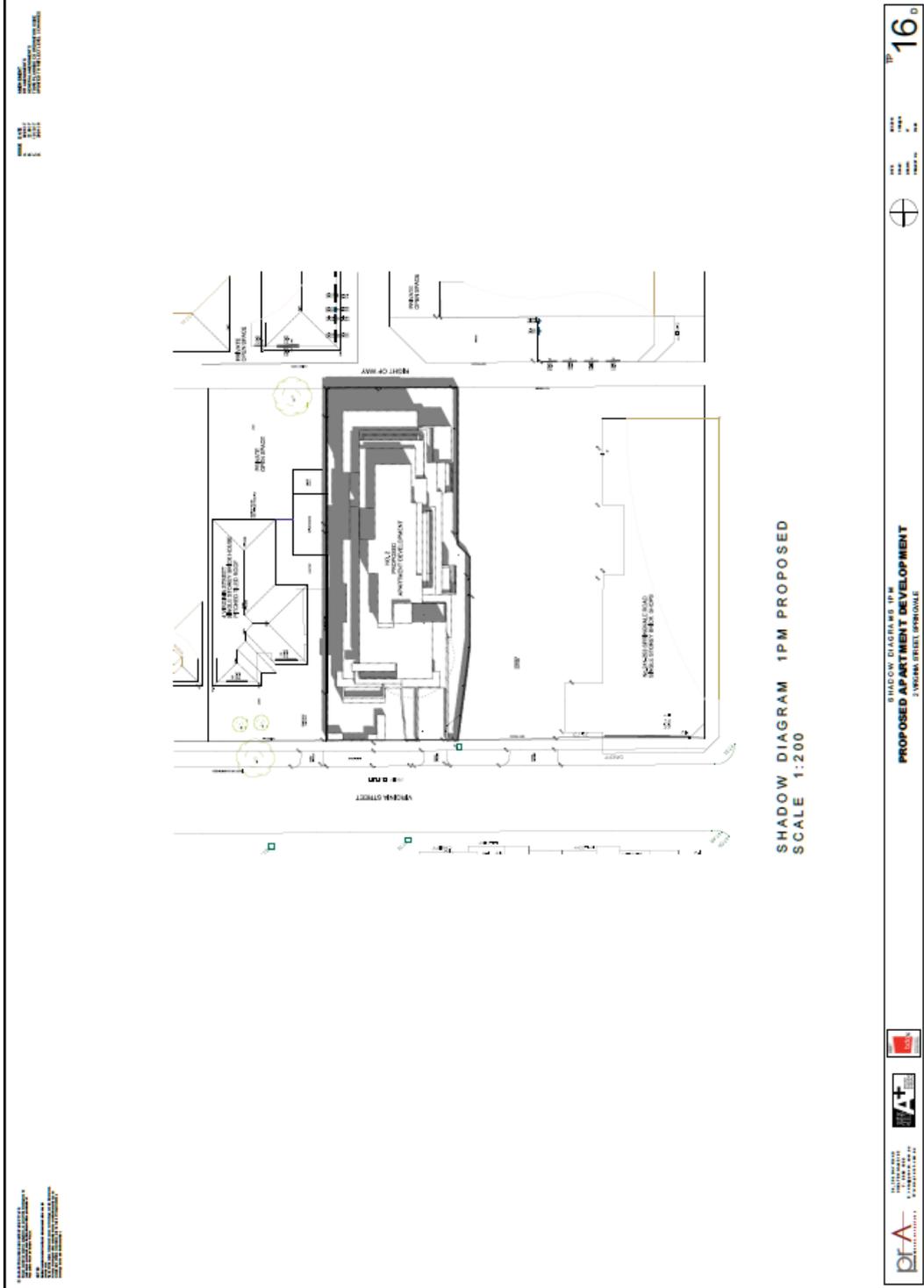
**SHADOW DIAGRAM 12PM PROPOSED**  
**SCALE 1:200**



1. THE SHADOW DIAGRAM IS A REPRESENTATION OF THE SHADOWS CAST BY THE PROPOSED DEVELOPMENT AT 12PM ON THE DATE OF THE APPLICATION. IT IS NOT A GUARANTEE OF THE ACCURACY OF THE SHADOWS CAST BY THE PROPOSED DEVELOPMENT.

2. THE SHADOWS CAST BY THE PROPOSED DEVELOPMENT AT 12PM ON THE DATE OF THE APPLICATION ARE SHOWN IN THE SHADOW DIAGRAM. THE SHADOWS CAST BY THE PROPOSED DEVELOPMENT AT OTHER TIMES OF THE DAY AND AT OTHER TIMES OF THE YEAR ARE NOT SHOWN.

2.3.2 Town Planning Application - No. 2 Virginia Street, Springvale (Planning Application No. PLN17/0812)  
(Cont.)







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**2.3.2 Town Planning Application - No. 2 Virginia Street, Springvale (Planning Application No. PLN17/0812)  
(Cont.)**

**STATUTORY PLANNING APPLICATIONS**

**TOWN PLANNING APPLICATION - NO. 2 VIRGINIA STREET, SPRINGVALE  
(PLANNING APPLICATION NO. PLN17/0812)**

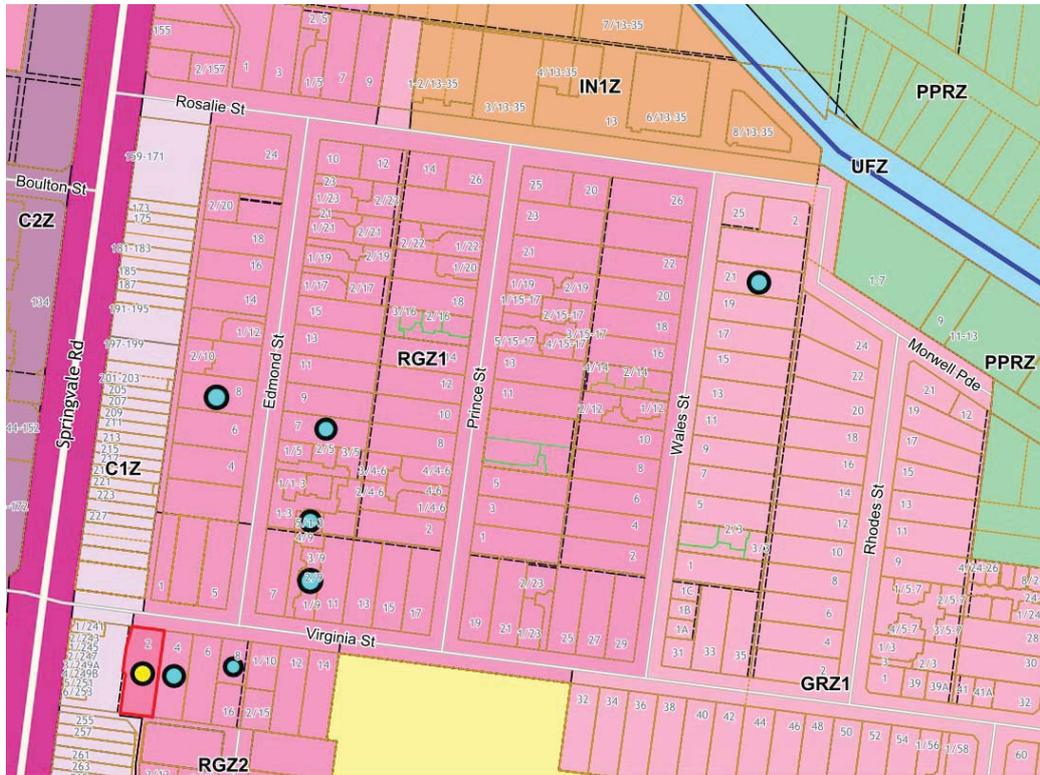
**ATTACHMENT 2**

**LOCATION OF OBJECTORS**

**PAGES 2 (including cover)**

*If the details of the attachment are unclear please contact Governance on 8571 5235.*

**2.3.2 Town Planning Application - No. 2 Virginia Street, Springvale (Planning Application No. PLN17/0812) (Cont.)**



-  Subject site
-  Location of objectors

**Note: Some objectors located outside of the immediate area and unable to be shown on mapping**

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**2.3.2 Town Planning Application - No. 2 Virginia Street, Springvale (Planning Application No. PLN17/0812)  
(Cont.)**

**STATUTORY PLANNING APPLICATIONS**

**TOWN PLANNING APPLICATION - NO. 2 VIRGINIA STREET, SPRINGVALE  
(PLANNING APPLICATION NO. PLN17/0812)**

**ATTACHMENT 3**

**CLAUSE 22.09 ASSESSMENT**

**PAGES 8 (including cover)**

*If the details of the attachment are unclear please contact Governance on 8571 5309.*

**2.3.2 Town Planning Application - No. 2 Virginia Street, Springvale (Planning Application No. PLN17/0812) (Cont.)**

**Assessment Table for Clause 22.09  
Clause 22.09-3.1 Design Principles for all residential developments**

Title /Objective	Principles	Principle met/Principle not met/NA
<b>Safety</b>	To encourage the provision of safer residential neighbourhoods, new development should enable passive surveillance through designs that:	✓ <b>Principle met</b>
	Incorporate active frontages including ground floor habitable room windows.	✓ <b>Principle met</b>
	Maximise the number of habitable room windows on all levels of residential buildings that overlook the public realm, streets, laneways, internal access ways and car parking areas.	✓ <b>Principle met</b>
	Use semi-transparent fences to the street frontage.	✓ <b>Principle met</b>
	Light communal spaces including main entrances and car parking areas with high mounted sensor-lights.	✗ <b>Principle not met</b> A condition of permit will require the provision of security lighting where applicable
	Ensure that all main entrances are visible and easily identifiable from the street.	✓ <b>Principle met</b>
	Locate non-habitable rooms such as bathrooms, away from entrances and street frontage.	✓ <b>Principle met</b>
<b>Landscaping</b>	Residential development should:	
	Provide substantial, high quality on-site landscaping, including screen planting and canopy trees along ground level front and side and rear boundaries.	✓ <b>Principle met</b> The landscape plan demonstrates a good landscaping outcome, with sufficient planting across the front, side and rear boundary within well-proportioned setback / deep root areas that allow for growth to maturity and seek to improve the visual outlook of the development from adjoining properties
	Provide substantial, high quality landscaping along vehicular accessways.	✓ <b>Principle met</b>
	Include the planting of at least one substantial canopy tree to each front setback and ground level secluded private open space area.	✓ <b>Principle met</b>

*If the details of the attachment are unclear please contact Governance on 8571 5309.*

ORDINARY COUNCIL MEETING - AGENDA

**2.3.2 Town Planning Application - No. 2 Virginia Street, Springvale (Planning Application No. PLN17/0812) (Cont.)**

	Planting trees that are common to and perform well in the area.	✓ Principle met
	Avoid the removal of existing mature trees by incorporating their retention into the site design.	✓ Principle met
	Use landscaping to soften the appearance of the built form when viewed from the street and to respect the amenity of adjoining properties.	✓ Principle met
	Ensure that landscaping also addresses the Safety Design Principles.	✓ Principle met
	Canopy trees should be planted in well proportioned setbacks/private open space that are sufficient to accommodate their future growth to maturity.	✓ Principle met
	Landscaping should minimise the impact of increased storm water runoff through water sensitive urban design and reduced impervious surfaces.	✓ Principle met
	Landscaping should be sustainable, drought tolerant, and include indigenous species and be supported through the provision of rainwater tanks.	✓ Principle met
	The existing level of on-street car parking should be maintained by avoiding second crossovers on allotments with frontage widths less than 17 metres.	✓ Principle met
	On-site car parking should be: <ul style="list-style-type: none"> <li>• Well integrated into the design of the building,</li> <li>• Generally hidden from view or appropriately screened where necessary,</li> <li>• Located to the side or rear of the site so as to not dominate the streetscape and to maximise soft landscaping opportunities at ground level.</li> </ul>	✓ Principle met
	Where car parking is located within the front setback it should be: <ul style="list-style-type: none"> <li>• Fully located within the site boundary, and</li> <li>• Capable of fully accommodating a vehicle between a garage or carport and the site boundary.</li> </ul> Developments with basement car parking should consider flooding concerns where applicable.	✓ Principle met
	Residential developments should: <ul style="list-style-type: none"> <li>• Provide a front setback with fence design and height in keeping with the predominant street pattern.</li> </ul>	✓ Principle met
Setbacks, front boundary and width		Application reviewed by Asset Planning with recommendations provided

*If the details of the attachment are unclear please contact Governance on 8571 5309.*

ORDINARY COUNCIL MEETING - AGENDA

**2.3.2 Town Planning Application - No. 2 Virginia Street, Springvale (Planning Application No. PLN17/0812) (Cont.)**

	Maintain the apparent frontage width pattern.	✓ <b>Principle met</b>
	Provide appropriate side setbacks between buildings to enable screen planting where required, and at least one generous side setback to enable the retention of trees and/or the planting and future growth of trees to maturity.	✓ <b>Principle met</b> Appropriate side setbacks have been provided across the site allowing for screen and canopy planting
	Provide open or low scale front fences to allow a visual connection between landscaping in front gardens and street tree planting.	✓ <b>Principle met</b>
Private open space	All residential developments should provide good quality, useable private open space for each dwelling directly accessible from the main living area.	✓ <b>Principle met</b>
	Ground level private open space areas should be able to accommodate boundary landscaping, domestic services and outdoor furniture so as to maximise the useability of the space.	✓ <b>Principle met</b>
	Private open space should be positioned to maximise solar access.	✓ <b>Principle met</b> Where applicable, private open space has been positioned to maximise solar access
	Upper floor levels of the same dwelling should avoid encroaching secluded private open space areas to ensure the solar access, useability and amenity of the space is not adversely affected.	✓ <b>Principle met</b>
	Upper level dwellings should avoid encroaching the secluded private open space of a separate lower level dwelling so as to ensure good solar access and amenity for the lower level dwelling.	✓ <b>Principle met</b>
Bulk & Built Form	All residential developments should respect the dominant façade pattern of the streetscape by: <ul style="list-style-type: none"> <li>• Using similarly proportioned roof forms , windows, doors and verandahs; and</li> <li>• Maintaining the proportion of wall space to windows and door openings.</li> </ul> Balconies should be designed to reduce the need for screening from adjoining dwellings and properties.	✓ <b>Principle met</b> Dwellings have been designed to reduce the need for screening
	The development of new dwellings to the rear of existing retained dwellings is discouraged where: <ul style="list-style-type: none"> <li>• The siting of the retained dwelling would not enable an acceptable future site layout for either the proposed or future dwelling, or</li> <li>• The retention of the existing dwelling detracts from the identified future character.</li> </ul>	<b>N/A</b>

*If the details of the attachment are unclear please contact Governance on 8571 5309.*

ORDINARY COUNCIL MEETING - AGENDA

**2.3.2 Town Planning Application - No. 2 Virginia Street, Springvale (Planning Application No. PLN17/0812) (Cont.)**

	<p>On sites adjacent to identified heritage buildings, infill development should respect the adjoining heritage by:</p> <ul style="list-style-type: none"> <li>• Not exceeding the height of the neighbouring significant building;</li> <li>• Minimising the visibility of higher sections of the new building; and</li> <li>• Setting higher sections back at least the depth of one room from the frontage.</li> </ul>	<p>N/A</p>
<p>Site Design</p>	<p>Residential development should:</p> <p>Preserve the amenity of adjoining dwellings through responsive site design that considers the privacy, solar access and outlook of adjoining properties.</p> <p>Maximise thermal performance and energy efficiency of the built form by addressing orientation, passive design and fabric performance</p> <p>Ensure that building height, massing articulation responds sensitively to existing residential interfaces, site circumstances, setbacks and streetscape and reduces the need for screening.</p> <p>Provide sufficient setbacks (including the location of basements) to ensure the retention of existing trees and to accommodate the future growth of new trees.</p> <p>Provide suitable storage provisions for the management of operational waste</p> <p>Appropriately located suitable facilities to encourage public transport use, cycling and walking.</p>	<p>✓ <b>Principle met</b></p> <p>✓ <b>Principle met</b> The BESS assessment achieved the required benchmark for indoor environmental quality and energy</p> <p>✓ <b>Principle met</b></p> <p>✓ <b>Principle met</b> Appropriate setbacks have been provided across the site allowing for screen and canopy planting</p> <p>✓ <b>Principle met</b></p> <p>✓ <b>Principle met</b> Bicycle car parking has been provided on site</p>
<p>Materials &amp; Finishes</p>	<p>Residential development should:</p> <p>Use quality, durable building materials and finishes that are designed for residential purposes.</p> <p>Avoid the use of commercial or industrial style building materials and finishes.</p>	<p>✓ <b>Principle met</b> The proposal utilises a mixture of good quality materials, finished, textures and features to improve visual interest and long term durability</p> <p>✓ <b>Principle met</b></p>

*If the details of the attachment are unclear please contact Governance on 8571 5309.*

ORDINARY COUNCIL MEETING - AGENDA

**2.3.2 Town Planning Application - No. 2 Virginia Street, Springvale (Planning Application No. PLN17/0812) (Cont.)**

	Avoid using materials such as rendered cement sheeting, unarticulated surfaces and excessive repetitive use of materials.	✓ Principle met
	Use a consistent simple palette of materials, colours finishes and architectural detailing.	✓ Principle met
	Maximise the ongoing affordability and sustainability of residential developments through the selection of low maintenance, resource and energy efficient materials and finishes that can be reasonably expected to endure for the life of the building.	✓ Principle met
Domestic services normal to a dwelling and Building services	In order to minimise the impact of domestic and building services on the streetscape, adjacent properties, public realm and amenity of future residents, new residential development should:	
	Ensure that all domestic and building services are visually integrated into the design of the building and appropriately positioned or screened so as to not be seen from the street or adjoining properties.	<p>✓ Principle met</p> <p>Site and domestic services are located internal to the basement and not visible to the public realm</p> <p>Where services are necessary to be fronting the street (i.e. hydrants) they are enclosed within a louvered box to minimise visual dominance or clutter</p>
	Be designed to avoid the location of domestic and building services: <ul style="list-style-type: none"> <li>• Within secluded private open space areas, including balconies; and</li> <li>• Where they may have noise impacts on adjoining habitable rooms and secluded private open space areas.</li> </ul>	✓ Principle met
Internal Amenity	Residential development should:	
	Ensure that dwelling layouts have connectivity between the main living area and private open space.	<p>✓ Principle met</p> <p>The proposal has strong connection between living areas and private open space</p>
	Be designed to avoid reliance on borrowed light to habitable rooms.	✓ Principle met
	Ensure that balconies and habitable room windows are designed and located to reduce the need for excessive screening.	✓ Principle met
	Ensure that dwellings without ground level main living areas meet the Standards of Clauses 55.03-5, 55.04-1, 6 & 7, 55.05-3, 4 & 5.	<p>✓ Principle met</p> <p>The proposal meets all the relevant internal amenity objectives including those of Clause 55.07</p>

*If the details of the attachment are unclear please contact Governance on 8571 5309.*

**2.3.2 Town Planning Application - No. 2 Virginia Street, Springvale (Planning Application No. PLN17/0812) (Cont.)**

**Clause 22.09-3.2 Design principles for Substantial Change Areas – Residential Growth Zone (RGZ)**

Principles		Principle met/Principle not met/NA
<b>Titles &amp; Objectives</b>		
<b>Preferred housing types</b>	The preferred housing types for the Substantial Change Area are medium to high density	✓ <b>Principle met</b> High density proposed
<b>Building Height</b>	The preferred maximum building height for land within the RGZ1 and RGZZ is up to 4 storeys, including ground level.	✓ <b>Principle met</b> 4 storey development proposed
<b>Bulk &amp; Built Form</b>	Building bulk and height can be relatively uniform throughout the depth of sites, where articulated building elevations and well proportioned ground level setbacks to upper levels are provided at the front, side and rear of buildings to allow for substantial landscaping to soften the built form.	✓ <b>Principle met</b> Building bulk is relatively uniform throughout the depth of the site with articulated building elevations through the use of recessions, building materials, features screens, cut outs, depth, textures and the like The proposal includes well-proportioned setback areas that allow for the maturity of canopy planting
	Upper level tiering may be appropriate in some cases with upper levels recessed from view. Tiered building profiles that result in excessive upper level setbacks should be avoided.	✓ <b>Principle met</b> The upper level tiering proposed is not excessive and does not present as the "wedding cake" effect
	Separation between upper levels of dwellings on a site is not generally needed, provided the building portrays a high standard of design and does not result in unreasonable amenity impacts.	✓ <b>Principle met</b>
	The bulk and mass of the upper levels of any dwelling should not have an unreasonable adverse impact on the amenity of adjacent residential secluded private open spaces.	✓ <b>Principle met</b> Bulk and mass does not have an unreasonable adverse impact on the amenity of adjacent interfaces noting that to the west, the site interfaces with a commercial car park, to the south the site abuts a laneway and to the east the site interfaces with an existing dwelling accessway and outbuildings
	Residential development should be well articulated through the use of contrast, texture, variation in forms, materials, openings, colours and the inclusion of vertical design elements.	✓ <b>Principle met</b>

*If the details of the attachment are unclear please contact Governance on 8571 5309.*

**2.3.2 Town Planning Application - No. 2 Virginia Street, Springvale (Planning Application No. PLN17/0812) (Cont.)**

<b>Site Design</b>	High density residential developments should provide safe and innovative communal open spaces.	<b>N/A</b> No communal open space proposed or necessary pursuant to Clause 55.07
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*Note: Other requirements also apply. These can be found at the schedule to the applicable zone.*

*If the details of the attachment are unclear please contact Governance on 8571 5309.*

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**2.3.2 Town Planning Application - No. 2 Virginia Street, Springvale (Planning Application No. PLN17/0812)  
(Cont.)**

**STATUTORY PLANNING APPLICATIONS**

**TOWN PLANNING APPLICATION - NO. 2 VIRGINIA STREET, SPRINGVALE  
(PLANNING APPLICATION NO. PLN17/0812)**

**ATTACHMENT 4**

**CLAUSE 55 ASSESSMENT**

**PAGES 31 (including cover)**

*If the details of the attachment are unclear please contact Governance on 8571 5309.*

**2.3.2 Town Planning Application - No. 2 Virginia Street, Springvale (Planning Application No. PLN17/0812) (Cont.)**

**Assessment Table - Two or More Dwellings on a Lot and Residential Buildings (Clause 55)**

**Clause 55.02-1 Neighbourhood character objectives**

Title & Objective	Standard (Summarised)	Standard Met/Standard Not Met/NA
Standard B1	<p>The design response must be appropriate to the neighbourhood and the site.</p> <p>The proposed design response must respect the existing or preferred neighbourhood character and respond to the features of the site.</p>	<p><b>✓ Standard met</b></p> <p>The design response is appropriate to the neighbourhood and the site, which seeks to respect the preferred future character of the land and minimise any amenity impact to adjoining interfaces, particularly that to the east and south-east of the site</p> <p><b>✓ Standard met</b></p> <p>The proposed design response respects the preferred neighbourhood character of the substantial change area by providing a high density housing typology in the form of a 4 storey apartment building</p> <p>The proposal is of a high quality urban design, with physical recession, articulation, the use of feature screens, varied use of materials, textures and other visual interest. The proposal is not significantly tiered at the upper levels, thus avoiding the 'wedding cake' effect</p> <p>The proposal incorporates adequate landscaping treatments across the site as evident in the landscape plan provided with the application. This includes significant canopy tree and shrubbery plantings within well-proportioned setback areas</p> <p>The proposal is located within an area subject to substantial change with other apartment buildings constructed within the last 10 years, of a similar scale and massing. The proposal is however, a much improved contemporary design, limiting any visual impact to the street</p>
Decision Guidelines	<p>Any relevant neighbourhood character objective, policy or statement set out in this scheme.</p> <p>The neighbourhood and site description.</p> <p>The design response.</p>	
Objectives	<p>To ensure that the design respects the existing neighbourhood character or contributes to a preferred neighbourhood character.</p> <p>To ensure that development responds to the features of the site and the surrounding area.</p>	<p><b>✓ Objective met</b></p>

*If the details of the attachment are unclear please contact Governance on 8571 5309.*

**2.3.2 Town Planning Application - No. 2 Virginia Street, Springvale (Planning Application No. PLN17/0812) (Cont.)**

**Clause 55.02-2 Residential policy objectives**

Title & Objective	Standards	Standard Met/Standard Not Met/NA
<b>Standard B2</b>	An application must be accompanied by a written statement to the satisfaction of the responsible authority that describes how the development is consistent with any relevant policy for housing in the PPF and the LPPF, including the MSS and local planning policies.	<b>✓ Standard met</b> The application was accompanied by a written statement describing how the development is consistent with the relevant policies for housing to the satisfaction of Council
<b>Decision Guidelines</b>	The PPF and the LPPF including the MSS and local planning policies. The design response.	
<b>Objectives</b>	To ensure that residential development is provided in accordance with any policy for housing in the FFP and the LPPF, including the MSS and local planning policies. To support medium densities in areas where development can take advantage of public and community infrastructure and services.	<b>✓ Objective met</b>

**Clause 55.02-3 Dwelling diversity objective**

Title & Objective	Standards	Standard Met/Standard Not Met/NA
<b>Standard B3</b>	Developments of ten or more dwellings should provide a range of dwelling sizes and types, including: <ul style="list-style-type: none"> <li>• Dwellings with a different number of bedrooms.</li> <li>• At least one dwelling that contains a kitchen, bath or shower, and a toilet and wash basin at ground floor level.</li> </ul>	<b>✓ Standard met</b> The proposal includes a mixture of one and two bedroom apartments
<b>Objective</b>	To encourage a range of dwellings sizes and types in developments of ten or more dwellings.	<b>✓ Objective met</b>

ORDINARY COUNCIL MEETING - AGENDA

**2.3.2 Town Planning Application - No. 2 Virginia Street, Springvale (Planning Application No. PLN17/0812) (Cont.)**

**Clause 55.02-4 Infrastructure objectives**

Title & Objective	Standards	Standard Met/Standard Not Met/NA
<b>Standard B4</b>	<p>Development should be connected to reticulated services, including reticulated sewerage, drainage, electricity and gas, if available.</p> <p>Development should not unreasonably exceed the capacity of utility services and infrastructure, including reticulated services and roads.</p> <p>In areas where utility services or infrastructure have little or no spare capacity, developments should provide for the upgrading of or mitigation of the impact on services or infrastructure.</p>	<p>✓ Standard met</p> <p>✓ Standard met</p> <p>✓ Standard met</p>
<b>Decision Guidelines</b>	<p>The capacity of the existing infrastructure.</p> <p>In the absence of reticulated sewerage, the capacity of the development to treat and retain all wastewater in accordance with the SEPP (Waters of Victoria) under the EPA 1970.</p> <p>If the drainage system has little or no spare capacity, the capacity of the development to provide for stormwater drainage mitigation or upgrading of the local drainage system.</p>	
<b>Objectives</b>	<p>To ensure development is provided with appropriate utility services and infrastructure.</p> <p>To ensure development does not unreasonably overload the capacity of utility services and infrastructure.</p>	<p>✓ Objective met</p>

**2.3.2 Town Planning Application - No. 2 Virginia Street, Springvale (Planning Application No. PLN17/0812) (Cont.)**

**Clause 55.02-5 Integration with the street objective**

Title & Objective	Standards	Standard Met/Standard Not Met/NA
<b>Standard B5</b>	<p>Developments should provide adequate vehicle and pedestrian links that maintain or enhance local accessibility.</p> <p>Developments should be oriented to front existing and proposed streets.</p> <p>High fencing in front of dwellings should be avoided if practicable.</p> <p>Development next to existing public open space should be laid out to complement the open space.</p>	<p>✓ <b>Standard met</b></p> <p>The proposal includes vehicular access to a secure basement car park with separate pedestrian access from the site frontage</p> <p>✓ <b>Standard met</b></p> <p>✓ <b>Standard met</b></p> <p>N/A</p>
<b>Decision Guidelines</b>	<p>Any relevant urban design objective, policy or statement set out in this scheme.</p> <p>The design response.</p>	
<b>Objective</b>	<p>To integrate the layout of development with the street.</p>	<p>✓ <b>Objective met</b></p>

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**2.3.2 Town Planning Application - No. 2 Virginia Street, Springvale (Planning Application No. PLN17/0812) (Cont.)**

**Clause 55.03-1 Street setback objective**

Title & Objective	Standards		Standard Met/Standard Not Met/NA																		
<p><b>Standard B6</b></p>	<p>Walls of buildings should be set back from streets at least the distance specified in a schedule to the zone:  <b>RGZ:</b> 5 metres or as per Table B1, whichever is the lesser.  <b>GRZ:</b> 7.5 metres or as per Table B1, whichever is the lesser.  <b>NRZ:</b> As per Table B1.                      Table B1 Street setback</p> <table border="1" data-bbox="443 898 1189 1624"> <thead> <tr> <th data-bbox="443 1350 496 1624">Development context</th> <th data-bbox="443 1126 496 1350">Minimum setback from front street (metres)</th> <th data-bbox="443 898 496 1126">Minimum setback from a side street (metres)</th> </tr> </thead> <tbody> <tr> <td data-bbox="496 1350 632 1624">                     There is an existing building on both the abutting allotments facing the same street, and the site is not on a corner.                 </td> <td data-bbox="496 1126 632 1350">                     The average distance of the setbacks of the front walls of the existing buildings on the abutting allotments facing the front street or 9 metres, whichever is the lesser.                 </td> <td data-bbox="496 898 632 1126">                     Not applicable                 </td> </tr> <tr> <td data-bbox="632 1350 751 1624">                     There is an existing building on one abutting allotment facing the same street and no existing building on the other abutting allotment facing the same street, and the site is not on a corner.                 </td> <td data-bbox="632 1126 751 1350">                     The same distance as the setback of the front wall of the existing building on the abutting allotment facing the front street or 9 metres, whichever is the lesser.                 </td> <td data-bbox="632 898 751 1126">                     Not applicable                 </td> </tr> <tr> <td data-bbox="751 1350 831 1624">                     There is no existing building on either of the abutting allotments facing the same street, and the site is not on a corner.                 </td> <td data-bbox="751 1126 831 1350">                     6 metres for streets in a Road Zone, Category 1, and 4 metres for other streets.                 </td> <td data-bbox="751 898 831 1126">                     Not applicable                 </td> </tr> <tr> <td data-bbox="831 1350 1189 1624">                     The site is on a corner.                 </td> <td data-bbox="831 1126 991 1350">                     If there is a building on the abutting allotment facing the front street, the same distance as the setback of the front wall of the existing building on the abutting allotment facing the front street or 9 metres, whichever is the lesser.                 </td> <td data-bbox="831 898 991 1126">                     Front walls of new development fronting the side street of a corner site should be setback at least the same distance as the setback of the front wall of any existing building on the abutting allotment facing the side street or 3 metres, whichever is the lesser.                 </td> </tr> <tr> <td></td> <td data-bbox="991 1126 1189 1350">                     If there is no building on the abutting allotment facing the front street, 6 metres for streets in a Road Zone, Category 1, and 4 metres for other streets.                 </td> <td data-bbox="991 898 1189 1126">                     Side walls of new development on a corner site should be setback the same distance as the setback of the front wall of any existing building on the abutting allotment facing the side street or 2 metres, whichever is the lesser.                 </td> </tr> </tbody> </table>		Development context	Minimum setback from front street (metres)	Minimum setback from a side street (metres)	There is an existing building on both the abutting allotments facing the same street, and the site is not on a corner.	The average distance of the setbacks of the front walls of the existing buildings on the abutting allotments facing the front street or 9 metres, whichever is the lesser.	Not applicable	There is an existing building on one abutting allotment facing the same street and no existing building on the other abutting allotment facing the same street, and the site is not on a corner.	The same distance as the setback of the front wall of the existing building on the abutting allotment facing the front street or 9 metres, whichever is the lesser.	Not applicable	There is no existing building on either of the abutting allotments facing the same street, and the site is not on a corner.	6 metres for streets in a Road Zone, Category 1, and 4 metres for other streets.	Not applicable	The site is on a corner.	If there is a building on the abutting allotment facing the front street, the same distance as the setback of the front wall of the existing building on the abutting allotment facing the front street or 9 metres, whichever is the lesser.	Front walls of new development fronting the side street of a corner site should be setback at least the same distance as the setback of the front wall of any existing building on the abutting allotment facing the side street or 3 metres, whichever is the lesser.		If there is no building on the abutting allotment facing the front street, 6 metres for streets in a Road Zone, Category 1, and 4 metres for other streets.	Side walls of new development on a corner site should be setback the same distance as the setback of the front wall of any existing building on the abutting allotment facing the side street or 2 metres, whichever is the lesser.	<p>✓ Standard met                      A minimum front setback of 5.048m is proposed</p>
Development context	Minimum setback from front street (metres)	Minimum setback from a side street (metres)																			
There is an existing building on both the abutting allotments facing the same street, and the site is not on a corner.	The average distance of the setbacks of the front walls of the existing buildings on the abutting allotments facing the front street or 9 metres, whichever is the lesser.	Not applicable																			
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**2.3.2 Town Planning Application - No. 2 Virginia Street, Springvale (Planning Application No. PLN17/0812) (Cont.)**

<p><b>Decision Guidelines</b></p>	<p>Any relevant neighbourhood character objective, policy or statement set out in this scheme.                      The design response.                      Whether a different setback would be more appropriate taking into account the prevailing setbacks of existing buildings on nearby lots.                      The visual impact of the building when viewed from the street and from adjoining properties.                      The value of retaining vegetation within the front setback.</p>
<p><b>Objective</b></p>	<p>To ensure that the setbacks of buildings from a street respect the existing or preferred neighbourhood character and make efficient use of the site.</p> <p style="text-align: right;"><b>✓ Objective met</b></p>

ORDINARY COUNCIL MEETING - AGENDA

**2.3.2 Town Planning Application - No. 2 Virginia Street, Springvale (Planning Application No. PLN17/0812) (Cont.)**

**Clause 55.03-2 Building height objective**

Title & Objective	Standards	Standard Met/Standard Not Met/NA
<p><b>Standard B7</b></p>	<p>The maximum building height should not exceed the maximum height specified in the zone, schedule to the zone or an overlay that applies to the land.</p> <p><i>RGZ: 13.5 metres discretionary maximum (refer Clause 32.07-8 for details)</i></p> <p><i>GRZ: 11 metres / 3 storeys mandatory maximum (refer Clause 32.08-9)</i></p> <p><i>NRZ: 9 metres / 2 storeys mandatory maximum (refer Clause 32.09-9)</i></p> <p>If no maximum height is specified in the zone, schedule to the zone or an overlay, the maximum building height should not exceed 9 metres, unless the slope of the natural ground level at any cross section wider than 8 metres of the site of the building is 2.5 degrees or more, in which case the maximum building height should not exceed 10 metres.</p> <p>Changes of building height between existing buildings and new buildings should be graduated.</p>	<p>✓ <b>Standard met</b></p> <p>Maximum height of 13.25 metres proposed</p> <p>N/A</p> <p>✓ <b>Standard met</b></p> <p>The proposal maintains a similar height to the adjoining three (3) storey apartment style buildings located opposite the site to the north</p> <p>Whilst there is not a transition in height between the proposed apartment and the neighbouring single storey dwelling at 4 Virginia Street, the site is identified as a substantial change area with a preferred height of up to 4 storeys</p>
<p><b>Decision Guidelines</b></p>	<p>Any relevant neighbourhood character objective, policy or statement set out in this scheme.</p> <p>Any maximum building height specified in the zone, a schedule to the zone or an overlay applying to the land.</p> <p>The design response.</p> <p>The effect of the slope of the site on the height of the building.</p> <p>The relationship between the proposed building height and the height of existing adjacent buildings.</p> <p>The visual impact of the building when viewed from the street and from adjoining properties.</p>	
<p><b>Objective</b></p>	<p>To ensure that the height of buildings respects the existing or preferred neighbourhood character</p>	<p>✓ <b>Objective met</b></p>

**2.3.2 Town Planning Application - No. 2 Virginia Street, Springvale (Planning Application No. PLN17/0812) (Cont.)**

**Clause 55.03-3 Site coverage objective**

Title & Objective	Standards	Standard Met/Standard Not Met/NA
<p><b>Standard B8</b></p>	<p>The site area covered by buildings should not exceed:</p> <ul style="list-style-type: none"> <li>The maximum site coverage specified in a schedule to the zone, or</li> <li>If no maximum site coverage is specified in a schedule to the zone, 60 per cent.</li> </ul> <p><b>RGZ1: 70%</b>  <b>RGZ2: 70%</b>  <b>RGZ3: 70%</b>  <b>GRZ1: 60% (none specified)</b>  <b>GRZ2: 60% (none specified)</b>  <b>NRZ1: 50%</b></p>	<p>✓ <b>Standard met</b>                      54% site coverage</p>
<p><b>Decision Guidelines</b></p>	<p>Any relevant neighbourhood character objective, policy or statement set out in this scheme.</p> <p>The design response.</p> <p>The existing site coverage and any constraints imposed by existing development or the features of the site.</p> <p>The site coverage of adjacent properties</p> <p>The effect of the visual bulk of the building and whether this is acceptable in the neighbourhood.</p>	
<p><b>Objective</b></p>	<p>To ensure that the site coverage respects the existing or preferred neighbourhood character and responds to the features of the site.</p>	<p>✓ <b>Objective met</b></p>

**2.3.2 Town Planning Application - No. 2 Virginia Street, Springvale (Planning Application No. PLN17/0812) (Cont.)**

**Clause 55.03-4 Permeability objectives**

Title & Objective	Standards	Standard Met/Standard Not Met/NA
<p><b>Standard B9</b></p>	<p>The site area covered by the pervious surfaces should be at least:</p> <ul style="list-style-type: none"> <li>The minimum areas specified in a schedule to the zone, or</li> <li>If no minimum is specified in a schedule to the zone, 20 per cent of the site.</li> </ul> <p><u>RGZ1</u>: 20%  <u>RGZ2</u>: 20% (<i>none specified</i>)  <u>RGZ3</u>: 20% (<i>none specified</i>)  <u>GRZ1</u>: 30%  <u>GRZ2</u>: 20% (<i>none specified</i>)  <u>NRZ1</u>: 40%</p>	<p>✓ <b>Standard met</b>                      35% permeability</p>
<p><b>Decision Guidelines</b></p>	<p>The design response.</p> <p>The existing site coverage and any constraints imposed by existing development.</p> <p>The capacity of the drainage network to accommodate additional stormwater.</p> <p>The capacity of the site to absorb run-off.</p> <p>The practicality of achieving the minimum site coverage of pervious surfaces, particularly on lots of less than 300 square metres.</p>	
<p><b>Objectives</b></p>	<p>To reduce the impact of increased stormwater run-off on the drainage system.</p> <p>To facilitate on-site stormwater infiltration.</p>	<p>✓ <b>Objective met</b></p>

**2.3.2 Town Planning Application - No. 2 Virginia Street, Springvale (Planning Application No. PLN17/0812) (Cont.)**

**Clause 55.03-5 Energy efficiency objectives**

Title & Objective	Standards	Standard Met/Standard Not Met/NA
<p><b>Standard B10</b></p>	<p>Buildings should be:</p> <ul style="list-style-type: none"> <li>• Oriented to make appropriate use of solar energy.</li> <li>• Sited and designed to ensure that the energy efficiency of existing dwellings on adjoining lots is not unreasonably reduced.</li> </ul> <p>Living areas and private open space should be located on the north side of the development, if practicable.</p> <p>Developments should be designed so that solar access to north-facing windows is maximised.</p>	<p>N/A – Please refer to Clause 55.07 assessment under Appendix 5</p>
<p><b>Decision Guidelines</b></p>	<p>The design response.</p> <p>The size, orientation and slope of the lot.</p> <p>The existing amount of solar access to abutting properties.</p> <p>The availability of solar access to north-facing windows on the site.</p>	
<p><b>Objectives</b></p>	<p>To achieve and protect energy efficient dwellings and residential buildings.</p> <p>To ensure the orientation and layout of development reduce fossil fuel energy use and make appropriate use of daylight and solar energy.</p>	

**2.3.2 Town Planning Application - No. 2 Virginia Street, Springvale (Planning Application No. PLN17/0812) (Cont.)**

**Clause 55.03-6 Open space objective**

Title & Objective	Standards	Standard Met/Standard Not Met/NA
Standard B11	If any public or communal open space is provided on site, it should: <ul style="list-style-type: none"> <li>• Be substantially fronted by dwellings, where appropriate.</li> <li>• Provide outlook for as many dwellings as practicable.</li> <li>• Be designed to protect any natural features on the site.</li> <li>• Be accessible and useable.</li> </ul>	N/A – Please refer to Clause 55.07 assessment under Appendix 5
Decision Guidelines	Any relevant plan or policy for open space in the SPPF and the LPPF, including the MSS and local planning policies. The design response.	
Objective	To integrate the layout of development with any public and communal open space provided in or adjacent to the development.	

**Clause 55.03-7 Safety objective**

Title & Objective	Standards	Standard Met/Standard Not Met/NA
Standard B12	Entrances to dwellings and residential buildings should not be obscured or isolated from the street and internal accessways.  Planting which creates unsafe spaces along streets and accessways should be avoided.  Developments should be designed to provide good lighting, visibility and surveillance of car parks and internal accessways.  Private spaces within developments should be protected from inappropriate use as public thoroughfares.	✓ <b>Standard met</b> Entry to the site is accessed from Virginia Street and easily visible from the public realm  ✓ <b>Standard met</b> The landscape plan demonstrates that planting does not create unsafe spaces along the street and the accessway  ✗ <b>Standard not met</b> The proposal fails to provide security lighting to the sites entry or within the basement car parking area  ✓ <b>Standard met</b>
Decision Guidelines	The design response.	A condition of permit will be required to ensure that the front entry way and basement have appropriate lighting
Objectives	To ensure the layout of development provides for the safety and security of residents and property.	✓ <b>Objective met</b>

**2.3.2 Town Planning Application - No. 2 Virginia Street, Springvale (Planning Application No. PLN17/0812) (Cont.)**

<b>Clause 55.03-8 Landscaping objectives</b>		<b>Standard Met/Standard Not Met/NA</b>
<b>Title &amp; Objective</b>	<b>Standards</b>	
<b>Standard B13</b>	<p>The landscape layout and design should:</p> <ul style="list-style-type: none"> <li>• Protect any predominant landscape features of the neighbourhood.</li> <li>• Take into account the soil type and drainage patterns of the site.</li> <li>• Allow for intended vegetation growth and structural protection of buildings.</li> <li>• In locations of habitat importance, maintain existing habitat and provide for new habitat for plants and animals.</li> <li>• Provide a safe, attractive and functional environment for residents.</li> </ul> <p>Development should provide for the retention or planting of trees, where these are part of the character of the neighbourhood.</p> <p>Development should provide for the replacement of any significant trees that have been removed in the 12 months prior to the application being made</p> <p>The landscape design should specify landscape themes, vegetation (location and species), paving and lighting.</p> <p>Development should meet any additional landscape requirements specified in a schedule to the zone.</p> <p><b><u>All schedules to all residential zones:</u></b>  <b><i>“70% of ground level front setback, and side and rear setbacks, planted with substantial landscaping and canopy trees.”</i></b></p>	<p>✓ <b>Standard met</b>                      The landscape plan submitted clearly demonstrates the intent to provide a suitable landscaping outcome on the site</p> <p>The provisions of Clause 55.07 also apply to the site, and relate to deep root canopy planting. These matters will be addressed separately</p> <p>✓ <b>Standard met</b>                      No significant trees being removed from the site, worth of protection</p> <p>✓ <b>Standard met</b>                      No significant trees being removed from the site, worth of protection</p> <p>✓ <b>Standard met</b></p> <p>★ <b>Standard not met</b>                      The proposal fails to provide the minimum 70% front setback landscaping requirement, with only 50% proposed</p>
<b>Decision Guidelines</b>	<p>Any relevant neighbourhood character objective, policy or statement set out in this scheme.</p> <p>Any relevant plan or policy for landscape design in the SPPF and the LPPF, including the MSS and local planning policies.</p> <p>The design response.</p> <p>The location and size of gardens and the predominant plant types in the neighbourhood.</p> <p>The health of any trees to be removed.</p> <p>Whether a tree was removed to gain a development advantage.</p>	<p>Whilst the proposal fails to meet the minimum standard, it is clear that adequate landscaping has been provided across the site as evident in the landscaping plan which seeks to soften the overall built form of the proposal</p> <p>In addition, given the requirements of apartment buildings with basements to have certain accessway widths, plus pedestrian entries, generally, it reduces the land available for extensive landscaping. As such, the reduced rate of 50% is considered to be appropriate, noting the proposed landscaping onsite will assist in providing a strong landscape character for the site and surrounds</p>

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**2.3.2 Town Planning Application - No. 2 Virginia Street, Springvale (Planning Application No. PLN17/0812) (Cont.)**

<p><b>Objectives</b></p>	<p>To encourage development that respects the landscape character of the neighbourhood.                  To encourage development that maintains and enhances habitat for plants and animals in locations of habitat importance.                  To provide appropriate landscaping.                  To encourage the retention of mature vegetation on the site.</p>	<p>✓ <b>Objective met</b>                  Whilst the proposal fails to meet the minimum 70% front setback landscaping standard, the proposal still provides appropriate landscaping and meets the objectives of Clause 55.03-8</p>
<p><b>Clause 55.03-9 Access objective</b></p>		
<p><b>Title &amp; Objective</b></p>	<p><b>Standard Met/Standard Not Met/NA</b></p>	
<p><b>Standard B14</b></p>	<p>The width of accessways or car spaces should not exceed:                  • 33 per cent of the street frontage, or                  • if the width of the street frontage is less than 20 metres, 40 per cent of the street frontage.                  No more than one single-width crossover should be provided for each dwelling fronting a street.                  The location of crossovers should maximise retention of on-street car parking spaces.                  The number of access points to a road in a Road Zone should be minimised.                  Developments must provide for access for service, emergency and delivery vehicles.</p>	<p>✓ <b>Standard met</b>                  21%                  ✓ <b>Standard met</b>                  ✓ <b>Standard met</b>                  The retention of the existing crossover retains the existing on-site car parking space                  N/A                  ✓ <b>Standard met</b></p>
<p><b>Decision Guidelines</b></p>	<p>The design response.                  The impact on neighbourhood character.                  The reduction of on-street car parking spaces.                  The effect on any significant vegetation on the site and footpath.</p>	
<p><b>Objectives</b></p>	<p>To ensure the number and design of vehicle crossovers respects the neighbourhood character.</p>	

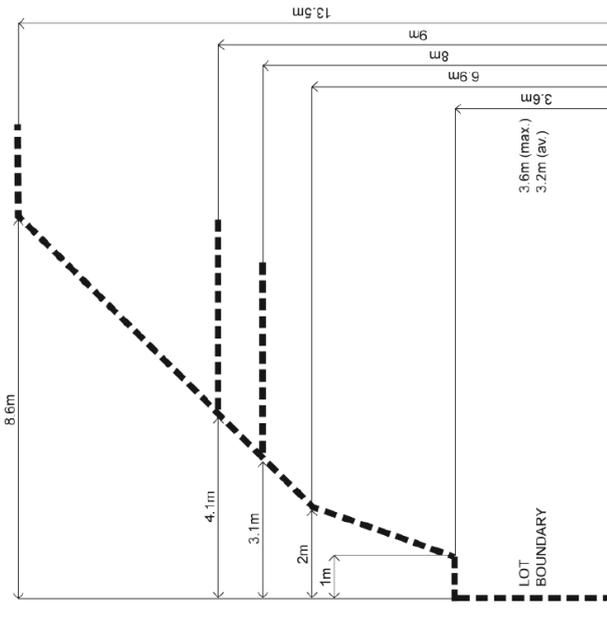
**2.3.2 Town Planning Application - No. 2 Virginia Street, Springvale (Planning Application No. PLN17/0812) (Cont.)**

**Clause 55.03-10 Parking location objectives**

Title & Objective	Standards	Standard Met/Standard Not Met/NA
<b>Standard B15</b>	Car parking facilities should: <ul style="list-style-type: none"> <li>• Be reasonably close and convenient to dwellings and residential buildings.</li> <li>• Be secure.</li> <li>• Be well ventilated if enclosed.</li> </ul> Shared accessways or car parks of other dwellings and residential buildings should be located at least 1.5 metres from the windows of habitable rooms. This setback may be reduced to 1 metre where there is a fence at least 1.5 metres high or where window sills are at least 1.4 metres above the accessway.	✓ Standard met
<b>Decision Guidelines</b>	The design response.	
<b>Objectives</b>	To provide convenient parking for residents and visitors vehicles. To protect residents from vehicular noise within developments.	✓ Objective met

**2.3.2 Town Planning Application - No. 2 Virginia Street, Springvale (Planning Application No. PLN17/0812) (Cont.)**

**Clause 55.04-1 Side and rear setbacks objective**

Title & Objective	Standards	Standard Met/Standard Not Met/NA
<p><b>Standard B17</b></p> <ul style="list-style-type: none"> <li>A new building not on or within 200mm of a boundary should be setback from side or rear boundaries:</li> <li>At least the distance specified in a schedule to the zone, or</li> <li><b>NRZ1:</b> "A building wall opposite an area of secluded private open space or a window to a living room of an existing dwelling should be setback a minimum of 2 metres."</li> <li>If no distance is specified in a schedule to the zone, 1 metre, plus 0.3 metres for every metre of height over 3.6 metres up to 6.9 metres, plus 1 metre for every metre of height over 6.9 metres.</li> </ul> <p><b>Diagram B1 Side and rear setbacks</b></p>  <p>The diagram illustrates the side and rear setbacks for a building. The lot boundary is shown as a dashed line. The setbacks are measured from the building walls to the lot boundary. The setbacks are 4.1m, 3.1m, 2m, and 1m. The total width of the lot is 8.6m. The setbacks are measured from the building walls to the lot boundary. The setbacks are 4.1m, 3.1m, 2m, and 1m. The total width of the lot is 8.6m. The setbacks are measured from the building walls to the lot boundary. The setbacks are 4.1m, 3.1m, 2m, and 1m. The total width of the lot is 8.6m.</p>	<p><b>* Standard not met</b></p> <p>The proposal fails to meet the minimum side setback requirements to the western boundary at ground floor, first floor, second floor and third floor</p> <p>The proposal fails to meet the minimum side setback requirements to the eastern boundary at second floor and third floor</p>	<p><b>Standard Met/Standard Not Met/NA</b></p> <p><b>* Standard not met</b></p> <p>The proposal fails to meet the minimum side setback requirements to the western boundary at ground floor, first floor, second floor and third floor</p> <p>The proposal fails to meet the minimum side setback requirements to the eastern boundary at second floor and third floor</p>
	<p>Sunblinds, verandahs, porches, eaves, fascias, gutters, masonry chimneys, flues, pipes,</p>	<p><b>N/A</b></p>

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**2.3.2 Town Planning Application - No. 2 Virginia Street, Springvale (Planning Application No. PLN17/0812) (Cont.)**

	<p>domestic fuel or water tanks, and heating or cooling equipment or other services may encroach not more than 0.5 metres into the setbacks of this standard.</p> <p>Landings having an area of not more than 2 square metres and less than 1 metre high, stairways, ramps, pergolas, shade sails and carports may encroach into the setbacks of this standard.</p>	<p>N/A</p>
<p><b>Decision Guidelines</b></p>	<p>Any relevant neighbourhood character objective, policy or statement set out in this scheme.</p> <p>The design response.</p> <p>The impact on the amenity of the habitable room windows and secluded private open space of existing dwellings.</p> <p>Whether the wall is opposite an existing or simultaneously constructed wall built to the boundary.</p> <p>Whether the wall abuts a side or rear lane.</p>	<p>Whilst the proposal fails to meet the minimum setback requirement to the western boundary, the adjoining interface is not considered sensitive (car park associated with shops) and as such, not as significantly impacted by visual bulk and massing</p> <p>In addition, whilst the proposal fails to meet the minimum setback requirement to the eastern boundary, the adjoining interface is primarily an existing accessway, garage and other outbuildings hard to the boundary, thus the impact of visual bulk and massing is limited</p>
<p><b>Objectives</b></p>	<p>To ensure that the height and setback of a building from a boundary respects the existing or preferred neighbourhood character and limits the impact on the amenity of existing dwellings.</p>	<p>✓ <b>Objective met</b></p> <p>Whilst the proposal fails to meet the minimum side setback requirements, the proposal still achieves an acceptable built form outcome, ensuring that the height and setback of the building respects the preferred neighbourhood character and limits the impact on the amenity of existing dwellings</p>

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**2.3.2 Town Planning Application - No. 2 Virginia Street, Springvale (Planning Application No. PLN17/0812) (Cont.)**

**Clause 55.04-2 Walls on boundaries objective**

Title & Objective	Standards	Standard Met/Standard Not Met/N/A
<p><b>Standard B18</b></p>	<p>A new wall constructed on or within 200mm of a side or rear boundary of a lot, or a carport constructed on or within 1 metre of a side or rear boundary of lot should not abut the boundary:</p> <ul style="list-style-type: none"> <li>• For a length of more than the distance specified in the schedule to the zone; or</li> <li>• If no distance is specified in a schedule to the zone, for a length of more than:                             <ul style="list-style-type: none"> <li>- 10 metres plus 25 per cent of the remaining length of the boundary of an adjoining lot, or</li> <li>- Where there are existing or simultaneously constructed walls or carports abutting the boundary on an abutting lot, the length of the existing or simultaneously constructed walls or carports, whichever is the greater.</li> </ul> </li> </ul> <p>A new wall or carport may fully abut a side or rear boundary where slope and retaining walls or fences would result in the effective height of the wall or carport being less than 2 metres on the abutting property.</p> <p>A building on a boundary includes a building set back up to 200mm from a boundary.</p> <p>The height of a new wall constructed on or within 200 mm of a side or rear boundary or a carport constructed on or within 1 metre of a side or rear boundary should not exceed an average of 3.2 metres with no part higher than 3.6 metres unless abutting a higher existing or simultaneously constructed wall.</p>	<p>N/A</p> <p>No walls constructed on the boundary</p> <p>N/A</p> <p>No walls constructed on the boundary</p> <p>N/A</p> <p>No walls constructed on the boundary</p> <p>N/A</p> <p>No walls constructed on the boundary</p>
<p><b>Decision Guidelines</b></p>	<p>Any relevant neighbourhood character objective, policy or statement set out in this scheme.</p> <p>The design response.</p> <p>The extent to which walls on boundaries are part of the neighbourhood character.</p> <p>The impact on the amenity of existing dwellings.</p> <p>The opportunity to minimise the length of walls on boundaries by aligning a new wall on a boundary with an existing wall on a lot of an adjoining property.</p> <p>The orientation of the boundary that the wall is being built on.</p> <p>The width of the lot.</p> <p>The extent to which the slope and retaining walls or fences reduce the effective height of the wall.</p> <p>Whether the wall abuts a side or rear lane.</p> <p>The need to increase the wall height to screen a box gutter.</p>	

**2.3.2 Town Planning Application - No. 2 Virginia Street, Springvale (Planning Application No. PLN17/0812) (Cont.)**

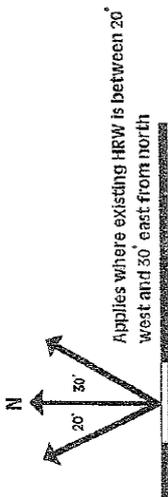
<p><b>Objectives</b></p>	<p>To ensure that the location, length and height of a wall on a boundary respects the existing or preferred neighbourhood character and limits the impact on the amenity of existing dwellings.</p>	<p>N/A No walls constructed on the boundary</p>
<p><b>Clause 55.04-3 Daylight to existing windows objective</b></p>		
<p><b>Title &amp; Objective</b></p>		
<p><b>Standard B19</b></p>	<p>Buildings opposite an existing habitable room window should provide for a light court to the existing window that has a minimum area of 3 square metres and minimum dimension of 1 metre clear to the sky. The calculation of the area may include land on the abutting lot.  Walls or carports more than 3 metres in height opposite an existing habitable room window should be set back from the window at least 50 per cent of the height of the new wall if the wall is within a 55 degree arc from the centre of the existing window. The arc may be swung to within 35 degrees of the plane of the wall containing the existing window.</p>	<p>Standard Met/Standard Not Met/NA  ✓ Standard met No proposed buildings opposite habitable room windows  N/A</p>
<p><b>Diagram B2 Daylight to existing windows</b></p>		
<p>The design response.</p>		
<p><b>Decision Guidelines</b></p>	<p>The extent to which the existing dwelling has provided for reasonable daylight access to its habitable rooms through the siting and orientation of its habitable room windows.  The impact on the amenity of existing dwellings.</p>	
<p><b>Objective</b></p>	<p>To allow adequate daylight into existing habitable room windows.</p>	
<p>✓ Objective met</p>		

**2.3.2 Town Planning Application - No. 2 Virginia Street, Springvale (Planning Application No. PLN17/0812) (Cont.)**

**Clause 55.04-4 North-facing windows objective**

Title & Objective	Standards	Standard Met/Standard Not Met/N/A
<p><b>Standard B20</b></p>	<p>If a north-facing habitable room window of an existing dwelling is within 3 metres of a boundary on an abutting lot, a building should be setback from the boundary 1 metre, plus 0.6 metres for every metre of height over 3.6 metres up to 6.9 metres, plus 1 metre for every metre of height over 6.9 metres, for a distance of 3 metres from the edge of each side of the window.</p> <p><b>Diagram B3 North-facing windows</b></p>	<p>N/A</p> <p>No north-facing habitable room windows to adjoining dwellings</p>
	<p>A north facing window is a window with an axis perpendicular to its surface orientated north 20 degrees west to north 30 degrees east.</p>	<p>N/A</p>

**2.3.2 Town Planning Application - No. 2 Virginia Street, Springvale (Planning Application No. PLN17/0812) (Cont.)**

	 <p>Applies where existing HRW is between 20° west and 30° east from north</p>	
<b>Decision Guidelines</b>	<p>The design response.</p> <p>Existing sunlight to the north-facing habitable room window of the existing dwelling.</p> <p>The impact on the amenity of existing dwellings.</p> <p>To allow adequate solar access to existing north-facing habitable room windows.</p>	N/A
<b>Objective</b>		

**Clause 55.04-5 Overshadowing open space objective**

<b>Title &amp; Objective</b>	<b>Standards</b>	<b>Standard Met/Standard Not Met/NA</b>
<b>Standard B21</b>	<p>Where sunlight to the secluded private open space of an existing dwelling is reduced, at least 75 per cent, or 40 square metres with a minimum dimension of 3 metres, whichever is the lesser area, of the secluded private open space should receive a minimum of five hours of sunlight between 9am and 3pm on 22 Sept.</p> <p>If existing sunlight to the secluded private open space of an existing dwelling is less than the requirements of this standard, the amount of sunlight should not be further reduced.</p>	<p>✓ <b>Standard met</b></p> <p>Whilst overshadowing will occur to the eastern side of the site (existing private open space area), the private open space area will continue to maintain a minimum 104sqm of open space with full solar access</p> <p>Overshadowing of other adjoining non-sensitive adjoining properties is not applicable</p> <p>✓ <b>Standard met</b></p>
<b>Decision Guidelines</b>	<p>The design response.</p> <p>The impact on the amenity of existing dwellings.</p> <p>Existing sunlight penetration to the secluded private open space of the existing dwelling.</p> <p>The time of day that sunlight will be available to the secluded private open space of the existing dwelling.</p> <p>The effect of a reduction in sunlight on the existing use of the existing secluded private open space.</p>	
<b>Objective</b>	<p>To ensure buildings do not significantly overshadow existing secluded private open space.</p>	<p>✓ <b>Objective met</b></p>

**2.3.2 Town Planning Application - No. 2 Virginia Street, Springvale (Planning Application No. PLN17/0812) (Cont.)**

**Clause 55.04-6 Overlooking objective**

Title & Objective	Standards	Standard Met/Standard Not Met/NA
<p><b>Standard B22</b></p>	<p>A habitable room window, balcony, terrace, deck or patio should be located and designed to avoid direct views into the secluded private open space of an existing dwelling within a horizontal distance of 9 metres (measured at ground level) of the window, balcony, terrace, deck or patio. Views should be measured within a 45 degree angle from the plane of the window or perimeter of the balcony, terrace, deck or patio, and from a height of 1.7 metres above floor level.</p> <p><b>Diagram B4 Overlooking open space</b></p>	<p><b>✓ Standard met</b></p> <p>All overlooking measures have been considered with the standard met. It is noted that western and southern facing windows are not required to be screened as these are not considered sensitive interface</p> <p>All east facing windows are screened where necessary to limit overlooking. Whilst a number of windows to the east remain as clear glazed, these windows are located opposite the dwellings accessway, garage and outbuildings and outside of the 9m threshold, thus not requiring screening</p>
<p>A habitable room window, balcony, terrace, deck or patio with a direct view into a habitable room window of existing dwelling within a horizontal distance of 9 metres (measured at ground level) of the window, balcony, terrace, deck or patio should be either:</p> <ul style="list-style-type: none"> <li>• Offset a minimum of 1.5 metres from the edge of one window to the edge of the other.</li> <li>• Have sill heights of at least 1.7 metres above floor level.</li> </ul>	<p><b>✓ Standard met</b></p>	

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**2.3.2 Town Planning Application - No. 2 Virginia Street, Springvale (Planning Application No. PLN17/0812) (Cont.)**

	<ul style="list-style-type: none"> <li>• Have fixed, obscure glazing in any part of the window below 1.7 metre above floor level.</li> <li>• Have permanently fixed external screens to at least 1.7 metres above floor level and be no more than 25 per cent transparent.</li> </ul> <p>Obscure glazing in any part of the window below 1.7 metres above floor level may be operable provided that there are no direct views as specified in this standard.</p> <p>Screens used to obscure a view should be:</p> <ul style="list-style-type: none"> <li>• Perforated panels or trellis with a maximum of 25 per cent openings or solid translucent panels.</li> <li>• Permanent, fixed and durable.</li> <li>• Designed and coloured to blend in with the development.</li> </ul> <p>The standard does not apply to a new habitable room window, balcony, terrace, deck or patio which faces a property boundary where there is a visual barrier at least 1.8 metres high and the floor level of the habitable room, balcony, terrace, deck or patio is less than 0.8 metres above ground level at the boundary.</p>	<p>✓ <b>Standard met</b></p> <p>✓ <b>Standard met</b></p> <p>✓ <b>Standard met</b></p>
<b>Decision Guidelines</b>	<p>The design response.</p> <p>The impact on the amenity of the secluded private open space or habitable room window.</p> <p>The existing extent of overlooking into the secluded private open space and habitable room window of existing dwellings.</p> <p>The internal daylight to and amenity of the proposed dwelling or residential building.</p> <p>To limit views into existing secluded private open space and habitable room windows.</p>	<p>✓ <b>Objective met</b></p>

**2.3.2 Town Planning Application - No. 2 Virginia Street, Springvale (Planning Application No. PLN17/0812) (Cont.)**

**Clause 55.04-7 Internal views objective**

Title & Objective	Standards	Standard Met/Standard Not Met/NA
<b>Standard B23</b>	Windows and balconies should be designed to prevent overlooking of more than 50 per cent of the secluded private open space of a lower-level dwelling or residential building directly below and within the same development. The design response.	Standard met ✓ Standard met
<b>Decision Guidelines Objective</b>	To limit views into the secluded private open space and habitable room windows of dwellings and residential buildings within a development.	✓ Objective met

**Clause 55.04-8 Noise impacts objectives**

Title & Objective	Standards	Standard Met/Standard Not Met/NA
<b>Standard B24</b>	Noise sources, such as mechanical plant, should not be located near bedrooms of immediately adjacent existing dwellings. Noise sensitive rooms and secluded private open spaces of new dwellings and residential buildings should take into account of noise sources on immediately adjacent properties. Dwellings and residential buildings close to busy roads, railway lines or industry should be designed to limit noise levels in habitable rooms. The design response.	Standard Met/Standard Not Met/NA N/A – Please refer to Clause 55.07 assessment under Appendix 5
<b>Decision Guidelines Objectives</b>	To contain noise sources within development that may affect existing dwellings. To protect residents from external noise.	

**Clause 55.05-1 Accessibility objective**

Title & Objective	Standards	Standard Met/Standard Not Met/NA
<b>Standard B25</b>	The dwelling entries of the ground floor of dwellings and residential buildings should be accessible or able to be easily made accessible to people with limited mobility. To encourage the consideration of the needs of people with limited mobility in the design of developments.	Standard Met/Standard Not Met/NA N/A – Please refer to Clause 55.07 assessment under Appendix 5
<b>Objective</b>		

**2.3.2 Town Planning Application - No. 2 Virginia Street, Springvale (Planning Application No. PLN17/0812) (Cont.)**

**Clause 55.05-2 Dwelling entry objective**

Title & Objective	Standards	Standard Met/Standard Not Met/NA
<b>Standard B26</b>	Entries to dwellings and residential buildings should: <ul style="list-style-type: none"> <li>• Be visible and easily identifiable from streets and other public areas.</li> <li>• Provide shelter, a sense of personal address and a transitional space around the entry.</li> </ul>	N/A – Please refer to Clause 55.07 assessment under Appendix 5
<b>Objective</b>	To provide each dwelling or residential building with its own sense of identity.	

**Clause 55.05-3 Daylight to new windows objective**

Title & Objective	Standards	Standard Met/Standard Not Met/NA
<b>Standard B27</b>	A window in a habitable room should be located to face: <ul style="list-style-type: none"> <li>• An outdoor space clear to the sky or a light court with a minimum area of 3 square metres and minimum dimension of 1 metre clear to the sky, not including land on an abutting lot, or</li> <li>• A verandah provided it is open for at least on third of its perimeter, or</li> <li>• A carport provided it has two or more open sides and is open for at least on third of its perimeter.</li> </ul>	✓ <b>Standard met</b> All proposed habitable room windows have access to suitable daylight
<b>Decision Guidelines</b>	The design response. Whether there are other windows in the habitable room which have access to daylight.	
<b>Objective</b>	To allow adequate daylight into new habitable room windows.	✓ <b>Objective met</b>

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**2.3.2 Town Planning Application - No. 2 Virginia Street, Springvale (Planning Application No. PLN17/0812) (Cont.)**

**Clause 55.05-4 Private open space objective**

Title & Objective	Standards	Standard Met/Standard Not Met/NA
<p><b>Standard B28</b></p>	<p>A dwelling or residential building should have private open space of an area and dimensions specified in a schedule to the zone.</p> <p><b>RGZ1:</b> None specified</p> <p><b>RGZ2:</b> "As per B28; or a balcony or rooftop with a minimum area of 10 square metres with a minimum width of 2 metres that is directly accessible from a living room."</p> <p><b>RGZ3:</b> "As per B28; or a balcony or rooftop with a minimum area of 10 square metres with a minimum width of 2 metres that is directly accessible from the main living area."</p> <p><b>GRZ1:</b> "An area of 50 square metres of ground level, private open space, with an area of secluded private open space at the side or rear of the dwelling with a minimum area of 30 square metres and a minimum dimension of 5 metres and convenient access from a living room; or</p> <p>A balcony or rooftop with a minimum area of 10 square metres with a minimum width of 2 metres that is directly accessible from the main living area."</p> <p><b>GRZ2:</b> "As per the B28 40 sq m requirement, with the 25 sq m of secluded private open space at ground level having a minimum dimension of 5 metres; or</p> <p>A balcony or rooftop with a minimum area of 10 square metres with a minimum width of 2 metres that is directly accessible from the main living area."</p> <p><b>NRZ1:</b> "An area of 60 square metres of ground level, private open space, with an area of secluded private open space at the side or rear of the dwelling with a minimum area of 40 square metres with a minimum dimension of 5 metres and convenient access from a living room; or</p> <p>A balcony or rooftop with a minimum area of 10 square metres with a minimum width of 2 metres that is directly accessible from the main living area."</p>	<p><b>* Standard not met</b></p> <p>Only apartments which fail to meet the standard are shown</p> <p>Dwelling 1 (G01): 65sqm of private open space, including an area of 27sqm of secluded private open space to the site frontage with a minimum dimension of 3.9m (frontage not considered secluded with 1.2m high front fence only)</p> <p>Dwelling 2 (G02): 36sqm of private open space, including an area of 25sqm of secluded private open space with a minimum dimension of 2.9m</p> <p>Dwelling 5 (G05): 43sqm of private open space, including an area of 26sqm with a varied minimum dimension between 2.838m and 4.387m</p> <p>Dwelling 10 (105): Minimum area of 10sqm not achieved with 9.1sqm proposed</p>

ORDINARY COUNCIL MEETING - AGENDA

**2.3.2 Town Planning Application - No. 2 Virginia Street, Springvale (Planning Application No. PLN17/0812) (Cont.)**

	<p>If no area or dimensions are specified in a schedule to the zone, a dwelling or residential building should have private open space consisting of:</p> <ul style="list-style-type: none"> <li>• An area of 40 square metres, with one part of the private open space to consist of secluded private open space at the side or rear of the dwelling or residential building with a minimum area of 25 square metres, a minimum dimension of 3 metres and convenient access from a living room, or</li> <li>• A balcony of 8 square metres with a minimum width of 1.6 metres and convenient access from a living room, or</li> <li>• A roof-top area of 10 square metres with a minimum width of 2 metres and convenient access from a living room.</li> </ul> <p>The balcony requirements in Clause 55.05-4 do not apply to an apartment development.</p>	<p>N/A</p>
<p><b>Decision Guidelines</b></p>	<p>The design response.                  The useability of the private open space, including its size and accessibility.                  The availability of and access to public or communal open space.                  The orientation of the lot to the street and the sun.</p>	<p>Whilst a number of the open space areas at ground floor fail to meet the minimum dimensions and area sizes, the open spaces are considered to be of high quality, accessible and useable for recreational purposes, and as it is recommended that they be maintained in their current state</p>
<p><b>Objective</b></p>	<p>To provide adequate private open space for the reasonable recreation and service needs of residents.</p>	<p>✓ <b>Objective met</b>                  With the above conditions, the private open space areas for each dwelling are considered reasonable for the recreation and service needs of residents</p>

**2.3.2 Town Planning Application - No. 2 Virginia Street, Springvale (Planning Application No. PLN17/0812) (Cont.)**

**Clause 55.05-5 Solar access to open space objective**

Title & Objective		Standards	Standard Met/Standard Not Met/NA
<b>Standard B29</b>	The private open space should be located on the north side of the dwelling or residential building, if appropriate.	<p>The southern boundary of secluded private open space should be set back from any wall on the north of the space at least <math>(2 + 0.9h)</math> metres, where 'h' is the height of the wall.</p> <p><b>Diagram B5 Solar access to open space</b></p>	<p>✓ <b>Standard met</b></p> <p>Where practicable, open space is located to receive maximum sunlight. Given the north-south orientation of the allotment, this is difficult to achieve in full</p> <p>✗ <b>Standard not met</b></p> <p>The ground, first and second floor south facing open space/balconies do not meet the minimum setback requirements given their minimum size is only required to be 2 / 3m respectively, with significant setbacks required due to the height of the building</p>
<b>Decision Guidelines</b>	The design response. The useability and amenity of the secluded private open space based on the sunlight it will receive.		The proposal fails to meet the minimum standard, in part due to the north-south orientation of the site and its proposed use as an apartment building. The shadow diagrams indicate that solar access is achieved throughout the day in part, ensuring long term useability by residents
<b>Objective</b>	To allow solar access into the secluded private open space of new dwellings and residential buildings.		<p>✓ <b>Objective met</b></p> <p>The proposal allows solar access into the secluded private open space of the proposed residential building</p>

**2.3.2 Town Planning Application - No. 2 Virginia Street, Springvale (Planning Application No. PLN17/0812) (Cont.)**

<b>Clause 55.05-6 Storage objective</b>		<b>Standard Met/Standard Not Met/NA</b>
<b>Title &amp; Objective</b>	<b>Standards</b>	
<b>Standard B30</b>	Each dwelling should have convenient access to at least 6 cubic metres of externally accessible, secure storage space.	<b>N/A – Please refer to Clause 55.07 assessment under Appendix 5</b>
<b>Objective</b>	To provide adequate storage facilities for each dwelling.	
<b>Clause 55.06-1 Design detail objective</b>		<b>Standard Met/Standard Not Met/NA</b>
<b>Title &amp; Objective</b>	<b>Standards</b>	
<b>Standard B31</b>	<p>The design of buildings, including:</p> <ul style="list-style-type: none"> <li>• Façade articulation and detailing,</li> <li>• Window and door proportions,</li> <li>• Roof form, and</li> <li>• Verandahs, eaves and parapets,</li> </ul> should respect the existing or preferred neighbourhood character.	<p>✓ <b>Standard met</b></p> <p>The proposed apartment building maintains a consistent façade pattern to those existing apartments opposite, including articulation and detailing</p> <p>The flat roof form is typical for apartment buildings, likewise the eaves, parapets and the like</p> <p>The design features, including the curved screens provide visual interest to improve the presentation to the streetscape</p>
<b>Decision Guidelines</b>	<p>Garages and carports should be visually compatible with the development and the existing or preferred neighbourhood character.</p> <p>Any relevant neighbourhood character objective, policy or statement set out in this scheme.</p> <p>The design response.</p> <p>The effect on the visual bulk of the building and whether this is acceptable in the neighbourhood setting.</p> <p>Whether the design is innovative and of a high architectural standard.</p>	<p>✓ <b>Standard met</b></p> <p>Garages are located within the basement car park and not visible to the streetscape</p>
<b>Objective</b>	To encourage design detail that respects the existing or preferred neighbourhood character.	✓ <b>Objective met</b>

**2.3.2 Town Planning Application - No. 2 Virginia Street, Springvale (Planning Application No. PLN17/0812) (Cont.)**

<b>Clause 55.06-2 Front fences objective</b>		<b>Standard Met/Standard Not Met/NA</b>						
<b>Title &amp; Objective</b>	<b>Standards</b>							
<b>Standard B32</b>	<p>The design of front fences should complement the design of the dwelling or residential building and any front fences on adjoining properties.</p> <p>A front fence within 3 metres of a street should not exceed:</p> <ul style="list-style-type: none"> <li>The maximum height specified in a schedule to the zone, or</li> </ul> <p><b>All schedules to all residential zones:</b></p> <p><b>"Maximum 1.5 metre height in streets in Road Zone Category 1          1.2 metre maximum height for other streets"</b></p> <ul style="list-style-type: none"> <li>If no maximum height is specified in a schedule to the zone, the maximum height specified in Table B3.</li> </ul> <p><b>Table B3 Maximum front fence height</b></p> <table border="1"> <thead> <tr> <th>Street Context</th> <th>Maximum front fence height</th> </tr> </thead> <tbody> <tr> <td>Streets in a Road Zone, Category 1</td> <td>2 metres</td> </tr> <tr> <td>Other streets</td> <td>1.5 metres</td> </tr> </tbody> </table>	Street Context	Maximum front fence height	Streets in a Road Zone, Category 1	2 metres	Other streets	1.5 metres	<p>✓ <b>Standard met</b>                      The design of the front fence is consistent with the varied front fence character of Virginia Street</p> <p>✓ <b>Standard met</b>                      1.2m high front fence proposed</p>
Street Context	Maximum front fence height							
Streets in a Road Zone, Category 1	2 metres							
Other streets	1.5 metres							
<b>Decision Guidelines</b>	<p>Any relevant neighbourhood character objective, policy or statement set out in this scheme.</p> <p>The design response.</p> <p>The setback, height and appearance of front fences on adjacent properties.</p> <p>The extent to which slope and retaining walls reduce the effective height of the front fence.</p> <p>Whether the fence is needed to minimise noise intrusion.</p> <p>To encourage front fence design that respects the existing or preferred neighbourhood character.</p>							
<b>Objective</b>		<p>✓ <b>Objective met</b></p>						

**2.3.2 Town Planning Application - No. 2 Virginia Street, Springvale (Planning Application No. PLN17/0812) (Cont.)**

**Clause 55.06-3 Common property objectives**

Title & Objective	Standards	Standard Met/Standard Not Met/NA
<b>Standard B33</b>	Developments should clearly delineate public, communal and private areas.	<p>✓ <b>Standard met</b> Common property areas are clearly delineated from private areas</p>
<b>Objectives</b>	<p>Common property, where provided, should be functional and capable of efficient management.</p> <p>To ensure that communal open space, car parking, access areas and site facilities are practical, attractive and easily maintained.</p> <p>To avoid future management difficulties in areas of common ownership.</p>	<p>✓ <b>Standard met</b> Common property, where provided on site is considered to be capable of efficient management</p> <p>✓ <b>Objective met</b></p>

**Clause 55.06-4 Site services objectives**

Title & Objective	Standards	Standard Met/Standard Not Met/NA
<b>Standard B34</b>	<p>The design and layout of dwellings and residential buildings should provide sufficient space (including easements where required) and facilities for services to be installed and maintained efficiently and economically.</p> <p>Bin and recycling enclosures, mailboxes and other site facilities should be adequate in size, durable, waterproof and blend in with the development.</p> <p>Bin and recycling enclosures should be located for convenient access by residents.</p> <p>Mailboxes should be provided and located for convenient access as required by Australia Post.</p>	<p>✓ <b>Standard met</b> The basement car park accommodates all site services include bins, lift equipment, bicycle facilities, storage units and the like</p> <p>✓ <b>Standard met</b></p> <p>✓ <b>Standard met</b> Waste refuse areas are located within the basement area for shared ease of access</p> <p>✓ <b>Standard met</b></p>
<b>Decision Guidelines</b>	The design response.	
<b>Objectives</b>	<p>To ensure that site services can be installed and easily maintained.</p> <p>To ensure that site facilities are accessible, adequate and attractive.</p>	<p>✓ <b>Objective met</b></p>

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**2.3.2 Town Planning Application - No. 2 Virginia Street, Springvale (Planning Application No. PLN17/0812)  
(Cont.)**

**STATUTORY PLANNING APPLICATIONS**

**TOWN PLANNING APPLICATION - NO. 2 VIRGINIA STREET, SPRINGVALE  
(PLANNING APPLICATION NO. PLN17/0812) ATT. 5**

**ATTACHMENT 5**

**CLAUSE 55.07 ASSESSMENT**

**PAGES 18 (including cover)**

*If the details of the attachment are unclear please contact Governance on 8571 5309.*

ORDINARY COUNCIL MEETING - AGENDA

**2.3.2 Town Planning Application - No. 2 Virginia Street, Springvale (Planning Application No. PLN17/0812) (Cont.)**

**Clause 55.07-1 Energy efficiency objectives**

Objective	Standards	Standards met/Standards not met
<p><b>Standard B35</b></p>	<p>Buildings should be:</p> <ul style="list-style-type: none"> <li>Orientated to make appropriate use of solar energy.</li> <li>Sited and designed to ensure that the energy efficiency of existing dwellings on adjoining lots is not unreasonably reduced.</li> </ul> <p>Living areas and private open space should be located on the north side of the development, if practicable.</p>	<p>✓ <b>Standard met</b></p> <p>Where practicable, the building is oriented to make use of solar energy. Noting the shadow diagrams prepared, the proposed building will not unreasonably reduce the energy efficiency of existing dwellings, primarily that dwelling to the east</p>
	<p>Developments should be designed so that solar access to north-facing windows is optimised.</p>	<p>✓ <b>Standard met</b></p> <p>Given the north-south orientation of the site, where practicable, the dwellings have been sited to ensure living areas and private open space areas are located to the north, or if not north facing to ensure that living areas and private open space received adequate solar access</p>
	<p>Dwellings should not exceed the following NatHERS maximum cooling load for climate zone 62 Moorabbin: 21 MJ/m<sup>2</sup> per annum.</p>	<p>✓ <b>Standard met</b></p> <p>The applicant has indicated that the dwellings do not exceed the cooling load for the Moorabbin climate zone</p>
<p><b>Decision Guidelines</b></p>	<p>The design response.</p> <p>The size, orientation and layout of the site.</p> <p>The existing amount of solar access to abutting properties.</p> <p>The availability of solar access to north-facing windows on the site.</p> <p>The annual cooling load for each dwelling.</p>	
<p><b>Objectives</b></p>	<p>To achieve and protect energy efficient dwellings and buildings.</p> <p>To ensure the orientation and layout of development reduce fossil fuel energy use and make appropriate use of daylight and solar energy.</p> <p>To ensure dwellings achieve adequate thermal efficiency.</p>	<p>✓ <b>Objective met</b></p>

*If the details of the attachment are unclear please contact Governance on 8571 5309.*

**2.3.2 Town Planning Application - No. 2 Virginia Street, Springvale (Planning Application No. PLN17/0812) (Cont.)**

**Clause 55.07-2 Communal open space objective**

Objective	Standards	Standards met/Standards not met
<p><b>Standard B36</b></p>	<p>Developments with 40 or more dwellings should provide a minimum area of communal open space of 2.5 square metres per dwelling or 250 square metres, whichever is the lesser.</p> <p>Communal open space should:</p> <ul style="list-style-type: none"> <li>• Provide passive surveillance opportunities, where appropriate.</li> <li>• Provide outlook for as many dwellings as practicable.</li> <li>• Avoid overlooking into habitable rooms and private open space of new dwellings.</li> <li>• Minimise noise impacts to new and existing dwellings.</li> </ul> <p>Be designed to protect any natural features on the site.</p> <p>Maximise landscaping opportunities.</p> <p>Be accessible, useable and capable of efficient management.</p>	<p>N/A</p> <p>The proposal is only for 14 dwellings</p> <p>N/A</p>
<p><b>Decision Guidelines</b></p>	<p>Any relevant urban design objective, policy or statement set out in this scheme.</p> <p>The design response.</p> <p>The useability and amenity of the communal open space based on its size, location, accessibility and reasonable recreation needs of residents.</p> <p>The availability of and access to public open space.</p>	<p>N/A</p> <p>N/A</p> <p>N/A</p>
<p><b>Objective</b></p>	<p>To ensure that communal open space is accessible, practical, attractive, easily maintained and integrated with the layout of the development.</p>	<p>N/A</p>

**2.3.2 Town Planning Application - No. 2 Virginia Street, Springvale (Planning Application No. PLN17/0812) (Cont.)**

**Clause 55.07-3 Solar access to communal outdoor open space objective**

Objective	Standards	Standards met/Standards not met
<b>Standard B37</b>	The communal outdoor space should be located on the north side of a building, if practicable.	N/A As above
	At least 50 per cent or 125 square metres, whichever is the lesser, of the primary communal outdoor open space should receive a minimum of two hours of sunlight between 9am and 3pm on 21 June.	N/A
<b>Decision Guidelines</b>	The design response. The useability and amenity of the primary communal outdoor space areas based on the urban context, the orientation of the building, the layout of dwellings and the sunlight it will receive.	
<b>Objective</b>	To allow solar access into communal outdoor open space.	N/A

**Clause 55.07-4 Deep soil areas and canopy trees objective**

Objective	Standards	Standards met/Standards not met
<b>Standard B38</b>	The landscape layout and design should: <ul style="list-style-type: none"> <li>• Be responsive to the site context.</li> <li>• Consider landscaping opportunities to reduce heat absorption such as green walls, green roofs and roof top gardens and improve on-site storm water infiltration.</li> <li>• Maximise deep soil areas for planting of canopy trees.</li> <li>• Integrate planting and water management.</li> </ul>	<p>✓ <b>Standard met</b></p> <p>The landscape plan submitted clearly demonstrates the intent to provide a suitable landscaping outcome on the site</p> <p>The proposal provides an area for deep root canopy planting, as well as significant canopy and shrubbery planting around the front, side and rear setback, seeking to soften the built form of the proposal</p>

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**2.3.2 Town Planning Application - No. 2 Virginia Street, Springvale (Planning Application No. PLN17/0812) (Cont.)**

	<p>Developments should provide the deep soil areas and canopies as specified in Table B5:</p> <table border="1"> <thead> <tr> <th>Site area</th> <th>Deep soil areas</th> <th>Minimum tree provision</th> </tr> </thead> <tbody> <tr> <td>750 - 1000 square metres</td> <td>5% of site area (minimum dimension of 3 metres)</td> <td>1 small tree (6-8 metres) per 30 square metres of deep soil</td> </tr> <tr> <td>1001 - 1500 square metres</td> <td>7.5% of site area (minimum dimension of 3 metres)</td> <td>1 medium tree (8-12 metres) per 50 square metres of deep soil or 1 large tree per 90 square metres of deep soil</td> </tr> <tr> <td>1501 - 2500 metres</td> <td>10% of site area (minimum dimension of 6 metres)</td> <td>1 large tree (at least 12 metres) per 90 square metres of deep soil or 2 medium trees per 90 square metres of deep soil</td> </tr> <tr> <td>&gt;2500 square metres</td> <td>15% of site area (minimum dimension of 6 metres)</td> <td>1 large tree (at least 12 metres) per 90 square metres of deep soil or 2 medium trees per 90 square metres of deep soil</td> </tr> </tbody> </table> <p><i>Where an existing canopy tree over 8 metres can be retained on a lot greater than 1000 square metres without damage during the construction period, the minimum deep soil requirement is 7% of the site area.</i></p> <p>If the development cannot provide the deep soil areas and canopy trees specified in Table B5, an equivalent canopy cover should be achieved by providing either:</p> <ul style="list-style-type: none"> <li>• Canopy trees or climbers (over a pergola) with planter pits sized appropriately for the mature tree soil volume requirements.</li> <li>• Vegetated planters, green roofs or green facades.</li> </ul>	Site area	Deep soil areas	Minimum tree provision	750 - 1000 square metres	5% of site area (minimum dimension of 3 metres)	1 small tree (6-8 metres) per 30 square metres of deep soil	1001 - 1500 square metres	7.5% of site area (minimum dimension of 3 metres)	1 medium tree (8-12 metres) per 50 square metres of deep soil or 1 large tree per 90 square metres of deep soil	1501 - 2500 metres	10% of site area (minimum dimension of 6 metres)	1 large tree (at least 12 metres) per 90 square metres of deep soil or 2 medium trees per 90 square metres of deep soil	>2500 square metres	15% of site area (minimum dimension of 6 metres)	1 large tree (at least 12 metres) per 90 square metres of deep soil or 2 medium trees per 90 square metres of deep soil	<p>✓ <b>Standard met</b></p> <p>Total deep soil area requirement: 5% of 793sqm or 39.65sqm of deep soil area with a minimum dimension of 3m</p> <p>Minimum tree provision: 1 small tree (6-8m) per 30sqm of deep soil</p> <p>The site frontage includes an area of 35sqm with a minimum dimension of 4m, and includes a <i>Ulmus parvifolia</i> 'Chinese Elm' tree with a 10 x 10m height/width at maturity</p> <p>The basement/landscape plan also nominates a slab recession at the ground floor level to accommodate additional deep tree planting, with a minimum width of 1.5m. Whilst this is not in accordance with the standard, it is an additional area available for deep canopy tree planting</p>
Site area	Deep soil areas	Minimum tree provision															
750 - 1000 square metres	5% of site area (minimum dimension of 3 metres)	1 small tree (6-8 metres) per 30 square metres of deep soil															
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>2500 square metres	15% of site area (minimum dimension of 6 metres)	1 large tree (at least 12 metres) per 90 square metres of deep soil or 2 medium trees per 90 square metres of deep soil															
<p><b>Decision Guidelines</b></p>	<p>The design response.</p> <p>The suitability of the proposed location and soil volume for canopy trees.</p>	<p><b>N/A</b></p> <p>The proposal does meet the deep soil area requirement, but also seeks to provide canopy trees, climbers, vegetated pergolas, vegetated planters and green balconies at the ground, first, second and third level</p>															

**2.3.2 Town Planning Application - No. 2 Virginia Street, Springvale (Planning Application No. PLN17/0812) (Cont.)**

	The ongoing management of landscaping within a development. The soil type and drainage patterns of the site.	
<b>Objective</b>	To promote climate responsive landscape design and water management in developments to support thermal comfort and reduce the urban heat island effect.	✓ <b>Objective met</b>

**Clause 55.07-5 Integrated water and stormwater management objectives**

<b>Objective</b>	<b>Standards</b>	<b>Standards met/Standards not met</b>
<b>Standard B39</b>	Buildings should be designed to collect rainwater for non-drinking purposes such as flushing toilets, laundry appliances and garden use.  Buildings should be connected to a non-potable dual pipe reticulated water supply, where available from the water authority.  The stormwater management system should be: <ul style="list-style-type: none"> <li>Designed to meet the current best practice performance objective for stormwater quality as contained in the Urban Stormwater – Best Practice Environmental Guidelines (Victorian Stormwater Committee 1999) as amended.</li> <li>Designed to maximise infiltration of stormwater, water and drainage of residual flows into permeable surfaces, tree pits and treatment areas.</li> </ul> Any relevant water and stormwater management objective, policy or statement set out in this scheme. The design response. Whether the development has utilised alternative water sources and/or incorporated water sensitive urban design. Whether discharge from the site to the stormwater will adversely affect water quality entering the drainage system. The capacity of the drainage network to accommodate additional stormwater. Whether the stormwater treatment areas can be effectively maintained.	✓ <b>Standard met</b> The proposed BESS assessment provided demonstrates a roof area of approximately 441qm for rainwater catchment to 15kL of underground rainwater tanks  ✓ <b>Standard met</b>  ✓ <b>Standard met</b> The proposal achieves a storm rating of 105%, thus meeting the best practice performance measures
<b>Decision Guidelines</b>		
<b>Objectives</b>	To encourage the use of alternative water sources such as rainwater, stormwater and recycled water. To facilitate stormwater collection, utilisation and infiltration with the development. To encourage development that reduces the impact of stormwater run-off on the drainage system and filters sediment and waste from stormwater prior to discharge from the site.	✓ <b>Objective met</b>

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**2.3.2 Town Planning Application - No. 2 Virginia Street, Springvale (Planning Application No. PLN17/0812) (Cont.)**

**Clause 55.07-6 Noise impacts objectives**

Objective	Standards	Standards met/Standards not met
Standard B40	<p>Noise sources, such as mechanical plants should not be located near bedrooms of immediately adjacent existing dwellings.</p> <p>The layout of new dwellings and buildings should minimise noise transmission within the site.</p> <p>Noise sensitive rooms (such as living areas and bedrooms) should be located to avoid noise impacts from mechanical plants, lifts, building services, non-residential uses, car parking, communal areas and other dwellings.</p> <p>New dwellings should be designed and constructed to include acoustic attenuation measures to reduce noise levels from off-site noise sources.</p>	<p><b>Standard met</b> No bedrooms are located immediately adjacent to any noise sources on the site or nearby</p> <p><b>Standard met</b></p> <p><b>Standard met</b> The dwelling 5 living room is the only habitable room located adjacent to the lift area, with all other noise sensitive rooms located away from any on-site noise sources. Whilst this is not ideal, it is considered to be an adequate response that seeks to ensure that the majority of rooms are located away from on-site noise impacts</p> <p><b>Standard met</b> No nearby noise sources that would require specific acoustic treatments The applicant has indicated that acoustic attenuation is to be applied to plant and equipment</p>

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**2.3.2 Town Planning Application - No. 2 Virginia Street, Springvale (Planning Application No. PLN17/0812) (Cont.)**

	<p>Buildings within a noise influence area specified in Table B6 should be designed and constructed to achieve the following noise levels:</p> <ul style="list-style-type: none"> <li>• Not greater than 35dB(A) for bedrooms, assessed as an LAeq,8h from 10pm to 6am.</li> <li>• Not greater than 40dB(A) for living areas, assessed as an LAeq,16h from 6am to 10pm</li> </ul> <p><b>Table B6 Noise influence area</b></p> <table border="1"> <thead> <tr> <th>Noise source</th> <th>Noise influence area</th> </tr> </thead> <tbody> <tr> <td><b>Zone interface</b></td> <td></td> </tr> <tr> <td>Industry</td> <td>300 metres from the Industrial 1, 2 and 3 zone boundary</td> </tr> <tr> <td><b>Roads</b></td> <td></td> </tr> <tr> <td>Freeways, tollways and other roads carrying 40,000 Annual Average Daily Traffic Volume</td> <td>300 metres from the nearest trafficable lane</td> </tr> <tr> <td><b>Railways</b></td> <td></td> </tr> <tr> <td>Railway servicing passengers in Victoria</td> <td>80 metres from the centre of the nearest track</td> </tr> <tr> <td>Railway servicing freight outside Metropolitan Melbourne</td> <td>80 metres from the centre of the nearest track</td> </tr> <tr> <td>Railway servicing freight in Metropolitan Melbourne</td> <td>135 metres from the centre of the nearest track</td> </tr> </tbody> </table> <p><i>The noise influence area should be measured from the closest part of the building to the noise source.</i></p> <p>Buildings, or part of a building screened from a noise source by an existing solid structure, or the natural topography of the land, do not need to meet the specified noise level requirements.</p> <p>Noise levels should be assessed in unfurnished rooms with a finished floor and the windows closed.</p>	Noise source	Noise influence area	<b>Zone interface</b>		Industry	300 metres from the Industrial 1, 2 and 3 zone boundary	<b>Roads</b>		Freeways, tollways and other roads carrying 40,000 Annual Average Daily Traffic Volume	300 metres from the nearest trafficable lane	<b>Railways</b>		Railway servicing passengers in Victoria	80 metres from the centre of the nearest track	Railway servicing freight outside Metropolitan Melbourne	80 metres from the centre of the nearest track	Railway servicing freight in Metropolitan Melbourne	135 metres from the centre of the nearest track	<p>✓ <b>Standard met</b></p> <p>Whilst the proposal is located within 300m of the Industrial 1 Zone on Parsons Avenue, it is noted that there are a number of existing structures that serve as a buffer between the two zones, and that the nearest land within 300m of the Industrial 1 Zone is used as a Place of Worship, thus the noise impacts are limited</p>
Noise source	Noise influence area																			
<b>Zone interface</b>																				
Industry	300 metres from the Industrial 1, 2 and 3 zone boundary																			
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<p><b>Decision Guidelines</b></p>	<p>The design response.</p> <p>Whether it can be demonstrated that the design treatment incorporated into the development meets the specified noise levels or an acoustic report by a suitably qualified specialist submitted with the application.</p> <p>Whether the impact of potential noise sources within a development have been mitigated through design, location and siting.</p> <p>Whether the layout of rooms within a dwelling mitigates noise transfer within and between dwellings.</p> <p>Whether an alternative design meets the relevant objectives having regard to the amenity of the dwelling and the site context.</p>																			
<p><b>Objectives</b></p>	<p>To contain noise sources in developments that may affect existing dwellings.</p>	<p>✓ <b>Objective met</b></p>																		

**2.3.2 Town Planning Application - No. 2 Virginia Street, Springvale (Planning Application No. PLN17/0812) (Cont.)**

	To protect residents from external and internal noise sources.	
<b>Clause 55.07-7 Accessibility objective</b>		
<b>Objective</b>	<b>Standards</b>	<b>Standards met/Standards not met</b>
Standard B41	<p>At least 50 per cent of dwellings should have:</p> <ul style="list-style-type: none"> <li>• A clear opening width of at least 850mm at the entrance to the dwelling and main bedroom.</li> <li>• A clear path with a minimum width of 1.2 metres that connects the dwelling entrance to the main bedroom, an adaptable bathroom and the living area.</li> <li>• A main bedroom with access to an adaptable bathroom.</li> </ul>	<p><b>* Standard not met</b></p> <p>Whilst 7 of the 14 dwellings have been designed for accessibility, out of the seven dwellings number 1 and 5 fail to provide an adaptable style bathroom and need to be reconfigured through permit conditions</p>

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**2.3.2 Town Planning Application - No. 2 Virginia Street, Springvale (Planning Application No. PLN17/0812) (Cont.)**

	<p>At least 50 per cent of dwellings should have:</p> <ul style="list-style-type: none"> <li>At least one adaptable bathroom that meets all of the requirements of either Design A or Design B specified in Table B7.</li> </ul> <p><b>Table B7 Bathroom design</b></p> <table border="1"> <thead> <tr> <th></th> <th>Design option A</th> <th>Design option B</th> </tr> </thead> <tbody> <tr> <td>Door opening</td> <td>A clear 850mm wide door opening.</td> <td>A clear 820mm wide door opening located opposite the shower.</td> </tr> <tr> <td>Door design</td> <td>Either:  <ul style="list-style-type: none"> <li>A slide door, or</li> <li>A door that opens outwards, or</li> </ul> </td> <td>Either:  <ul style="list-style-type: none"> <li>A slide door, or</li> <li>A door that opens outwards, or</li> </ul> </td> </tr> <tr> <td>Circulation area</td> <td>A clear circulation area that is:  <ul style="list-style-type: none"> <li>A minimum area of 1.2 metres by 1.2 metres.</li> <li>Located in front of the shower and the toilet.</li> <li>Clear of the toilet, basin and the door swing.</li> </ul>                     The circulation area for the toilet and shower can overlap.                 </td> <td>A clear circulation area that is:  <ul style="list-style-type: none"> <li>A minimum width of 1 metre.</li> <li>The full length of the bathroom, and a minimum length of 2.7 metres.</li> <li>Clear of the toilet and basin.</li> </ul>                     The circulation area can include a shower area.                 </td> </tr> <tr> <td>Path to circulation area</td> <td>A clear path with a minimum width of 900mm from the door opening to the circulation area.</td> <td>Not applicable.</td> </tr> <tr> <td>Shower</td> <td>A hobless (step-free) shower.</td> <td>A hobless (step-free) shower that has a removable shower screen and is located on the furthest wall from the door opening.</td> </tr> <tr> <td>Toilet</td> <td>A toilet located in the corner of the room.</td> <td>A toilet located closest to the door opening and clear of the circulation area.</td> </tr> </tbody> </table>		Design option A	Design option B	Door opening	A clear 850mm wide door opening.	A clear 820mm wide door opening located opposite the shower.	Door design	Either: <ul style="list-style-type: none"> <li>A slide door, or</li> <li>A door that opens outwards, or</li> </ul>	Either: <ul style="list-style-type: none"> <li>A slide door, or</li> <li>A door that opens outwards, or</li> </ul>	Circulation area	A clear circulation area that is: <ul style="list-style-type: none"> <li>A minimum area of 1.2 metres by 1.2 metres.</li> <li>Located in front of the shower and the toilet.</li> <li>Clear of the toilet, basin and the door swing.</li> </ul> The circulation area for the toilet and shower can overlap.	A clear circulation area that is: <ul style="list-style-type: none"> <li>A minimum width of 1 metre.</li> <li>The full length of the bathroom, and a minimum length of 2.7 metres.</li> <li>Clear of the toilet and basin.</li> </ul> The circulation area can include a shower area.	Path to circulation area	A clear path with a minimum width of 900mm from the door opening to the circulation area.	Not applicable.	Shower	A hobless (step-free) shower.	A hobless (step-free) shower that has a removable shower screen and is located on the furthest wall from the door opening.	Toilet	A toilet located in the corner of the room.	A toilet located closest to the door opening and clear of the circulation area.	<p><b>* Standard not met</b></p> <p>Dwellings 1 and 5 fail to provide an adaptable style bathroom and need to be reconfigured through permit conditions</p>
	Design option A	Design option B																					
Door opening	A clear 850mm wide door opening.	A clear 820mm wide door opening located opposite the shower.																					
Door design	Either: <ul style="list-style-type: none"> <li>A slide door, or</li> <li>A door that opens outwards, or</li> </ul>	Either: <ul style="list-style-type: none"> <li>A slide door, or</li> <li>A door that opens outwards, or</li> </ul>																					
Circulation area	A clear circulation area that is: <ul style="list-style-type: none"> <li>A minimum area of 1.2 metres by 1.2 metres.</li> <li>Located in front of the shower and the toilet.</li> <li>Clear of the toilet, basin and the door swing.</li> </ul> The circulation area for the toilet and shower can overlap.	A clear circulation area that is: <ul style="list-style-type: none"> <li>A minimum width of 1 metre.</li> <li>The full length of the bathroom, and a minimum length of 2.7 metres.</li> <li>Clear of the toilet and basin.</li> </ul> The circulation area can include a shower area.																					
Path to circulation area	A clear path with a minimum width of 900mm from the door opening to the circulation area.	Not applicable.																					
Shower	A hobless (step-free) shower.	A hobless (step-free) shower that has a removable shower screen and is located on the furthest wall from the door opening.																					
Toilet	A toilet located in the corner of the room.	A toilet located closest to the door opening and clear of the circulation area.																					
<p><b>Objective</b></p>	<p>To ensure the design of dwellings meets the needs of people with limited mobility.</p>	<p><b>✓ Objective met</b></p> <p>With appropriate conditions, the design of dwellings would meet the needs of people with limited mobility</p>																					

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**2.3.2 Town Planning Application - No. 2 Virginia Street, Springvale (Planning Application No. PLN17/0812) (Cont.)**

**Clause 55.07-8 Building entry and circulation objectives**

Objective	Standards	Standards met/Standards not met
<p><b>Standard B42</b></p>	<p>Entries to dwellings and buildings should:</p> <ul style="list-style-type: none"> <li>• Be visible and easily identifiable.</li> <li>• Provide shelter, a sense of personal address and a transitional space around the entry.</li> </ul> <p>The layout and design of buildings should:</p> <ul style="list-style-type: none"> <li>• Clearly distinguish entrances to residential and non-residential areas.</li> <li>• Provide windows to building entrances and lift areas.</li> <li>• Provide visible, safe and attractive stairs from the entry level to encourage use by residents.</li> <li>• Provide common areas and corridors that:                             <ul style="list-style-type: none"> <li>- Include at least one source of natural light and natural ventilation.</li> <li>- Avoid obstruction from building services.</li> <li>- Maintain clear sight lines.</li> </ul> </li> </ul>	<p><b>✓ Standard met</b></p> <p>The dwelling entry is clearly visible and provides a sense of person identity to the streetscape. The entry has an internal/external transitional space allowing for circulation as necessary</p> <p><b>✓ Standard met</b></p> <p>The layout and design of the building clearly distinguished residential and non-residential areas.</p> <p>The foyer entrance wall is all clear glazed, providing surveillance opportunities</p> <p>The stairwell is located within the foyer area, adjacent the lift to encourage use by residents</p> <p>Each common area has at least one source of natural light and ventilation, maintains clear sight lines and avoids obstructions from building services</p>
<p><b>Decision Guidelines</b></p>	<p>The design response.</p> <p>The usability and amenity of internal communal areas based on daylight access and the natural ventilation it will receive.</p>	
<p><b>Objectives</b></p>	<p>To provide each dwelling and building with its own sense of identity.</p> <p>To ensure the internal layout of buildings provide for the safe, functional and efficient movement of residents.</p> <p>To ensure internal communal areas provide adequate access to daylight and natural ventilation.</p>	<p><b>✓ Objective met</b></p>

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**2.3.2 Town Planning Application - No. 2 Virginia Street, Springvale (Planning Application No. PLN17/0812) (Cont.)**

**Clause 55.07-9 Private open space above ground floor objective**

Objective	Standards	Standards met/Standards not met												
<p><b>Standard B43</b></p>	<p>A dwelling should have private open space consisting of:</p> <ul style="list-style-type: none"> <li>An area of 15 square metres, with a minimum dimension of 3 metres at a podium or other similar base and convenient access from a living room, or</li> <li>A balcony with an area and dimensions specified in Table B8 and convenient access from a living room.</li> </ul> <p><b>Table B8 Balcony size</b></p> <table border="1" data-bbox="395 884 544 1624"> <thead> <tr> <th>Dwelling type</th> <th>Minimum area</th> <th>Minimum dimension</th> </tr> </thead> <tbody> <tr> <td>Studio or 1 bedroom dwelling</td> <td>8 square metres</td> <td>1.8 metres</td> </tr> <tr> <td>2 bedroom dwelling</td> <td>8 square metres</td> <td>2 metres</td> </tr> <tr> <td>3 or more bedroom dwelling</td> <td>12 square metres</td> <td>2.4 metres</td> </tr> </tbody> </table> <p>If a cooling or heating unit is located on a balcony, the balcony should provide an additional area of 1.5 square metres.</p>	Dwelling type	Minimum area	Minimum dimension	Studio or 1 bedroom dwelling	8 square metres	1.8 metres	2 bedroom dwelling	8 square metres	2 metres	3 or more bedroom dwelling	12 square metres	2.4 metres	<p><b>* Standard not met</b></p> <p>As nominated under Standard B28, a number of dwellings at ground floor level fail to meet the minimum area requirement. However, as these are all at ground level sufficient open space is considered to be provided</p>
Dwelling type	Minimum area	Minimum dimension												
Studio or 1 bedroom dwelling	8 square metres	1.8 metres												
2 bedroom dwelling	8 square metres	2 metres												
3 or more bedroom dwelling	12 square metres	2.4 metres												
<p><b>Decision Guidelines</b></p>	<p>The design response.</p> <p>The usability and functionality of the private open space, including its size and accessibility.</p> <p>The amenity of the private open space based on the orientation of the lot, the wind conditions and the sunlight it will receive.</p> <p>The availability of and access to public or communal open space.</p> <p>To provide adequate private open space for the reasonable recreation and service needs of residents.</p>	<p><b>N/A</b></p> <p>Heating and cooling units are not located on balconies</p>												
<p><b>Objective</b></p>		<p><b>✓ Objective met</b></p> <p>Adequate private open space is provided for the reasonable recreation and service needs of residents</p>												

ORDINARY COUNCIL MEETING - AGENDA

**2.3.2 Town Planning Application - No. 2 Virginia Street, Springvale (Planning Application No. PLN17/0812) (Cont.)**

**Clause 55.07-10 Storage objective**

Objective	Standards	Standards met/Standards not met															
<p><b>Standard B44</b></p>	<p>Each dwelling should have convenient access to useable and secure storage space.</p> <p>The total minimum storage space (including kitchen, bathroom and bedroom storage) should meet the requirements specified in Table B9.</p> <p><b>Table B9 Storage</b></p> <table border="1" data-bbox="438 862 670 1612"> <thead> <tr> <th>Dwelling type</th> <th>Total minimum storage volume</th> <th>Minimum storage volume within the dwelling</th> </tr> </thead> <tbody> <tr> <td>Studio</td> <td>8 cubic metres</td> <td>5 cubic metres</td> </tr> <tr> <td>1 bedroom dwelling</td> <td>10 cubic metres</td> <td>6 cubic metres</td> </tr> <tr> <td>2 bedroom dwelling</td> <td>14 cubic metres</td> <td>9 cubic metres</td> </tr> <tr> <td>3 or more bedroom dwelling</td> <td>18 cubic metres</td> <td>12 cubic metres</td> </tr> </tbody> </table>	Dwelling type	Total minimum storage volume	Minimum storage volume within the dwelling	Studio	8 cubic metres	5 cubic metres	1 bedroom dwelling	10 cubic metres	6 cubic metres	2 bedroom dwelling	14 cubic metres	9 cubic metres	3 or more bedroom dwelling	18 cubic metres	12 cubic metres	<p>✓ <b>Standard met</b> Each dwelling has convenient access to useable and secure storage space</p> <p>✗ <b>Standard not met</b> Each one bedroom dwelling: 10cbm with 6cbm internal to the dwelling Each two bedroom dwelling: 14cbm with 9cbm internal to the dwelling  Dwelling 301 (2 bed): 6cbm internal and 5cbm external – does not comply</p>
Dwelling type	Total minimum storage volume	Minimum storage volume within the dwelling															
Studio	8 cubic metres	5 cubic metres															
1 bedroom dwelling	10 cubic metres	6 cubic metres															
2 bedroom dwelling	14 cubic metres	9 cubic metres															
3 or more bedroom dwelling	18 cubic metres	12 cubic metres															
<p><b>Decision Guidelines</b></p>	<p>The design response. The usability, functionality and location of storage facilities provided for the dwelling.</p>	<p>Given that this is the top floor apartment, it is believed that sufficient space is available for the provision of storage to ensure compliance with the standard and as such a condition of permit will be required to ensure that dwelling 301 meets the storage standard</p>															
<p><b>Objective</b></p>	<p>To provide adequate storage facilities for each dwelling.</p>	<p>✓ <b>Objective met</b> The proposal provides adequate storage facilities for each dwelling</p>															

ORDINARY COUNCIL MEETING - AGENDA

**2.3.2 Town Planning Application - No. 2 Virginia Street, Springvale (Planning Application No. PLN17/0812) (Cont.)**

**Clause 55.07-11 Waste and recycling objectives**

Objective	Standards	Standards met/Standards not met
<p><b>Standard B45</b></p>	<p>Developments should include dedicated areas for:</p> <ul style="list-style-type: none"> <li>• Waste and recycling enclosures which are:                             <ul style="list-style-type: none"> <li>- Adequate in size, durable, waterproof and blend in with the development.</li> <li>- Adequately ventilated.</li> <li>- Located and designed for convenient access by residents and made easily accessible to people with limited mobility.</li> </ul> </li> <li>• Adequate facilities for bin washing. These areas should be adequately ventilated.</li> <li>• Collection, separation and storage of waste and recyclables, including where appropriate opportunities for on-site management of food waste through composting or other waste recovery as appropriate.</li> <li>• Collection, storage and reuse of garden waste, including opportunities for on-site treatment, where appropriate, or off-site removal for reprocessing.</li> <li>• Adequate circulation to allow waste and recycling collection vehicles to enter and leave the site without reversing.</li> <li>• Adequate internal storage space within each dwelling to enable the separation of waste, recyclables and food waste where appropriate.</li> </ul> <p>Waste and recycling management facilities should be designed and managed in accordance with a Waste Management Plan approved by the responsible authority and:</p> <ul style="list-style-type: none"> <li>• Be designed to meet the best practice waste and recycling management guidelines for residential development adopted by Sustainability Victoria.</li> <li>• Protect public health and amenity of residents and adjoining premises from the impacts of odour, noise and hazards associated with waste collection vehicle movements.</li> </ul>	<p><b>✓ Standard met</b></p> <p>Waste and recycling enclosures are adequate in size and located within the basement car park out of view of the street. The waste refuse area is located and design for convenient access with large operable doors for access to people with limited mobility</p> <p>Adequate facilities are provided for bin washing noting the overall size of the area</p> <p>The WMP provided with the application addresses matters of green waste, collection, storage, circulation to ensure best practice management in accordance with Standard B45</p>
<p><b>Decision Guidelines</b></p>	<p>The design response.</p> <p>Any relevant waste and recycling objective, policy or statement set out in this scheme.</p>	<p><b>✓ Standard met</b></p> <p>The submitted WMP has been reviewed by and approved by Council's Waste and Cleansing department ensuring best practice waste and recycling management</p>
<p><b>Objectives</b></p>	<p>To ensure dwellings are designed to encourage waste recycling.</p> <p>To ensure that waste and recycling facilities are accessible, adequate and attractive.</p> <p>To ensure that waste and recycling facilities are designed and managed to minimise impacts on residential amenity, health and the public realm.</p>	<p><b>✓ Objective met</b></p>



**2.3.2 Town Planning Application - No. 2 Virginia Street, Springvale (Planning Application No. PLN17/0812) (Cont.)**

**Clause 55.07-13 Room depth objective**

Objective	Standards	Standards met/Standards not met
<b>Standard B47</b>	<p>Single aspect habitable rooms should not exceed a room depth of 2.5 times the ceiling height.</p> <p>The depth of a single aspect, open plan, habitable room may be increased to 9 metres if all the following requirements are met:</p> <ul style="list-style-type: none"> <li>• The room combines the living area, dining area and kitchen.</li> <li>• The kitchen is located furthest from the window.</li> <li>• The ceiling height is at least 2.7 metres measured from finished floor level to finished ceiling level. This excludes where services are provided above the kitchen.</li> </ul> <p>The room depth should be measured from the external surface of the habitable room window to the rear wall of the room.</p>	<p>✓ <b>Standard met</b></p> <p>Each dwelling meets the minimum standard, or is not applicable due to multiple aspects</p>
<b>Decision Guidelines</b>	<p>The design response.</p> <p>The extent to which the habitable room is provided with reasonable daylight access through the number, size, location, and orientation of windows.</p> <p>The usability, functionality and amenity of the dwelling based on layout, siting, size and orientation of habitable rooms.</p> <p>Any overhang above habitable room windows that limit daylight access.</p> <p>To allow adequate daylight into single aspect habitable rooms.</p>	
<b>Objective</b>		<p>✓ <b>Objective met</b></p>

ORDINARY COUNCIL MEETING - AGENDA

**2.3.2 Town Planning Application - No. 2 Virginia Street, Springvale (Planning Application No. PLN17/0812) (Cont.)**

**Clause 55.07-14 Windows objective**

Objective	Standards	Standards met/Standards not met
<b>Standard B48</b>	Habitable rooms should have a window in an external wall of the building.  A window may provide daylight to a bedroom from a smaller secondary area within the bedroom where the window is clear to the sky. The secondary area should be: • A minimum width of 1.2 metres. • A maximum depth of 1.5 times the width, measured from the external surface of the window.	✓ <b>Standard met</b> All habitable rooms have a window in an external wall of the building  ✓ <b>Standard met</b> Each bedroom window has access to daylight from a primary window
<b>Decision Guidelines</b>	The design response. The extent to which the habitable room is provided with reasonable daylight access through the number, size, location and orientation of windows. The useability and amenity of the dwelling based on the layout, size, siting, size and orientation of habitable rooms.	
<b>Objective</b>	To allow adequate daylight into new habitable room windows.	✓ <b>Objective met</b>

**2.3.2 Town Planning Application - No. 2 Virginia Street, Springvale (Planning Application No. PLN17/0812) (Cont.)**

**Clause 55.07-15 Natural ventilation objectives**

Objective	Standards	Standards met/Standards not met
<p><b>Standard B49</b></p>	<p>The design and layout of dwellings should maximise openable windows, doors or other ventilation devices in external walls of the building, where appropriate.</p> <p>At least 40 per cent of dwellings should provide effective cross ventilation that has:</p> <ul style="list-style-type: none"> <li>• A maximum breeze path through the dwelling of 18 metres.</li> <li>• A minimum breeze path through the dwelling of 5 metres.</li> <li>• Ventilation openings with approximately the same area.</li> </ul> <p>The breeze path is measured between the ventilation openings on different orientations of the dwelling.</p>	<p><b>✓ Standard met</b></p> <p>It is not clear whether windows are openable in external walls. A condition of permit will be required to nominate windows as either sliding or awning. Given that external screens are being utilised for overlooking purposes, screen windows are considered a viable option</p> <p><b>✓ Standard met</b></p> <p>At least 40% of the dwellings provide effective cross ventilation, and meets the minimum and maximise ventilation breeze paths</p>
<p><b>Decision Guidelines</b></p>	<p>The design response.</p> <p>The size, orientation, slope and wind exposure of the site.</p> <p>The extent to which the orientation of the building and the layout of dwellings maximises opportunities for cross ventilation.</p> <p>Whether an alternative design meets the relevant objectives having regard to the amenity of the dwelling and the site context.</p>	
<p><b>Objectives</b></p>	<p>To encourage natural ventilation of dwellings.</p> <p>To allow occupants to effectively manage natural ventilation of dwellings.</p>	<p><b>✓ Objective met</b></p>

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**2.3.2 Town Planning Application - No. 2 Virginia Street, Springvale (Planning Application No. PLN17/0812)  
(Cont.)**

**STATUTORY PLANNING APPLICATIONS**

**TOWN PLANNING APPLICATION - NO. 2 VIRGINIA STREET, SPRINGVALE  
(PLANNING APPLICATION NO. PLN17/0812)**

**ATTACHMENT 6**

**CLAUSE 52.06 ASSESSMENT**

**PAGES 6 (including cover)**

*If the details of the attachment are unclear please contact Governance on 8571 5309.*

**2.3.2 Town Planning Application - No. 2 Virginia Street, Springvale (Planning Application No. PLN17/0812) (Cont.)**

**Clause 52.06-9 Design standards for car parking**

Plans prepared in accordance with Clause 52.06-8 must meet the design standards of Clause 52.06-9, unless the responsible authority agrees otherwise. Design standards 1, 3, 6 and 7 do not apply to an application to construct one dwelling on a lot.

Design Standards	Assessment	Requirement met/Requirement not met/N/A
<p><b>Design standard 1 - Accessways</b></p>	<p>Accessways must:</p> <ul style="list-style-type: none"> <li>• Be at least 3 metres wide.</li> <li>• Have an internal radius of at least 4 metres at changes of direction or intersection or be at least 4.2 metres wide.</li> <li>• Allow vehicles parked in the last space of a dead-end accessway in public car parks to exit in a forward direction with one manoeuvre.</li> <li>• Provide at least 2.1 metres headroom beneath overhead obstructions, calculated for a vehicle with a wheel base of 2.8 metres.</li> <li>• If the accessway serves four or more car spaces or connects to a road in a Road Zone, the accessway must be designed to that cars can exit the site in a forward direction.</li> <li>• Provide a passing area at the entrance at least 5 metres wide and 7 metres long if the accessway serves ten or more car parking spaces and is either more than 50 metres long or connects to a road in Road Zone.</li> <li>• Have a corner splay or area at least 50 percent clear of visual obstructions extending at least 2 metres along the frontage road from the edge of an exit lane and 2.5 metres along the exit lane from the frontage, to provide a clear view of pedestrians on the footpath of the frontage road. The area clear of visual obstructions may include an adjacent entry or exit lane where more than one lane is provided, or adjacent landscaped areas, provided the landscaping in those areas is less than 900mm in height.</li> </ul>	<p>✓ Standard met</p> <p>✓ Standard met</p> <p>N/A</p> <p>✓ Standard met</p> <p>✓ Standard met</p> <p>N/A</p> <p>✓ Standard met</p>
	<p>If an accessway to four or more car parking spaces is from land in a Road Zone, the access to the car spaces must be at least 6 metres from the road carriageway.</p>	<p>✓ Standard met</p>
	<p>If entry to the car space is from a road, the width of the accessway may include the road.</p>	<p>N/A</p>

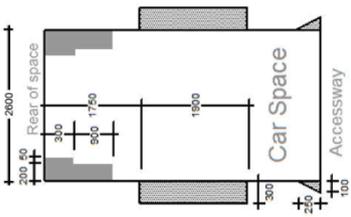
*If the details of the attachment are unclear please contact Governance on 8571 5309.*

**2.3.2 Town Planning Application - No. 2 Virginia Street, Springvale (Planning Application No. PLN17/0812) (Cont.)**

<p><b>Design standard 2 – Car parking spaces</b></p>	<p>Car parking spaces and accessways must have the minimum dimensions as outlined in Table 2.</p> <p><b>Table 2: Minimum dimensions of car parking spaces and accessways</b></p> <table border="1"> <thead> <tr> <th>Angle of car parking spaces to access way</th> <th>Accessway width</th> <th>Car space width</th> <th>Car space length</th> </tr> </thead> <tbody> <tr> <td>Parallel</td> <td>3.6 m</td> <td>2.3 m</td> <td>6.7 m</td> </tr> <tr> <td>45°</td> <td>3.5 m</td> <td>2.6 m</td> <td>4.9 m</td> </tr> <tr> <td>60°</td> <td>4.9 m</td> <td>2.6 m</td> <td>4.9 m</td> </tr> <tr> <td>90°</td> <td>6.4 m</td> <td>2.6 m</td> <td>4.9 m</td> </tr> <tr> <td></td> <td>5.8 m</td> <td>2.8 m</td> <td>4.9 m</td> </tr> <tr> <td></td> <td>5.2 m</td> <td>3.0 m</td> <td>4.9 m</td> </tr> <tr> <td></td> <td>4.8 m</td> <td>3.2 m</td> <td>4.9 m</td> </tr> </tbody> </table> <p><i>Note to Table 2: Some dimensions in Table 2 vary from those shown in the Australian Standard AS2890.1-2004 (off street). The dimensions shown in Table 2 allocate more space to aisle widths and less to marked spaces to provide improved operation and access. The dimensions in Table 2 are to be used in preference to the Australian Standard AS2890.1-2004 (off street) except for disabled spaces which must achieve Australian Standard AS2890.6-2009 (disabled).</i></p>	Angle of car parking spaces to access way	Accessway width	Car space width	Car space length	Parallel	3.6 m	2.3 m	6.7 m	45°	3.5 m	2.6 m	4.9 m	60°	4.9 m	2.6 m	4.9 m	90°	6.4 m	2.6 m	4.9 m		5.8 m	2.8 m	4.9 m		5.2 m	3.0 m	4.9 m		4.8 m	3.2 m	4.9 m	<p>✓ <b>Standard met</b></p> <p>All car parking spaces 3.2m x 4.9m with an accessway width of 4.8m</p>
Angle of car parking spaces to access way	Accessway width	Car space width	Car space length																															
Parallel	3.6 m	2.3 m	6.7 m																															
45°	3.5 m	2.6 m	4.9 m																															
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ORDINARY COUNCIL MEETING - AGENDA

**2.3.2 Town Planning Application - No. 2 Virginia Street, Springvale (Planning Application No. PLN17/0812) (Cont.)**

<p>✓ Standard met</p>	<p>A wall, fence, column, tree, tree guard or any other structure that abuts a car space must not encroach into the area marked 'clearance required' on Diagram 1, other than:</p> <ul style="list-style-type: none"> <li>• A column, tree or tree guard, which may project into a space if it is within the area marked 'tree or column permitted' on Diagram 1.</li> <li>• A structure, which may project into the space if it is at least 2.1 metres above the space.</li> </ul> <p><b>Diagram 1 Clearance to car parking spaces</b></p>  <p>Dimensions in millimetres          ■ Clearance required          ■ Tree or column permitted</p>
<p>N/A</p>	<p>Car spaces in garages or carports must be at least 6 metres long and 3.5 metres wide for a single space and 5.5 metres wide for a double space measured inside the garage or carport.</p>
<p>N/A</p>	<p>Where parking spaces are provided in tandem (one space behind the other) an additional 500mm in length must be provided between each space.</p>
<p>N/A</p>	<p>Where two or more car parking spaces are provided for a dwelling, at least one space must be under cover.</p>
<p>N/A</p>	<p>Disabled car parking spaces must be designed in accordance with Australian Standard AS2890.6-2009 (disabled) and the Building Code of Australia. Disabled car parking spaces may encroach into an accessway width specified in Table 2 by 500mm.</p>

ORDINARY COUNCIL MEETING - AGENDA

**2.3.2 Town Planning Application - No. 2 Virginia Street, Springvale (Planning Application No. PLN17/0812) (Cont.)**

<p><b>Design standard 3: Gradients</b></p>	<p>Accessway grades must not be steeper than 1:10 (10 per cent) within 5 metres of the frontage to ensure safety for pedestrians and vehicles. The design must have regard to the wheelbase of the vehicle being designed for; pedestrian and vehicular traffic volumes; the nature of the car park; and the slope and configuration of the vehicle crossover at the site frontage. This does not apply to accessways serving three dwellings or less.</p> <p>Ramps (except within 5 metres of the frontage) must have the maximum grades as outlined in Table 3 and be designed for vehicles travelling in a forward direction.</p>	<p>✓ Standard met</p>													
<p><b>Table 3: Ramp gradients</b></p>	<table border="1"> <thead> <tr> <th>Type of car park</th> <th>Length of ramp</th> <th>Maximum grade</th> </tr> </thead> <tbody> <tr> <td rowspan="2">Public car parks</td> <td>20 metres or less</td> <td>1:5 (20%)</td> </tr> <tr> <td>longer than 20 metres</td> <td>1:6 (16.7%)</td> </tr> <tr> <td rowspan="2">Private or residential car parks</td> <td>20 metres or less</td> <td>1:4 (25%)</td> </tr> <tr> <td>longer than 20 metres</td> <td>1:5 (20%)</td> </tr> </tbody> </table>	Type of car park	Length of ramp	Maximum grade	Public car parks	20 metres or less	1:5 (20%)	longer than 20 metres	1:6 (16.7%)	Private or residential car parks	20 metres or less	1:4 (25%)	longer than 20 metres	1:5 (20%)	<p>✓ Standard met</p>
Type of car park	Length of ramp	Maximum grade													
Public car parks	20 metres or less	1:5 (20%)													
	longer than 20 metres	1:6 (16.7%)													
Private or residential car parks	20 metres or less	1:4 (25%)													
	longer than 20 metres	1:5 (20%)													
<p><b>Design standard 4: Mechanical parking</b></p>	<p>Where the difference in grade between two sections of ramp or floor is greater than 1:8 (12.5 per cent) for a summit grade change, or greater than 1:6.7 (15 per cent) for a sag grade change, the ramp must include a transition section of at least 2 metres to prevent vehicles scraping or bottoming.</p> <p>Plans must include an assessment of grade changes of greater than 1:5.6 (18 per cent) or less than 3 metres apart for clearances, to the satisfaction of the responsible authority.</p> <p>Mechanical parking may be used to meet the car parking requirement provided:</p> <ul style="list-style-type: none"> <li>At least 25 per cent of the mechanical car parking spaces can accommodate a vehicle clearance height of at least 1.8 metres.</li> <li>Car parking spaces the require the operation of the system are not allowed to visitors unless used in a valet parking situation.</li> <li>The design and operation is to the satisfaction of the responsible authority.</li> </ul>	<p>N/A</p>													
<p><b>Design standard 5: Urban design</b></p>	<p>Ground level car parking, garage doors and accessways must not visually dominate public space.</p>	<p>✓ Standard met</p>													

ORDINARY COUNCIL MEETING - AGENDA

**2.3.2 Town Planning Application - No. 2 Virginia Street, Springvale (Planning Application No. PLN17/0812) (Cont.)**

	<p>Car parking within buildings (including visible portions of partly submerged basements) must be screened or obscured where possible, including through the use of occupied tenancies, landscaping, architectural treatments and artworks.</p> <p>Design of car parks must take into account their use as entry points to the site.</p>	<p>✓ <b>Standard met</b></p>
	<p>Design of new internal streets in developments must maximise on street parking opportunities.</p>	<p>✓ <b>Standard met</b></p>
	<p>Design of new internal streets in developments must maximise on street parking opportunities.</p>	<p>N/A</p>
<b>Design standard 6: Safety</b>	<p>Car parking must be well lit and clearly signed.</p>	<p>✗ <b>Standard not met</b> Car parking is not well lit. A condition of permit would be required</p>
	<p>The design of car parks must maximise natural surveillance and pedestrian visibility from adjacent buildings.</p>	<p>N/A Car parking spaces are located within a basement car park</p>
	<p>Pedestrian access to car parking areas from the street must be convenient.</p>	<p>N/A Pedestrian access to the car park is unnecessary due to the basement configuration</p>
	<p>Pedestrian routes through car parking areas and building entries and other destination points must be clearly marked and separated from traffic in high activity parking areas.</p>	<p>✓ <b>Standard met</b> Clearly defined and separate access points provided for pedestrians and vehicles</p>
<b>Design standard 7: Landscaping</b>	<p>The layout of car parking areas must provide for water sensitive urban design treatment and landscaping.</p>	<p>✓ <b>Standard met</b> Car parking areas include underground water tanks for rainwater catchment</p>
	<p>Landscaping and trees must be planted to provide shade and shelter, soften the appearance of ground level car parking and aid in the clear identification of pedestrian paths.</p>	<p>✓ <b>Standard met</b></p>
	<p>Ground level car parking spaces must include trees planted with flush grilles. Spacing of trees must be determined having regard to the expected size of the selected species at maturity.</p>	<p>N/A</p>

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### 2.3.3 Town Planning Application - No. 56 Stephenson Street, Springvale (Planning Application No. PLN18/0567)

File Id:	124935
Responsible Officer:	Director City Planning, Design and Amenity
Attachments:	Submitted Plans Location of Objectors Clause 22.09 Assessment Clause 55 Assessment Clause 52.06

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#### Application Summary

Applicant:	Ha Hoang
Proposal:	Development of the land for two (2) double storey dwellings
Zone:	General Residential Zone, Schedule 1
Overlay:	No overlays affecting this site
Ward:	Lightwood

This application has been brought before the Council as it has received four (4) objections.

The application proposes development of the land for two (2) double storey dwellings on a lot. A permit is required pursuant to Clause 32.08-6 (General Residential Zone) of the Greater Dandenong Planning Scheme to construct two or more dwellings on a lot.

#### Objectors Summary

The application was advertised to the surrounding area through the erection of a notice on-site and the mailing of notices to adjoining and surrounding owners and occupiers. Four (4) objections were received to the application. Issues raised generally relate to matters of:

- Overlooking;
- Traffic congestion and an increase in on-street parking opportunities;
- Overshadowing;
- Neighbourhood Character;
- Protection of trees on neighbouring sites;
- Noise;
- Increase in hard paved surfaces and additional stormwater run-off;

**2.3.3 Town Planning Application - No. 56 Stephenson Street, Springvale (Planning Application No. PLN18/0567) (Cont.)**

- Overdevelopment and the loss of gardens and greenspaces and the impact on wildlife;
- Increase in neighbourly disputes; and
- Increase in mental health issues.

**Assessment Summary**

The proposal is for two (2) double storey dwellings in a General Residential Zone (Schedule 1). The subject site is located within an established residential area and is suited for medium density housing given its location and being in reasonably close proximity to services.

The proposal respects the future character of the area by comprising two double storey townhouses with main living areas on the ground level. There are appropriate setbacks and private open space areas to allow for high quality landscaping along the frontage and rear to protect the amenity of adjoining dwellings and contribute to the landscape character. This includes a significant canopy tree in each rear secluded private open space area, two canopy trees within the front setback and boundary landscaping within well-proportioned setback areas. The proposal is located within an area subject to incremental change with other multi-dwelling double storey developments, of a similar scale and massing.

The development provides appropriate car parking and open space requirements and has been assessed against Clause 22.09 'Residential Development and Neighbourhood Character Policy', Clause 55 'Two or more Dwellings on a lot and Residential Buildings' and Clause 52.06 'Car Parking' of the Greater Dandenong Planning Scheme. The proposal complies with the above listed Clauses, with a few minor exceptions which are addressed by recommended conditions.

**Recommendation Summary**

As assessed, the proposal is consistent with and appropriately responds to the provisions of the Greater Dandenong Planning Scheme. The proposal appropriately responds to strategic policy for General Residential Zone with this report recommending that the application be supported, and a **Notice of Decision** (which provides appeal rights to objectors) to grant a permit be issued containing the conditions as set out in the recommendation.

**2.3.3 Town Planning Application - No. 56 Stephenson Street, Springvale (Planning Application No. PLN18/0567) (Cont.)****Subject Site and Surrounds****Subject Site**

The subject site (known as Lot 148 on Plan of Subdivision 019005) is regular in shape and has a total site area of 652 square metres. It is located on the southern side of Stephenson Street, and is broadly bound by Whitworth Avenue to the north, Ericksen Street to east and Burden Street to the south and west.

The northern frontage of the site is 16.46 metres wide and is oriented to Stephenson Street, with one single width crossover located on the northeast corner which provides access to the site. Currently there is a single storey weatherboard dwelling located to the front of the site with a detached garage located to the rear of the site. The subject site is relatively flat and has no significant vegetation present. No easements are present on the subject site.

**Surrounding Area**

The subject site is located on the western end of Stephenson Street, which connects to Springvale Road. The site is surrounded by residential properties in all directions, with the closest commercial strip of shops located approximately 570 metres southwest on Boulton Street.

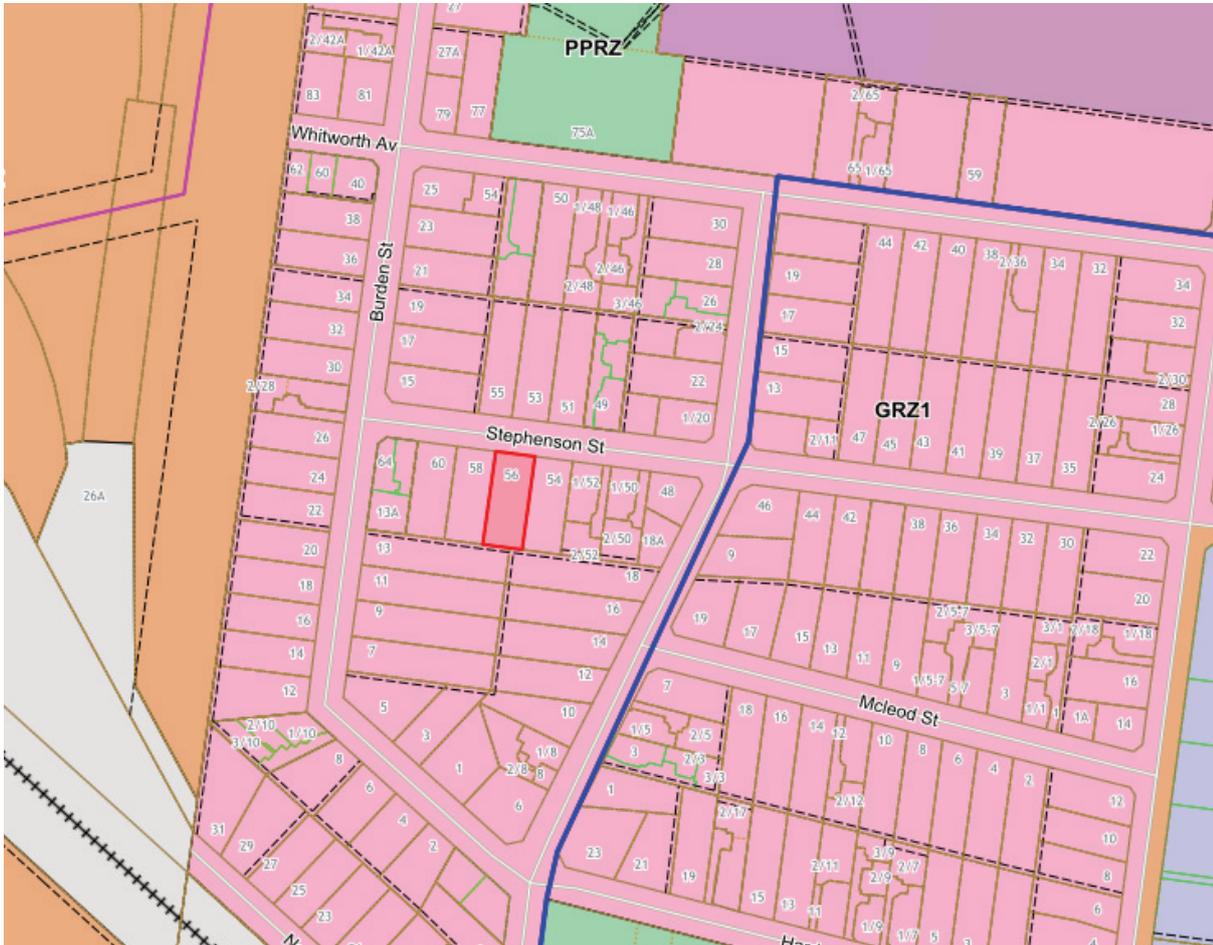
The surrounding housing types are single and double storey detached dwellings constructed of weatherboard, brick and rendered facades. The context includes medium density developments, ranging from two to three dwellings on a lot. Multi-dwelling double storey developments, of a similar scale and massing can be found along Stephenson Street.

The subject site is in close proximity to industrial land, with the land to the east of Burden Street, approximately 106 metres west of the subject site, zoned Industrial 1 Zone, and a section of Stephenson Street, approximately 280 metres to the east of the subject site, also being zoned Industrial 1 Zone.

The subject site is in close proximity to the Springvale Activity Centre, which is located approximately 70 metres to the east of the subject site. The subject site is well serviced with public transport. Westall Station is located approximately 160 metres southwest of the subject site, which provides further connections to a number of bus routes. Furthermore, a number of other key bus routes run along Springvale Road.

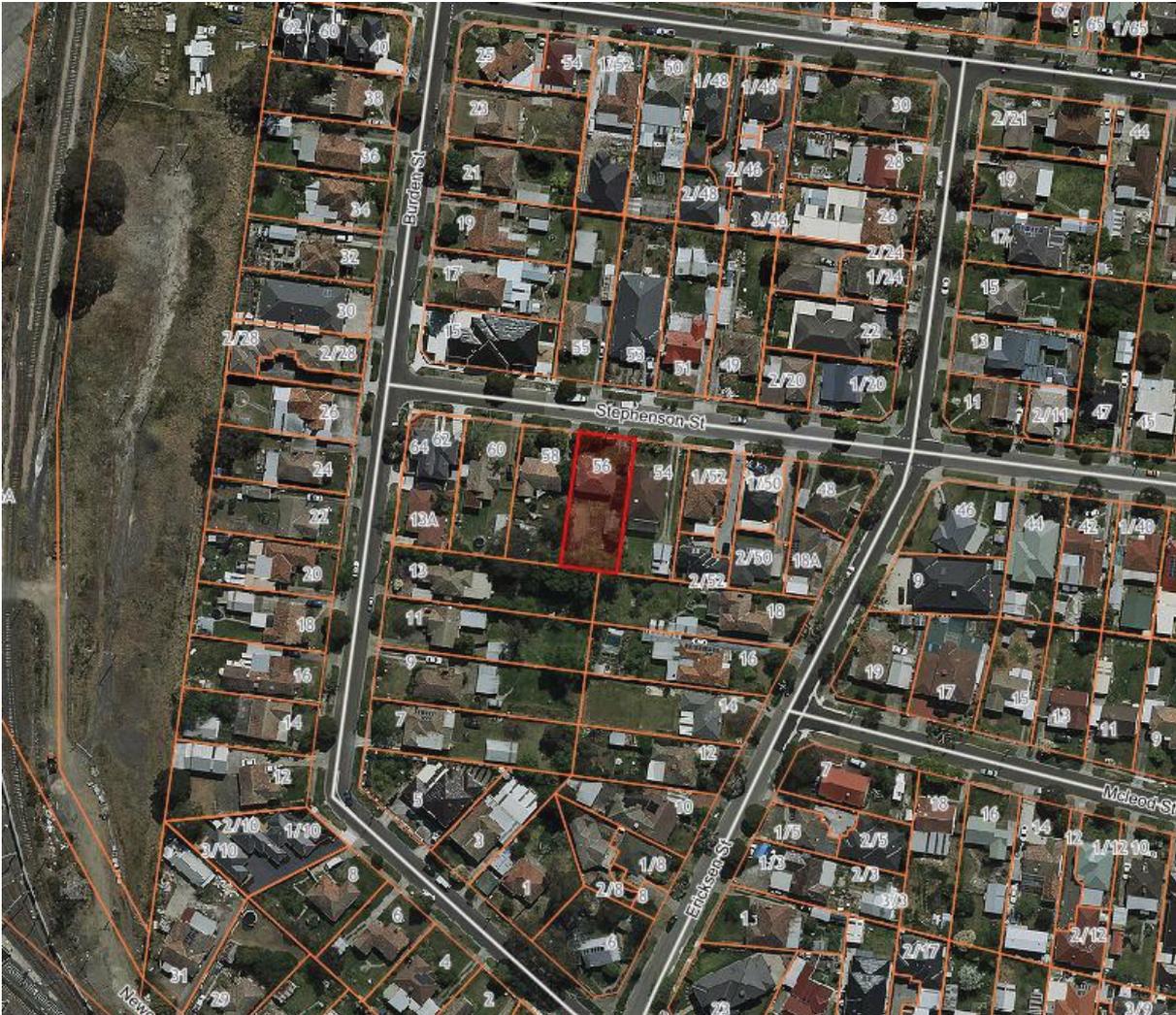
**2.3.3 Town Planning Application - No. 56 Stephenson Street, Springvale (Planning Application No. PLN18/0567) (Cont.)**

Locality Plan



**2.3.3 Town Planning Application - No. 56 Stephenson Street, Springvale (Planning Application No. PLN18/0567) (Cont.)**

Aerial Plan



**Background**

**Previous Applications**

A search of Council records revealed no previous planning applications have been considered for the subject site.

**Subject Application**

The proposal was originally lodged for the development of the land for three (3) dwellings, comprising two double storey dwellings and one single storey dwelling to the rear. The proposal was subsequently advertised and received four objections. The proposal was formally amended pursuant to Section 57A of the *Planning and Environment Act 1987*, and was amended to two double storey dwellings on a lot. The proposal was subsequently readvertised and received three objections (from original

**2.3.3 Town Planning Application - No. 56 Stephenson Street, Springvale (Planning Application No. PLN18/0567) (Cont.)**

objectors). During the second advertising process no 'new' objectors made submissions. All objections were carried over from the original advertising period, and as such the proposal has received four objections to date.

**Proposal**

The application proposes the development of the land for two (2) double storey dwellings.

Details of the proposal are as follows:

Type of proposal	Multi-unit development: two double storey dwellings ('one behind the other' layout)
Number of dwellings	Two (2)
Number of bedrooms	Each dwelling contains 3 bedrooms
Levels	Two (2) storeys
Height	7.684 metres maximum
Oriented to	Dwelling 1 will be oriented to Stephenson Street, and dwelling 2 will be oriented to the internal accessway.
External materials	The proposed materials shown on the elevations include horizontal and vertical lightweight cladding to the first floor and brickwork to the ground floor.  The proposed colour schedule includes dark grey roof tiles, light horizontal cladding, dark vertical cladding brown brickwork and timber paling fences.
Setbacks	<u>Ground Floor setbacks</u>  North: 7.6 metres to the front of the site  East: 1.4 metres  South: 5.465 metres  West: Walls on boundary  <u>First Floor setbacks</u>  North: 8.11 metres to the front of the site  East: 2.23 metres

## ORDINARY COUNCIL MEETING - AGENDA

**2.3.3 Town Planning Application - No. 56 Stephenson Street, Springvale (Planning Application No. PLN18/0567) (Cont.)**

	<p>South: 7.625 metres</p> <p>West: 2 metres</p>
Private open space	<p><u>Dwelling 1</u></p> <p>Total private open space: 139.7 square metres</p> <p>Secluded private open space: 42.8 square metres, with a primary secluded private open space area of 30 square metres with a minimum dimension of 5 metres.</p> <p><u>Dwelling 2</u></p> <p>Total private open space: 109.8 square metres</p> <p>Secluded private open space: 81.6 square metres, with a primary secluded private open space area of 56 square metres with a minimum dimension of 5.465 metres.</p>
Number of car parking spaces required	<p>A total of 4 car parking spaces are required pursuant to Clause 52.06-5.</p> <p>No visitor car parking spaces are required.</p> <p>The site is not located within the Principal Public Transport Network area.</p>
Number of car parking spaces provided	<p>A total of 4 car parking spaces have been provided.</p>
Type of car parking	<p>Both dwellings 1 and 2 would have double garages located to the rear or side of the dwelling</p>
Access	<p>A 2.7 metre crossover exists to the northeast corner of the site.</p> <p>Access is proposed to be provided for both dwellings via the existing single crossover.</p> <p>The existing crossover is proposed to be widened to 3.1 metres.</p>
Front fence	<p>A 0.9 metre timber paling fence is proposed</p>
Garden Area	<p>The size of the lot is 652 square metres.</p> <p>35% (228.2 square metres) is required to be set aside for garden area.</p>

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**2.3.3 Town Planning Application - No. 56 Stephenson Street, Springvale (Planning Application No. PLN18/0567) (Cont.)**

	38.93% (253.8 square metres) has been provided to be set aside for garden area.  The proposal complies with the garden area requirement.
Easements and assets	No easements are present on the site

*A copy of the submitted plans is included as Attachment 1.*

### **Victorian Charter of Human Rights and Responsibilities**

The Victorian Charter of Human Rights and Responsibilities has been considered in the preparation of this report but is not relevant to its contents.

### **Financial Implications**

No financial resources are impacted by this report.

### **Planning Scheme and Policy Frameworks**

Pursuant to the Greater Dandenong Planning Scheme, a planning permit is required:

Pursuant to Clause 32.08-6 (General Residential Zone) of the Greater Dandenong Planning Scheme to construct two or more dwellings on a lot.

The relevant controls and policies are as follows:

#### **Zoning Controls**

The subject site is located in a General Residential Zone, as is the surrounding residential area.

The purpose of the General Residential Zone outlined at Clause 32.08 is:

- *To implement the Municipal Planning Strategy and the Planning Policy Framework.*
- *To encourage development that respects the neighbourhood character of the area.*
- *To encourage a diversity of housing types and housing growth particularly in locations offering good access to services and transport.*
- *To allow educational, recreational, religious, community and a limited range of other non-residential uses to serve local community needs in appropriate locations.*

Pursuant to Clause 32.08-6, a permit is required to construct two or more dwellings on a lot.

It is noted that within Schedule 1 to the zone, various requirements of Clause 55 are set out as follows:

- Standard B6 (Minimum street setback) – As per B6 or 7.5 metres, whichever is the lesser;
- Standard B9 (Permeability) – Minimum of 30%;

**2.3.3 Town Planning Application - No. 56 Stephenson Street, Springvale (Planning Application No. PLN18/0567) (Cont.)**

- Standard B13 (Landscaping) – 70% of ground level front setback, and side and rear setbacks, planted with substantial landscaping and canopy trees;
- Standard B28 (Private Open Space) – An area of 50 square metres of ground level, private open space, with one part of the private open space to consist of secluded private open space at the side or rear of the dwelling with a minimum area of 30 square metres, a minimum dimension of 5 metres and convenient access from a living room; and
- Standard B32 (Front fence height) – Maximum 1.5 metre height in streets in a Road Zone, and a maximum 1.2 metre height for other streets.

**Overlay Controls**

No overlays affect the subject site or surrounding area.

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**2.3.3 Town Planning Application - No. 56 Stephenson Street, Springvale (Planning Application No. PLN18/0567) (Cont.)**

**Planning Policy Framework**

The Planning Policy Framework seeks to ensure that the objectives of planning in Victoria are fostered through appropriate land use and development planning policies and practices which integrate relevant environmental, social and economic factors in the interests of net community benefit and sustainable development. The objectives of Planning in Victoria are noted as:

- a. *To provide for the fair, orderly, economic and sustainable use, and development of land*
- b. *To provide for the protection of natural and man-made resources and the maintenance of ecological processes and genetic diversity*
- c. *To secure a pleasant, efficient and safe working, living and recreational environment for all Victorians and visitors to Victoria*
- d. *To conserve and enhance those buildings, areas or other places which are of scientific, aesthetic, architectural or historical interest, or otherwise of special cultural value*
- e. *To protect public utilities and other assets and enable the orderly provision and co-ordination of public utilities and other facilities for the benefit of the community*
- f. *To facilitate development in accordance with the objectives set out in paragraphs (a), (b), (c), (d) and (e)*
- g. *(f) to facilitate the provision of affordable housing in Victoria*
- h. *To balance the present and future interests of all Victorians*

In order to achieve those objectives, there are a number of more specific objectives contained within the Planning Policy Framework that are relevant to this application.

**Settlement (Clause 11)**

Planning is to recognise the need for, and as far as practicable contribute towards

- *A high standard of urban design and amenity*

Clause 11.02 relating to Managing Growth contains the following relevant objectives:

- *To ensure a sufficient supply of land is available for residential, commercial, retail, industrial, recreational, institutional and other community uses.*
- *To facilitate the orderly development of urban areas.*
- *To manage the sequence of development in areas of growth so that services are available from early in the life of new communities.*

**Built Environment and Heritage (Clause 15)**

Clause 15 contains the following relevant objectives:

- *To create urban environments that are safe, healthy, functional and enjoyable and that contribute to a sense of place and cultural identity.*
- *To create a distinctive and liveable city with quality design and amenity.*
- *To achieve neighbourhoods that foster healthy and active living and community wellbeing.*

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**2.3.3 Town Planning Application - No. 56 Stephenson Street, Springvale (Planning Application No. PLN18/0567) (Cont.)**

- *To achieve building design outcomes that contribute positively to the local context and enhance the public realm.*
- *To recognise, support and protect neighbourhood character, cultural identity, and sense of place.*

Housing (Clause 16)

Clause 16 contains the following relevant objectives:

- *To promote a housing market that meets community needs.*
- *To locate new housing in designated locations that offer good access to jobs, services and transport.*
- *To provide for a range of housing types to meet diverse needs.*
- *To deliver more affordable housing closer to jobs, transport and services.*
- *Direct new housing to areas with appropriate infrastructure.*
- *Create mixed-use neighbourhoods at varying densities that offer more choice in housing.*

Clause 18 (Transport)

Clause 18.01-1 relating to Land use and transport planning contains the following relevant strategies:

- *Plan urban development to make jobs and community services more accessible by:*
  - *Ensuring equitable access is provided to developments in accordance with forecast demand, taking advantage of all available modes of transport and to minimise adverse impacts on existing transport networks and the amenity of surrounding areas.*

Clause 18.02-4 relating to Car parking main objective is to:

- *To ensure an adequate supply of car parking that is appropriately designed and located*

Further to Clause 18.02-4, the following key strategies apply:

- *Allocate or require land to be set aside for car parking subject to the existing and potential modes of access including public transport, the demand for off-street car parking, road capacity and the potential for demand management of car parking.*
- *Protect the amenity of residential precincts from the effects of road congestion created by on-street parking.*

**Local Planning Policy Framework**

The Local Planning Policy Framework (LPPF) includes the Municipal Strategic Statement (MSS) and Local Policies.

The MSS is contained within Clause 21 of the Scheme. The MSS at **Clause 21.02** focuses on the **Municipal Profile**, within which the following is noted:

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**2.3.3 Town Planning Application - No. 56 Stephenson Street, Springvale (Planning Application No. PLN18/0567) (Cont.)**

- *There is considerable diversity within Greater Dandenong's housing stock. Most housing stock is between 30 to 50 years old, though there are some areas with dwellings in excess of 100 years old. Areas of newer housing are located in the north-east and central southern areas, with in-fill development occurring across the municipality (Clause 21.02-3).*
- *Higher density housing is generally located in proximity to railway stations and major shopping centres, in particular in central Dandenong (Clause 21.02-3).*
- *While there is a clear pre-dominance of single detached dwellings, there are a range of other types of dwellings including dual occupancies, villa-units, town houses and apartments. The highest concentration of older villa units and apartments and more recent multi-unit redevelopments have occurred around central Dandenong, Springvale and Noble Park activity centres (Clause 21.02-4).*
- *With diverse cultural groups that call Greater Dandenong home, there are certain distinct precincts that are emerging that have their own character. Their built form is characterised by buildings with flat unarticulated facades, prominent balconies, limited frontage/side setbacks, limited or no landscaping (Clause 21.02-4).*

A **Vision for Greater Dandenong** is outlined at **Clause 21.03**. The vision is that Greater Dandenong will be a municipality where housing diversity and choice is promoted in its various attractive neighbourhoods.

The objectives and strategies of the MSS are under four (4) main themes including: land use; built form; open space and natural environment; and, infrastructure and transportation (considered individually under Clauses 21.04 to 21.07). Of particular relevance to this application are Clauses 21.04 – Land Use and 21.05 – Built Form:

Clause 21.04-1 (Housing and community)

This Clause contains the following relevant key points and strategies:

- *Greater Dandenong's population is expected to rise by 22 percent, from 147,000 to 179,000 in the decade to 2024, placing pressure on transport networks, infrastructure, services and public open space.*
- *Approximately 9,950 new households will need to be accommodated across the municipality by 2024 (Greater Dandenong Housing Strategy 2014-2024).*
- *Supporting urban consolidation and providing housing in existing areas close to activity centres means that people do not need to travel as far to work, shop or to take part in sports/leisure activities thus reducing the environmental impacts of transport.*
- *Increases in housing density must be balanced by adequate provision of open space, good urban design and improvements to the public realm.*
- *Encourage the provision of housing that is adaptable to support the needs of the changing needs of present and future residents.*
- *Encourage innovative redevelopment and renewal of deteriorating housing stock and older styled higher-density apartments and multi-unit developments.*

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**2.3.3 Town Planning Application - No. 56 Stephenson Street, Springvale (Planning Application No. PLN18/0567) (Cont.)**

- *Encourage new residential development that incorporates adequate space for the planting and the long term viability and safe retention of canopy trees.*
- *Encourage a mix of housing types that better reflects the cross section of the community in Greater Dandenong.*

Clause 21.05-1 (Urban design, character, streetscapes and landscapes)

This Clause contains the following relevant objectives and strategies:

- *To facilitate high quality building design and architecture.*
  - *Ensure building design is consistent with the identified future character of an area and fully integrates with surrounding environment.*
  - *Encourage high standards of building design and architecture, which allows for flexibility and adaptation in use.*
  - *Encourage innovative architecture and building design.*
  - *Encourage development to incorporate sustainable design elements that enhance occupant comfort and environmental performance.*
- *To facilitate high quality development, which has regard for the surrounding environment and built form.*
  - *Promote views of high quality landscapes and pleasing vistas from both the public and private realm.*
  - *Promote all aspects of character – physical, environmental, social and cultural.*
  - *Encourage planting and landscape themes, which complement and improve the environment.*
  - *Encourage developments to provide for canopy trees.*
  - *Recognising valued existing neighbourhood character and promoting identified future character as defined in the Residential Development and Neighbourhood Character Policy at Clause 22.09.*
- *To improve the quality, consistency and functions of the city's environment.*
  - *Encourage new developments which are adjacent to public open spaces to address and complement the open space.*
  - *Encourage interconnected pedestrian links and bicycle paths to public transport and recreation facilities.*
  - *Apply the Residential Development and Neighbourhood Character Policy at Clause 22.09.*
- *To ensure landscaping that enhances the built environment*
  - *Encourage new developments to establish a landscape setting, which reflects the local and wider landscape character.*

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**2.3.3 Town Planning Application - No. 56 Stephenson Street, Springvale (Planning Application No. PLN18/0567) (Cont.)**

- *Encourage landscaping that integrates canopy trees and an appropriate mix of shrubs and ground covers and complements and integrates with existing or proposed landscaping in public areas.*
- *Ensure that landscaping is designed in accordance with 'Crime Prevention Through Environmental Design' (CPTED) principles.*

Clause 22.09 (Residential Development & Neighbourhood Character Policy)

The following objectives at Clause 22.09-2 are:

- *To guide the location and design of different types of residential development within Greater Dandenong, having regard to State and local planning policies, while respecting the valued characteristics and identified future character of residential neighbourhoods.*
- *To ensure that new residential development is consistent with the identified future character and preferred built form envisaged for the three Future Change Areas.*
- *To provide certainty about which areas are identified for, or protected from, increased residential development consistent with the purpose of the applicable zone.*
- *To facilitate high quality, well designed residential development and on-site landscaping.*
- *To promote a range of housing types to accommodate the future needs of the municipality's changing population.*
- *To ensure that residential development uses innovative, responsive and functional siting and design solutions that:*
  - *Achieve high quality internal amenity and private open space outcomes for future residents;*
  - *Make a positive contribution to the streetscape through quality design, contextual responsiveness and visual interest;*
  - *Promote public realm safety by maximising passive surveillance.*
  - *Demonstrate responsiveness to the site, adjoining interfaces, streetscape and landscape context;*
  - *Respect the amenity of adjoining residents and the reasonable development potential of adjoining properties;*
  - *Achieve environmentally sustainable design outcomes;*
  - *Use quality, durable building materials that are integrated into the overall building form and façade; and*
  - *Minimise the visual dominance of vehicle accessways and storage facilities, such as garages, car ports and basement entrances.*

Clause 22.09-3.1 (Design Principles) provides design principles, which apply to all Future Change Areas within the General Residential Zone.

Clause 22.09-3.3 (Incremental Change Areas) provides design principles which are identified as follows:

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**2.3.3 Town Planning Application - No. 56 Stephenson Street, Springvale (Planning Application No. PLN18/0567) (Cont.)**

- *Preferred housing type – The preferred housing type for the Incremental Change Area is medium density.*
- *Building Height – The preferred maximum building height for land within the GRZ1 and GRZ2 is up to 2 storeys, including ground level.*
- *Landscaping – Residential development should use landscaping to create a landscaped character, particularly canopy trees in front and rear gardens; and to protect the outlook of adjoining properties.*
- *Setbacks, front boundary and width – Parking, paving and car access within the front boundary setback should be limited in order to maximise the opportunity for soft landscaping and prevent the over dominance of carports and garages in the street.*
- *Private open space – Residential development should provide secluded private open space at the side or rear of each dwelling to avoid the need for excessive screening or high front fencing*
- *Bulk & Built Form –*
  - *Residential development should:*
    - *ensure that the built form respects the scale of existing prevailing built form character and responds to site circumstances and streetscape;*
    - *provide separation between dwellings at the upper level;*
    - *retain spines of open space at the rear of properties to maximise landscaping opportunities and protect private secluded open space; and*
    - *position more intense and higher elements of built form towards the front and centre of a site, transitioning to single storey elements to the rear of the lot.*
  - *The rearmost dwelling on a lot should be single storey to ensure the identified future character of the area and the amenity of adjoining properties is respected by maximising landscaping opportunities and protecting adjoining private secluded open space.*
  - *Two storey dwellings to the rear of a lot may be considered where:*
    - *the visual impact of the building bulk does not adversely affect the identified future character of the area;*
    - *overlooking and/or overshadowing does not adversely affect the amenity of neighbouring properties;*
    - *the building bulk does not adversely affect the planting and future growth of canopy trees to maturity;*
    - *sufficient side and rear boundary landscaping can be provided to screen adjoining properties;*
    - *upper storey components are well recessed from adjoining sensitive interfaces.*
  - *Residential development should be well articulated through the use of contrast, texture, variation in forms, materials, and colours.*

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**2.3.3 Town Planning Application - No. 56 Stephenson Street, Springvale (Planning Application No. PLN18/0567) (Cont.)**

**An assessment of Clause 22.09 is included as Attachment 3.**

**Particular Provisions**

Clause 52.06 (Car parking)

The provision of Car Parking must be considered for this proposal. The purposes of this provision are:

- *To ensure that car parking is provided in accordance with the Municipal Planning Strategy and Planning Policy Framework.*
- *To ensure the provision of an appropriate number of car parking spaces having regard to the demand likely to be generated, the activities on the land and the nature of the locality.*
- *To support sustainable transport alternatives to the motor car.*
- *To promote the efficient use of car parking spaces through the consolidation of car parking facilities.*
- *To ensure that car parking does not adversely affect the amenity of the locality.*
- *To ensure that the design and location of car parking is of a high standard, creates a safe environment for users and enables easy and efficient use.*

The required spaces are identified in the table to Clause 52.06-5. The table at Clause 52.06-5 notes that a dwelling with one or two bedrooms requires one (1) car space and a dwelling with three or more bedrooms requires two (2) car spaces. One (1) car parking space is required for visitors to every five dwellings for developments of five or more dwellings.

Car parking is to be designed and constructed in accordance with the requirements of Clause 52.06-9 of the Scheme.

**An assessment of Clause 52.06 is included as Attachment 5.**

Clause 55 (Two or more Dwellings on a lot and Residential Buildings)

Pursuant to Clause 55 of the Greater Dandenong Planning Scheme, the provisions of this Clause apply to an application to construct two or more dwellings on a lot.

The purpose of this clause is:

- *To implement the Municipal Planning Strategy and the Local Planning Policy Framework.*
- *To achieve residential development that respects the existing neighbourhood character or which contributes to a preferred neighbourhood character.*
- *To encourage residential development that provides reasonable standards of amenity for existing and new residents.*
- *To encourage residential development that is responsive to the site and the neighbourhood.*

A development:

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**2.3.3 Town Planning Application - No. 56 Stephenson Street, Springvale (Planning Application No. PLN18/0567) (Cont.)**

- Must meet all of the objectives of this clause.
- Should meet all of the standards of this clause.

**An assessment of Clause 55 is included as Attachment 4.**

**General Provisions**

Clause 65 – Decision Guidelines needs to be considered, as is the case with all applications. For this application the requirements of Clause 65.01 for the approval of an application or plan is of relevance. This Clause outlines the requirements that the responsible authority must consider when determining the application.

**Proposed Planning Scheme Amendments**

**The subject site is not affected by any Planning Scheme amendments.**

**Restrictive Covenants**

A review of the submitted documents indicates that there are no restrictive covenants registered on the Title.

**Council Plan 2017-2021 – Strategic Objectives, Strategies and Plans**

The Council Plan describes the kind of future the Council is working for, and how Council will do this over four years. In accordance with the commitment in Council's Annual Plan, all applications are considered on their merits.

**Diversity (Access & Equity)**

It is not considered that the proposal raises any diversity issues affecting the planning assessment of this application.

**Community Safety**

It is considered that there would be no adverse community safety implications in permitting the proposal subject to strict conditions on any planning permit issued.

**Safe Design Guidelines**

Consideration of the relevant requirements of these Guidelines has been undertaken within the Assessment of this application.

**Referrals**

The application was not required to be referred to any external referral authorities pursuant to Section 55 of the Planning and Environment Act 1987.

**Internal**

The application was internally referred to the following Council's Departments for their consideration. The comments provided will be considered in the assessment of the application.

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**2.3.3 Town Planning Application - No. 56 Stephenson Street, Springvale (Planning Application No. PLN18/0567) (Cont.)**

<b>Internal Referrals</b>	
Civil Development	No objections, subject to conditions on permit.
Asset Planning	No objections, subject to conditions on permit.
Transport Planning	No objections, subject to conditions on permit

**Advertising**

The application has been advertised pursuant to Section 52 of the Planning and Environment Act 1987, by:

- Sending notices to the owners and occupiers of adjoining land.
- Placing a sign on Stephenson Street.

The notification has been carried out correctly.

Council has received four (4) objection/s to date.

*The location of the objectors is shown in Attachment 2.*

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**2.3.3 Town Planning Application - No. 56 Stephenson Street, Springvale (Planning Application No. PLN18/0567) (Cont.)**

**Consultation**

A consultative meeting was held on 20 February 2019, with the objectors and Council representatives in attendance. The applicant did not attend the consult meeting. Whilst the issues were discussed at length there was no resolution and the objections stand as received.

**Summary of Grounds of Submissions/Objections**

The objections are summarised below (**bold**), followed by the Town Planner's Response (in *italics*).

- **Overlooking**

*Concern was raised over the double storey built form of the proposal, but more specifically in relation to overlooking and lack of privacy to the existing secluded private open space. The test for overlooking is set by Standard B22 - Clause 55.04-6 of the Greater Dandenong Planning Provisions. This requires any habitable room window or balcony with a direct view into an existing habitable room window or secluded private open space within a horizontal distance of 9 metres from ground level to be screened in accordance with Standard B22.*

*To satisfy this issue, upper floor windows on the south and west elevations have been appropriately screened or are highlight windows to prevent any overlooking to occur. The proposal would have sill heights of at least 1.7 metres above finish floor level, or have permanently fixed external screens, meeting the requirements of Standard B22 in Clause 55.04-6 (Overlooking objective) of the Greater Dandenong Planning Scheme.*

*There are two unscreened habitable room windows on the upper floor east elevation of dwelling 1 that have not been screened. It is considered that this room has to the capacity to be used as a habitable room and should be screened in accordance with Standard B22. To ensure the proposal will not result in any unreasonable overlooking, the following conditions will be placed on the permit:*

- *Permit condition 1.2 would be included on the permit so that the east facing upper floor habitable room windows would have fixed, obscure glazing in any part of the window below 1.7 metre above floor level; and*
- *Permit condition 1.3 would be included on the permit so that the a notation is put onto the elevations for all proposed screens to be dimensioned to 'Have permanently fixed external screens to at least 1.7 metres above floor level and be no more than 25 per cent transparent'.*

- **Traffic congestion and a decrease in on-street parking opportunities**

*A number of concerns have been raised by the objectors with respect to an increase in traffic and car parking, insufficient car parking within the proposal, including a lack of street parking, an increase in traffic congestion and noise associated with traffic, and the overall impact on safety.*

*Council officers note that all car parking spaces have been provided in accordance with Clause 52.06-5. The proposal was referred to Council's Transport Planning Department who have not raised any further concern with respect to on-street parking, congestion or the like.*

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**2.3.3 Town Planning Application - No. 56 Stephenson Street, Springvale (Planning Application No. PLN18/0567) (Cont.)**

*The development would propose one crossover where one previously existed. The proposal would comply with the Car Parking Principle of Clause 22.09-3.1 and would maximise the retention/provision of on-street car parking.*

*It is therefore considered that the proposal will not result in unacceptable traffic congestion or other traffic issues.*

- **Overshadowing**

*Concerns were raised over the double storey built form and the impact of overshadowing on existing secluded private open space. Shadow diagrams have been submitted with the application for the 22 September equinox between 9am to 3pm. The proposal would have additional overshadowing impacts at 9am and 10am for the adjoining dwelling to the west (No. 58 Stephenson Street). The adjoining dwelling to the west has a large secluded private open space area of 120 square metres. At 9am, the proposal would have an additional overshadowing (cast outside of the boundary fence line) of 60 square metres. The sunlight to the secluded private open space area would be reduced by 50%. At 10am, the additional shadowing impacts are reduced to 26.8 square metres, and the sunlight to the secluded private open space would be reduced by 22.33%. By 11am, there are no additional overshadowing impacts to the west.*

*The test for overshadowing is set by Standard B21 of Clause 55.04-5 of the Greater Dandenong Planning Scheme. The provision requires that sunlight to existing secluded private open space not be reduced by at least 75%, and existing secluded private open space should receive a minimum of five hours sunlight between 9am and 3pm. The submitted shadow diagrams demonstrate that the development would not unreasonably overshadow the neighbouring property private open space (to the west) and satisfies the requirement of this standard and objective.*

*The prime secluded private open space of the adjoining properties to the south would not be overshadowed by the proposal. The proposal would cast some minor overshadowing to the adjoining dwelling to the east (No. 54 Stephenson Street) at 3 pm.*

*The proposal complies with the provision of Clause 55.04-5 – Overshadowing open space objective (Standard B21), and as such it is considered that this concern has been addressed.*

- **Neighbourhood character**

*Concerns were raised regarding the proposal being inconsistent with the character of the street and surrounding area due to the double storey built form. The site is located within the incremental change area which encourages well-designed medium density development. The proposal maintains consistency with the identified future character of the incremental change area, as well as consistency with the existing character of the immediate surrounds with multi-unit development of two dwellings on a lot located on 48, 50, 52 and 62 Stephenson Street. A number of these developments are double storey.*

- **Protection of trees on neighbouring site**

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**2.3.3 Town Planning Application - No. 56 Stephenson Street, Springvale (Planning Application No. PLN18/0567) (Cont.)**

*Concerns were raised over impact on neighbouring trees on the adjoining sites to the south and west. An arborist report was submitted as part of the application that specifically addressed the protection of the neighbouring trees to south and west. The findings of the report showed that the development would not detrimentally impact on the health of these trees. The arborist report recommended a number of conditions to ensure the health of the trees and these conditions will form part of this recommended approval and are shown as permit conditions 12-18.*

*Further to this, Council's arborist has reviewed the submitted report, agrees with the findings and supports the suggested conditions.*

- **Noise**

*Concerns were raised over noise generated from the development and potential construction noise during development. While the proposal involves an intensification of the residential use of the land, residential noise is not unexpected in this area, especially given the General Residential zoning of the land and the close proximity to the Springvale Activity Centre.*

*The proposal satisfactorily responds to the noise standards and objectives of Clause 55-04-8 (Noise Impacts Objectives). It is considered appropriately located and designed to minimise any noise impacts. Like existing residents, any future occupants will be subject to the Environment Protection (Residential Noise) Regulations 2018. EPA noise regulations are also required to be met during the construction phase.*

- **Increase in hard paved surfaces and additional stormwater run off**

*The proposed development would exceed the minimum requirements of Standard B9 in Clause 55.03-4 (Permeability and stormwater management objectives) of the Greater Dandenong Planning Scheme, providing a permeable area of 39.63%. Standard permit conditions would ensure that stormwater is collected and retained on site and discharged into the drainage system at pre development peak discharge rates.*

- **Overdevelopment and the loss of gardens and greenspaces and the impact on wildlife**

*The proposed development meets the varied requirements of Standard B28 in Clause 55.05-4 (Private open space objective), as varied by Schedule 1 to the General Residential Zone, of the Greater Dandenong Planning Scheme. The proposal further meets the mandatory garden area requirements of Clause 32.08-4 (General Residential Zone), setting aside 38.93% of the site for garden area.*

*It is considered that the areas of open space provided for the dwellings are acceptable.*

- **Increase in neighbourly disputes**

*Concerns were raised over the increase in neighbourly disputes, particularly with regard to on-street parking disputes. This is not a planning matter and cannot be taken into consideration for this proposal.*

- **Increase in mental health issues**

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**2.3.3 Town Planning Application - No. 56 Stephenson Street, Springvale (Planning Application No. PLN18/0567) (Cont.)**

*Concerns were raised over the increase in health issues, particularly with regard to mental health. This is not a planning matter and cannot be taken into consideration for this proposal.*

**Assessment**

The subject site is located within an established residential area and is well suited for the development of medium density housing given that the site is located within easy walking distance of many community facilities and public transport. The proposal also seeks to reduce pressure on the urban fringe by providing two (2) dwellings where previously one (1) existed through the redevelopment of the site, thereby ensuring that the housing required for the growing population is facilitated.

As required by the General Residential Zone that applies to this site, the proposed development has been assessed against the provisions of Clause 55 (full assessment attached as Appendix 4) of the Greater Dandenong Planning Scheme and the Schedule 1 to the General Residential Zone. The proposed development has also been assessed against Clause 52.06 (full assessment in attachment 5) and Clause 22.09 (full assessment attached as Appendix 3) of the Greater Dandenong Planning Scheme. The proposal complies with all requirements of these clauses except in the following instances, where variations or conditions are required:

**Use**

As outlined in Clause 32.08-2 (General Residential Zone), a dwelling is listed as a Section 1 use, and a planning permit is not required for the use of the proposal. However, a planning permit is required for the buildings and works, which discussed below.

**Planning Policy Framework / Local Planning Policy Framework**

In considering the Planning Policy Framework and the Local Planning Policy Framework, Council can establish that an acceptable proposal will be guided by:

- Clause 55 *Two or more dwellings on a lot;* and
- Clause 22.09 *Residential Development and Neighbourhood Character.*

Each of these Clauses ensure that Council facilitates the orderly development of urban areas, which is a specific objective of Clause 11.02 Settlement.

The objectives of Clause 15.01-01S Urban Design, Clause 15.01-02S Building Design and Clause 21.05-1 Built Form outline the key considerations in which a development must respond to urban design, character, streetscapes and landscape issues.

It is considered that the proposed design response respects the preferred neighbourhood character of the incremental change area by providing a medium density housing typology in the form of two double storey townhouses in the 'one behind the other' layout.

The proposal is of a high quality urban design, with physical recession, articulation, varied use of materials, textures and other visual interest.

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**2.3.3 Town Planning Application - No. 56 Stephenson Street, Springvale (Planning Application No. PLN18/0567) (Cont.)**

The overall layout incorporates acceptable landscaping treatments across the site as evident in indicative landscaping. This includes a significant canopy tree and shrubbery plantings within well-proportioned setback areas to allow growth to maturity.

The proposal is also located within an area subject to incremental change with other multi-unit developments of a similar scale and massing being found within the surrounding residential area. The proposal's compliance with Clause 22.09 and Clause 55 (subject to conditions) ensures that the development would achieve the objectives set out in Clause 15.01 and Clause 21.05-1.

As such, Council officers recommend that the application be approved subject to planning permit conditions as necessary.

**Clause 22.09 Assessment**

An assessment against the design principles of Clause 22.09 is included at Attachment 3 of this report. This proposal provides a design response which is consistent with the preferred character envisaged by Clause 22.09, and is considered to comply with the requirements of this clause, except in the following instances:

**Clause 22.09-3.3 - Bulk and Built Form**

The rearmost dwelling is double storey. Council officers are supportive of the double storey built form for a number of reasons:

- When viewed from the primary secluded open space areas from the adjoining site on the east and west (the areas that would potentially suffer detriment), the extent of the first floor width is very narrow (3 to 4 m);
- At the upper floor, the proposal is setback a minimum of 2.23 metres from the east boundary, and a minimum of 2.0 metres from the west boundary;
- The first floor of dwelling 2 contains three bedrooms and an ensuite. The first floor footprint is considered to be relatively small when compared to the size of the block;
- It is considered that the upper floor is well setback from the southern boundary. The setbacks vary, and include:
  - A minimum setback of 6.865 metres from the ensuite to the boundary;
  - 7.265 metres from the stairwell to the boundary;
  - 7.775 metres from bedroom 1 to the boundary; and
  - 8.775 metres from bedroom 3.
- All elevations have been well articulated through varied setbacks, which will break up the visual bulk of the first floor, and the proposal has been further articulated with varying materials proposed on the ground and upper floor; and
- There is high levels of existing mature vegetation on neighbouring properties, particularly on the adjoining dwelling to the south where there are two substantial trees of 15 and 16 metres in height, which will screen the view of the built form from the south.

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**2.3.3 Town Planning Application - No. 56 Stephenson Street, Springvale (Planning Application No. PLN18/0567) (Cont.)**

**Clause 55 Assessment**

The proposal is considered to comply with the requirements of this Clause, except in the following instances:

**Clause 55.03-6 Standard B13 – Landscaping objectives**

Relevant objective: *“To encourage development that respects the landscape character of the neighbourhood” and “To provide appropriate landscaping”.*

A detailed landscape plan has not been submitted as part of the application. However, if a permit were to be granted Condition 2 would require a detailed landscape plan to be submitted. Specifically Condition 2.6 and 2.7 would be requested so that the site would be able to achieve a revegetation of the site consistent with the surrounding properties and an improved landscape character.

**Clause 55.03-10 Standard B15 – Parking location objectives**

Relevant objective: *“To protect residents from vehicular noise from within a development.”*

In its current form, the east facing habitable room windows of the dining room and kitchen windows of dwelling 1 would fail to comply with Standard B15, as these window would not be located 1.5 metres from the shared accessway and would not have a sill height of 1.4 metres above the accessway.

Permit Condition 1.1 requires these windows to be double glazed so that future residents would be protected from vehicular noise within the development.

**Clause 55.04-6 Standard B22 – Overlooking objective**

Relevant objective: *“To limit views into existing secluded private open space and habitable room windows”.*

Dwelling 1 would have two east facing upper floor windows which have not been screened. It is considered that this room has to the capacity to be used as a habitable room and should be screened in accordance with Standard B22. Permit condition 1.2 would be included on the permit so that these windows would have fixed, obscure glazing in any part of the window below 1.7 metre above floor level.

All other upper floor habitable room windows have sill heights of at least 1.7 metres above floor level, or have permanently fixed external screens.

Given that external screens are proposed and have not been dimensioned on plans, permit condition 1.3 would be placed on the permit for the applicant to provide updated plans which include dimensions on the screens and the following annotation on all relevant elevations for the screens to be ‘Have permanently fixed external screens to at least 1.7 metres above floor level and be no more than 25 per cent transparent’.

**Clause 55.04-7 Standard B23 – Internal views objective**

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**2.3.3 Town Planning Application - No. 56 Stephenson Street, Springvale (Planning Application No. PLN18/0567) (Cont.)**

Relevant objective: *“To limit views into the secluded private open space and habitable room windows of dwellings and residential buildings within a development”.*

The upper floor north facing habitable room windows for dwelling 2 are oriented towards the secluded private open space of dwelling 1. These habitable room windows have external screens proposed. To ensure compliance with Standard B23, and that no internal overlooking opportunities are possible, it is recommended that permit condition 1.3 be included on the permit so that the a notation is put onto all relevant elevations for all external screens to be dimensioned to ‘permanently fixed external screens to at least 1.7 metres above floor level and be no more than 25 per cent transparent’.

**Clause 55.05-5 Standard B29 – Solar access to open space objectives**

Relevant objective: *“To allow solar access into the secluded private open space of new dwellings and residential buildings”.*

Due to the orientation of the allotment, the secluded private open space is located on the south side of the dwelling. For dwelling 1, of the 42.8 square metres of secluded private open space, 20 square metres does not comply with the required setback of Standard B29. For dwelling 2, of the 81.6 square metres of secluded private open space, 62.4 square metres does not comply with the required setback of Standard B29. However, it is considered that the proposal complies with the objective for the following reasons:

- The secluded private open space is located at the rear of the dwelling, and is considered appropriate having regard to the orientation of the allotment;
- The secluded private open space provided would exceed the requirements of Standard B28 (Private open space objectives);
- Due to the orientation of the allotment, it would be hard to avoid some overshadowing due to development;
- The secluded private open space will receive sufficient sunlight from an easterly and westerly aspect;
- Dwelling 1 benefits from a large private open space area to the front of the site that will have uninterrupted northern sunlight; and
- The secluded private open space will still be a highly useable space based on the sunlight it will receive.

**Clause 52.06 Assessment**

The proposal is considered to comply with the requirements of this Clause.

**Conclusion**

The proposal is generally consistent with the provisions of the Greater Dandenong Planning Scheme, including the zoning requirements, local policy direction, application of Clause 55, and the decision guidelines of Clause 65, subject to conditions.

**2.3.3 Town Planning Application - No. 56 Stephenson Street, Springvale (Planning Application No. PLN18/0567) (Cont.)****Recommendation**

That Council resolves to issue a Notice of Decision to grant a permit in respect of the land known and described as 56 Stephenson Street, SPRINGVALE VIC 3171 (Lot 148 on PS 019005), for the purpose of development of the land for two (2) double storey dwellings in accordance with the plans submitted with the application subject to the following conditions:

1. Before the development starts, amended plans to the satisfaction of the Responsible Authority must be submitted to and approved by the Responsible Authority. The amended plans must be generally in accordance with the application but modified to show:
  - 1.1. The east facing ground floor habitable room dining and kitchen windows to dwelling 1 to be provided with double glazing;
  - 1.2. The upper floor east facing windows to dwelling 1 to be screened in accordance with Standard B22 of Clause 55 of the Greater Dandenong Planning Scheme;
  - 1.3. All relevant elevations with habitable room windows with external screens to be dimensioned to 1.7m above finish floor level, and a notation stating the following to be added 'screens to be permanently fixed external screens to at least 1.7 metres above floor level and be no more than 25 per cent transparent' in accordance with Standard B22 of Clause 55 of the Greater Dandenong Planning Scheme;
  - 1.4. Relocate the access gate on the eastern boundary fence to the secluded private open space for dwelling 1 from the centre of the fence to the north, and create a separate pedestrian pathway from the driveway, to the satisfaction of the Responsible Authority

**2.3.3 Town Planning Application - No. 56 Stephenson Street, Springvale (Planning Application No. PLN18/0567) (Cont.)**

- 1.5. Substantially reduce the hard paved surfaces to the east of the secluded private open space to dwelling 1, leaving enough room for a turning circle for dwelling 2 to the satisfaction of the Responsible Authority; and**
  - 1.6. Landscape Plan in accordance with Condition 2.**
- 2. Before the approved development starts, and before any trees or vegetation are removed, and amended landscape plan to the satisfaction of the Responsible Authority must be submitted to and approved by the Responsible Authority. The amended landscape plan must be prepared by a person or firm with suitable qualifications to the satisfaction of the Responsible Authority, drawn to scale with dimension and 3 copies must be provided. The amended landscape plan must be generally in accordance with the landscape plan submitted with the application but modified to show:**
  - 2.1. plans to accord with Condition 1 of this permit;**
  - 2.2. the site at a scale of 1:100/200, including site boundaries, existing and proposed buildings, neighbouring buildings, car parking, access and exit points, indicative topography and spot levels at the site corners, existing and proposed vegetation, nature strip trees, easements and landscape setbacks;**
  - 2.3. details of the proposed layout, type and height of fencing;**
  - 2.4. legend of all plant types, surfaces, materials and landscape items to be used including the total areas of garden and lawn;**

**2.3.3 Town Planning Application - No. 56 Stephenson Street, Springvale (Planning Application No. PLN18/0567) (Cont.)**

- 2.5.** a plant schedule giving a description of botanical name, common name, mature height and spread, pot size, purchase height (if a tree) and individual plant quantities;
- 2.6.** at least one (1) advanced canopy tree with a minimum planting height of 1.5 metres within the rear secluded open space areas of each dwelling;
- 2.7.** at least two (2) advanced canopy trees with a minimum planting height of 1.5 metre within the front setback to dwelling 1;

When approved, the amended landscape plan will be endorsed and will form part of this permit.

The provisions, recommendations and requirements of the landscape plan must be implemented and complied with to the satisfaction of the Responsible Authority.

Landscaping in accordance with the endorsed landscaping plan and schedule must be completed before the building is occupied.

- 3.** Except with the prior written consent of the Responsible Authority, the layout of the land and the size, design and location of the buildings and works permitted must always accord with the endorsed plan and must not be altered or modified.
- 4.** Except with the prior written consent of the Responsible Authority, the approved building must not be occupied until all buildings and works and the conditions of this permit have been complied with.
- 5.** Provision must be made for the drainage of the site including landscaped and pavement areas, all to the satisfaction of the Responsible Authority.
- 6.** Stormwater discharge is to be retained on site to the pre-development level of peak stormwater discharge, to the satisfaction of the Responsible Authority.
- 7.** Before the approved building is occupied, all piping and ducting above the ground floor storey of the building, except downpipes, must be concealed to the satisfaction of the Responsible Authority.

**2.3.3 Town Planning Application - No. 56 Stephenson Street, Springvale (Planning Application No. PLN18/0567) (Cont.)**

8. The connection of the internal drainage infrastructure to the LPD must be to the satisfaction of the Responsible Authority.
9. Standard concrete vehicular crossing/s must be constructed to suit the proposed driveway/s in accordance with the Council's standard specifications. Any vehicle crossing no longer required must be removed and the land, footpath and kerb and channel reinstated, to the satisfaction of the Responsible Authority.
10. Letterboxes and all other structures (including visually obstructive fencing and landscaping) should be constructed to a maximum height of 900mm or relocated clear of a splayed area (2m x 2.5m) along the frontage road at access points in accordance with Dandenong Planning Scheme Clause 52.06-9.
11. Except with the prior written consent of the Responsible Authority, floor levels shown on the endorsed plan/s must not be altered or modified.
12. A 1.8 metre high temporary fencing must be erected across the rear setback of the site 4.5 metre in from the rear boundary to create a Tree Protection Zone for Trees 2 and 3. Fencing must be installed prior to demolition and remain in place for the duration of site works.
13. Signage stating 'Tree Protection Zone – No Access' must be attached to Tree Protection Zone fences.
14. Landscaping works including the construction of fences and sheds within the Tree Protection Zones of Tree 2 and 3 must be monitored by the project arborist. Post holes must be manually excavated and roots greater than 50mm diameter retained by relocation post holes as required.
15. All demolition and soil excavation within the Tree Protection Zones of Trees 2 and 3 must be supervised and documented by the project arborist.
16. Prior to the construction of the development, root pruning must be completed in accordance with *AS4373-2007 Pruning of Amenity Trees*, using clean sharp tools.
17. All works requiring excavation within the Tree Protection Zone of Tree 3 and implemented tree protection measures must be documented by the project arborist to the satisfaction of the Responsible Authority.
18. All underground services and utilities must be either;
  - 18.1. Routed outside of Tree Protection Zones; or
  - 18.2. Installed using directional boring at a depth greater than 1.0m with boring pits located outside of the Tree Protection Zones; or
  - 18.3. Installed using non-destructive digging (NDD – Hydro-excavation) supervised by the project arborist.

**2.3.3 Town Planning Application - No. 56 Stephenson Street, Springvale (Planning Application No. PLN18/0567) (Cont.)**

19. Before the approved building is occupied, the development must be provided with external lighting capable of illuminating access to each garage, car parking space and pedestrian walkway. Lighting must be located, directed and shielded to the satisfaction of the Responsible Authority so as to prevent any adverse effect outside the land.
20. Before the approved building is occupied, the obscure glazing to the windows shown on the endorsed plans must be provided through frosted glass or similarly treated glass. Adhesive film or similar removable material must not be used.
21. Before the approved building is occupied, the privacy screens and other measures to prevent overlooking as shown on the endorsed plans must be installed to the satisfaction of the Responsible Authority.

All privacy screens and other measures to prevent overlooking as shown on the endorsed plans must at all times be maintained to the satisfaction of the Responsible Authority.

22. All glazing must at all times be maintained to the satisfaction of the Responsible Authority.
23. Before the approved building is occupied, all boundary walls in the development must be constructed, cleaned and finished to the satisfaction of the Responsible Authority.
24. This permit will expire if:-
  - 24.1. The development or any stage of it does not start within two (2) years of the date of this permit, or
  - 24.2. The development or any stage of it is not completed within four (4) years of the date of this permit.

Before the permit expires or within six (6) months afterwards the owner or occupier of the land may in writing request the Responsible Authority to extend the expiry date.

The owner or occupier of the land may in writing request the Responsible Authority to extend the expiry date to complete the development or a stage of the development if:

- (a) The request for the extension is made within twelve (12) months after the permit expires; and
- (b) The development or stage started lawfully before the permit expired.

**Notes**

- A flood dispensation is to be obtained prior to issue of Building Permit.

**2.3.3 Town Planning Application - No. 56 Stephenson Street, Springvale (Planning Application No. PLN18/0567) (Cont.)**

- **The property is identified to be subject to flooding in major rain events. An application for Report and Consent for Flooding is required. Infrastructure Planning is to be contacted to confirm the minimum finished floor level (FFL) of the proposed development.**
- **Collected stormwater must be retained onsite and discharged into the drainage system at pre development peak discharge rates as stated in the Legal Point of Discharge approval letter. Approval of drainage plan including any retention system within the property boundary is required**

**Prior to the drainage plans being approved, a plan checking fee of 0.75% and supervision fee of 2.5% of the estimated cost of works is to be paid to Council.**

- **Any works undertaken within the road reservation and easements will require the developer to obtain a Civil Works Permit from Council.**
- **Prior to works commencing the developer will need to obtain an Asset Protection Permit from Council**

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**2.3.3 Town Planning Application - No. 56 Stephenson Street, Springvale (Planning Application No. PLN18/0567) (Cont.)**

**STATUTORY PLANNING APPLICATIONS**

**TOWN PLANNING APPLICATION – NO. 56 STEPHENSON STREET,  
SPRINGVALE (PLANNING APPLICATION NO. PLN18/0567)**

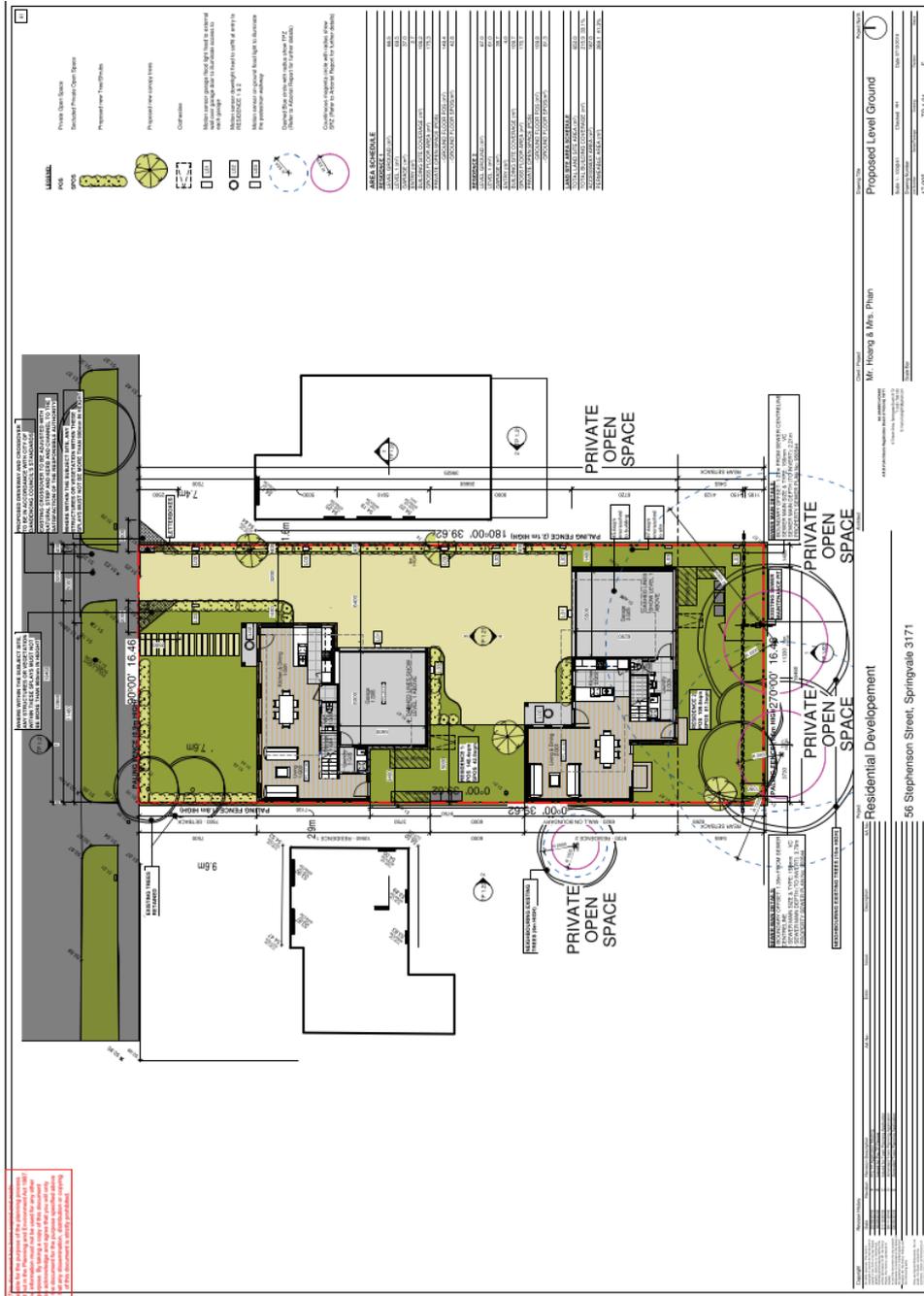
**ATTACHMENT 1**

**SUBMITTED PLANS**

**PAGES 6 (including cover)**

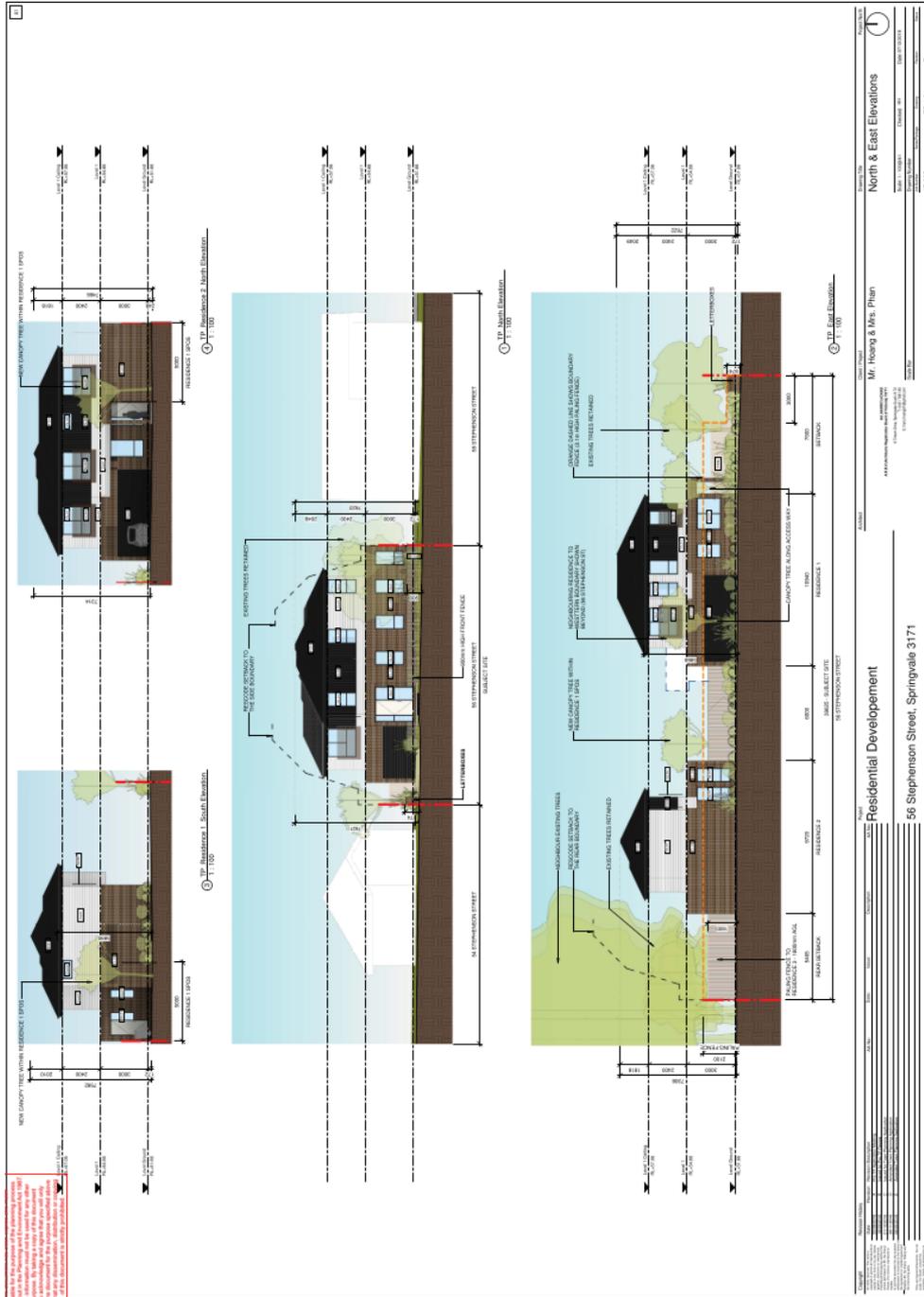
*If the details of the attachment are unclear please contact Governance on 8571 5235.*

**2.3.3 Town Planning Application - No. 56 Stephenson Street, Springvale (Planning Application No. PLN18/0567) (Cont.)**





**2.3.3 Town Planning Application - No. 56 Stephenson Street, Springvale (Planning Application No. PLN18/0567) (Cont.)**





**2.3.3 Town Planning Application - No. 56 Stephenson Street, Springvale (Planning Application No. PLN18/0567) (Cont.)**

**FT01 - ROOF TILES WITH DARK GREY COLOUR FINISH**

**CL01 - EXTERNAL HORIZONTALLY GROOVED CLADDING PANEL**

**CL02 - EXTERNAL VERTICALLY GROOVED CLADDING PANEL**

**CL03 - BROWN BRICKWORK TO GROUND FLOOR**

**GL01 - NON REFLECTIVE CLEAR GLASS WITH BLACK POWDERCOAT FRAME**

**GL02 - NON REFLECTIVE HORIZONTAL STRIPES**

**SC01 - PRIVACY SCREENING WITH MAXIMUM 25% OPEN TRANSPARENCY TO 1800mm AFL**

**RD01 - ROLLER DOOR WITH POWDERCOATED FINISH - DARK GREY COLOUR**

**FEN - TIMBER PALING FENCE**

**Residential Development**  
 56 Stephenson Street, Springvale 3171

**Mr. Hoang & Mrs. Phan**  
 Finishers Board

**11005**

**TP 18/1**

**E**

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**2.3.3 Town Planning Application - No. 56 Stephenson Street, Springvale (Planning Application No. PLN18/0567) (Cont.)**

**STATUTORY PLANNING APPLICATIONS**

**TOWN PLANNING APPLICATION – NO. 56 STEPHENSON STREET,  
SPRINGVALE (PLANNING APPLICATION NO. PLN18/0567)**

**ATTACHMENT 2**

**LOCATION OF OBJECTORS**

**PAGES 2 (including cover)**

*If the details of the attachment are unclear please contact Governance on 8571 5235.*

**2.3.3 Town Planning Application - No. 56 Stephenson Street, Springvale (Planning Application No. PLN18/0567) (Cont.)**



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**2.3.3 Town Planning Application - No. 56 Stephenson Street, Springvale (Planning Application No. PLN18/0567) (Cont.)**

**STATUTORY PLANNING APPLICATIONS**

**TOWN PLANNING APPLICATION – NO. 56 STEPHENSON STREET,  
SPRINGVALE (PLANNING APPLICATION NO. PLN18/0567)**

**ATTACHMENT 3**

**CLAUSE 22 ASSESSMENT**

**PAGES 14 (including cover)**

*If the details of the attachment are unclear please contact Governance on 8571 5309.*

**2.3.3 Town Planning Application - No. 56 Stephenson Street, Springvale (Planning Application No. PLN18/0567) (Cont.)**

**Assessment Table for Clause 22.09**

**Clause 22.09-3.1 Design Principles for all residential developments**

Title /Objective	Principles	Principle met/Principle not met/NA
Safety	<p>To encourage the provision of safer residential neighbourhoods, new development should enable passive surveillance through designs that:</p> <p>Incorporate active frontages including ground floor habitable room windows.</p>	<p>✓ <b>Principle met</b></p> <p>The proposal would have an active frontage with ground floor habitable room windows oriented towards the street for dwelling 1</p>
	<p>Maximise the number of habitable room windows on all levels of residential buildings that overlook the public realm, streets, laneways, internal access ways and car parking areas.</p>	<p>✓ <b>Principle met</b></p> <p>Passive surveillance of street and public realm is provided through habitable room windows fronting the street at both ground and upper floor level. Habitable room windows are oriented towards the internal accessway and car parking areas.</p>
	<p>Use semi-transparent fences to the street frontage.</p>	<p>✓ <b>Principle met</b></p> <p>A 0.9 metre high paling fence proposed.</p>
	<p>Light communal spaces including main entrances and car parking areas with high mounted sensor-lights.</p>	<p>✓ <b>Principle met</b></p> <p>Motion sensor lighting has been provided to the dwelling entries, car parking areas, and along the internal accessway .</p>
	<p>Ensure that all main entrances are visible and easily identifiable from the street.</p>	<p>✓ <b>Principle met</b></p> <p>Dwelling 1 is oriented towards Stephenson Street. The porch would make the entrance easily identifiable from the street. The dwelling would benefit from pedestrian access connecting the porch and the street.</p> <p>Dwelling 2 would be oriented towards the internal accessway. The porch would make the entrance easily identifiable from the accessway.</p>

*If the details of the attachment are unclear please contact Governance on 8571 5309.*

ORDINARY COUNCIL MEETING - AGENDA

**2.3.3 Town Planning Application - No. 56 Stephenson Street, Springvale (Planning Application No. PLN18/0567) (Cont.)**

<b>Landscaping</b>	Locate non-habitable rooms such as bathrooms, away from entrances and street frontage.	<p>✓ <b>Principle met</b> Non-habitable rooms are located away from the street frontage.</p>
	Residential development should: Provide substantial, high quality on-site landscaping, including screen planting and canopy trees along ground level front and side and rear boundaries.	<p>✓ <b>Principle met (through permit condition)</b> Condition required. A landscape plan has not been provided as part of the application. Permit condition 2 would request a landscape plan. The proposal would be capable of providing high quality on-site landscaping including screen planting and canopy trees along the ground level front setback, and side and rear boundaries.</p>
	Provide substantial, high quality landscaping along vehicular accessways.	<p>✓ <b>Principle met</b> A landscape plan has not been submitted as part of the application. Indicative landscaping suggests the proposal would provide high quality landscaping along the vehicular accessway.</p>
	Include the planting of at least one substantial canopy tree to each front setback and ground level secluded private open space area.	<p>✓ <b>Principle met (through permit condition)</b> Condition required. A landscape plan has not been provided as part of the application. Permit condition 2.6 and 2.7 would request a landscape plan with at least two substantial canopy trees to each front setback and at least one canopy tree to each ground level secluded private open space area.</p>

*If the details of the attachment are unclear please contact Governance on 8571 5309.*

ORDINARY COUNCIL MEETING - AGENDA

**2.3.3 Town Planning Application - No. 56 Stephenson Street, Springvale (Planning Application No. PLN18/0567) (Cont.)**

	<p>Planting trees that are common to and perform well in the area.</p> <p>Avoid the removal of existing mature trees by incorporating their retention into the site design.</p> <p>Use landscaping to soften the appearance of the built form when viewed from the street and to respect the amenity of adjoining properties.</p> <p>Ensure that landscaping also addresses the Safety Design Principles.</p>	<p>✓ <b>Principle met (through permit condition)</b> Condition required. A landscape plan has not been provided as part of the application. Permit condition 2 would request a landscape plan.</p> <p>✓ <b>Principle met (through permit condition)</b> Neighbouring trees are significant. An Arboricultural Report / Development Impact Assessment was submitted as part of the application. The report makes a number of recommendations that would be included as permit conditions, to ensure that neighbouring trees remain viable post development. In terms of on-site trees, trees are proposed to be removed to accommodate the development, and do not require a permit to be removed.</p> <p>✓ <b>Principle met (through permit condition)</b> The proposal would set aside 77.8% of the front setback for landscaping, which would soften the built form when viewed from the street. Permit condition 2.7 would request a landscape plan with at least two substantial canopy trees within the front setback. This would soften the appearance of the built form when viewed from the street to respect the amenity of the adjoining properties.</p> <p>✓ <b>Principle met</b> Future landscaping can be provided to address the safety design principles.</p>
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*If the details of the attachment are unclear please contact Governance on 8571 5309.*

ORDINARY COUNCIL MEETING - AGENDA

**2.3.3 Town Planning Application - No. 56 Stephenson Street, Springvale (Planning Application No. PLN18/0567) (Cont.)**

	<p>Canopy trees should be planted in well proportioned setbacks/private open space that are sufficient to accommodate their future growth to maturity.</p> <p>Landscaping should minimise the impact of increased storm water runoff through water sensitive urban design and reduced impervious surfaces.</p> <p>Landscaping should be sustainable, drought tolerant, and include indigenous species and be supported through the provision of rainwater tanks.</p>	<p><b>✓ Principle met (through permit condition)</b>                  A landscape plan has not been provided, however the rear yard and front setbacks have adequate open space to allow for a substantial canopy tree.                  Permit condition 2.6 would request at least one canopy tree to each ground level secluded private open space area.</p> <p><b>✓ Principle met</b>                  The proposal exceeds the requirements of Standard B9 (Permeability) of Clause 55.03-4.                  Setbacks are sufficient, and will allow for adequate landscaping to increase stormwater retention and increase permeability.                  There are rainwater tanks proposed in the design.</p> <p><b>✓ Principle met (through permit condition)</b>                  A landscape plan has not been provided as part of the application.                  Permit condition 2 would request a landscape plan that considered the species of landscaping.                  Rainwater tanks are proposed.</p>
<p>Car parking</p>	<p>The existing level of on-street car parking should be maintained by avoiding second crossovers on allotments with frontage widths less than 17 metres.</p>	<p><b>✓ Principle met</b>                  One crossover proposed on an allotment of 16.46 metres.</p>

*If the details of the attachment are unclear please contact Governance on 8571 5309.*

ORDINARY COUNCIL MEETING - AGENDA

**2.3.3 Town Planning Application - No. 56 Stephenson Street, Springvale (Planning Application No. PLN18/0567) (Cont.)**

	<p>On-site car parking should be:</p> <ul style="list-style-type: none"> <li>Well integrated into the design of the building,</li> <li>Generally hidden from view or appropriately screened where necessary,</li> <li>Located to the side or rear of the site so as to not dominate the streetscape and to maximise soft landscaping opportunities at ground level.</li> </ul>	<p><b>✓ Principle met</b>                  Dwelling 1 will have the double garage located to rear of the dwelling and not visible from the streetscape.                  The double garage to dwelling 2 would be located at the side of the building and would be setback 27.37 metres from the street frontage.                  The proposed parking layout would not dominate the streetscape and would maximise soft landscaping opportunities at ground level.</p> <p><b>✓ Principle met</b>                  No parking within the front setback.</p> <p><b>✓ Principle met</b>                  Basement parking not proposed.</p>
<p>Setbacks, front boundary and width</p>	<p>Where car parking is located within the front setback it should be:</p> <ul style="list-style-type: none"> <li>Fully located within the site boundary, and</li> <li>Capable of fully accommodating a vehicle between a garage or carport and the site boundary.</li> </ul> <p>Developments with basement car parking should consider flooding concerns where applicable.</p> <p>Residential developments should:                  Provide a front setback with fence design and height in keeping with the predominant street pattern.</p> <p>Maintain the apparent frontage width pattern.</p> <p>Provide appropriate side setbacks between buildings to enable screen planting where required, and at least one generous side setback to enable the retention of trees and/or the planting and future growth of trees to maturity.</p>	<p><b>✓ Principle met</b>                  A 0.9 metre paling fence is proposed. Front fence heights and designs vary throughout the street, and the 0.9 metre high paling fence is considered appropriate and of a design and height in keeping with the predominant street pattern.</p> <p><b>✓ Principle met</b>                  The frontage width pattern is maintained, with two clearly identified dwellings with a double garage located to the rear or side.</p> <p><b>✓ Principle met</b>                  Appropriate side setbacks have been provided, that will allow for screening planting.                  At least one generous side setback has been provided to the western boundary to allow for the retention of mature canopy trees</p>

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ORDINARY COUNCIL MEETING - AGENDA

**2.3.3 Town Planning Application - No. 56 Stephenson Street, Springvale (Planning Application No. PLN18/0567) (Cont.)**

	Provide open or low scale front fences to allow a visual connection between landscaping in front gardens and street tree planting.	<p>✓ <b>Principle met</b> The proposed 0.9 metre high front fence is of a low scale and will allow for a visual connection between the front garden and street tree planting.</p>
Private open space	All residential developments should provide good quality, useable private open space for each dwelling directly accessible from the main living area.	<p>✓ <b>Principle met</b> Each dwelling exceeds the minimum requirements of secluded private open space of Standard B28 (Private open space), as varied by Schedule 1 to the General Residential Zone.  The private open spaces areas are easily accessible from the main ground floor living areas.</p>
	Ground level private open space areas should be able to accommodate boundary landscaping, domestic services and outdoor furniture so as to maximise the useability of the space.	<p>✓ <b>Principle met</b> Large private open space areas provided, which will be able to accommodate boundary landscaping, services and outdoor furniture, and will maximise the useability of the space.</p>
	Private open space should be positioned to maximise solar access.	<p>✓ <b>Principle met</b> The provided secluded private open spaces are located predominantly to the south. The proposal complies with the objective to Clause 55.05-5 (Solar access to open space objective), and the secluded private open space will still be a highly useable space based on the sunlight it will receive.</p>
	Upper floor levels of the same dwelling should avoid encroaching secluded private open space areas to ensure the solar access, useability and amenity of the space is not adversely affected.	<p>✓ <b>Principle met</b> The upper floor levels of the dwellings do not encroach on the secluded private open space below.</p>
	Upper level dwellings should avoid encroaching the secluded private open space of a separate lower level dwelling so as to ensure good solar access and amenity for the lower level dwelling.	<p>✓ <b>Principle met</b> Apartments not proposed.</p>

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ORDINARY COUNCIL MEETING - AGENDA

**2.3.3 Town Planning Application - No. 56 Stephenson Street, Springvale (Planning Application No. PLN18/0567) (Cont.)**

Bulk & Built Form	<p>All residential developments should respect the dominant façade pattern of the streetscape by:</p> <ul style="list-style-type: none"> <li>Using similarly proportioned roof forms , windows, doors and verandahs; and</li> <li>Maintaining the proportion of wall space to windows and door openings.</li> </ul> <p>Balconies should be designed to reduce the need for screening from adjoining dwellings and properties.</p> <p>The development of new dwellings to the rear of existing retained dwellings is discouraged where:</p> <ul style="list-style-type: none"> <li>The siting of the retained dwelling would not enable an acceptable future site layout for either the proposed or future dwelling; or</li> <li>The retention of the existing dwelling detracts from the identified future character.</li> </ul> <p>On sites adjacent to identified heritage buildings, infill development should respect the adjoining heritage by:</p> <ul style="list-style-type: none"> <li>Not exceeding the height of the neighbouring significant building;</li> <li>Minimising the visibility of higher sections of the new building; and</li> <li>Setting higher sections back at least the depth of one room from the frontage.</li> </ul>	<p>✓ <b>Principle met</b> The proposal has similar materials found in existing dwellings in the surrounding area. The proposed materials include brick at ground floor, with a light weight cladding for the upper floor, with a pitched roof with eaves.</p> <p>✓ <b>Principle met</b> Balconies not proposed.</p> <p>✓ <b>Principle met</b> Existing dwelling to be demolished.</p> <p>✓ <b>Principle met</b> Site not adjacent to any identified heritage buildings.</p>
Site Design	<p>Residential development should:</p> <p>Preserve the amenity of adjoining dwellings through responsive site design that considers the privacy, solar access and outlook of adjoining properties.</p> <p>Maximise thermal performance and energy efficiency of the built form by addressing orientation, passive design and fabric performance</p> <p>Ensure that building height, massing articulation responds sensitively to existing residential interfaces, site circumstances, setbacks and streetscape and reduces the need for screening.</p>	<p>✓ <b>Principle met</b> Subject to conditions on permit, no issues identified in regards to the overlooking and overshadowing in the Clause 55 assessment above.</p> <p>✓ <b>Principle met</b> Large windows are proposed and where possible, north facing to maximise thermal performance and energy efficiency and lessen reliance for artificial heating and cooling.</p> <p>✓ <b>Principle met</b> Ground level living areas are proposed, which would minimise the need for screening.</p>

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ORDINARY COUNCIL MEETING - AGENDA

**2.3.3 Town Planning Application - No. 56 Stephenson Street, Springvale (Planning Application No. PLN18/0567) (Cont.)**

	<p>Provide sufficient setbacks (including the location of basements) to ensure the retention of existing trees and to accommodate the future growth of new trees.</p> <p>Provide suitable storage provisions for the management of operational waste</p> <p>Appropriately located suitable facilities to encourage public transport use, cycling and walking.</p>	<p>✓ <b>Principle met</b> Sufficient setbacks are provided to the front, side and rear to allow for landscaping, canopy trees and screen planting</p> <p>✓ <b>Principle met</b> Bins are located in the rear secluded private open space areas for each dwellings. Access gates have been provided for convenient access to the front of the site.</p> <p>✓ <b>Principle met</b></p>
<p><b>Materials &amp; Finishes</b></p>	<p>Residential development should:</p> <p>Use quality, durable building materials and finishes that are designed for residential purposes.</p> <p>Avoid the use of commercial or industrial style building materials and finishes.</p> <p>Avoid using materials such as rendered cement sheeting, unarticulated surfaces and excessive repetitive use of materials.</p> <p>Use a consistent simple palette of materials, colours finishes and architectural detailing.</p>	<p>✓ <b>Principle met</b> Proposed materials of brick and lightweight cladding are similar to those found in surrounding residential developments.</p> <p>✓ <b>Principle met</b> Materials are suited to residential developments.</p> <p>✓ <b>Principle met</b> The proposal is well articulated through variation to materials and forms. Repetitive and excessive use of materials has been avoided.</p> <p>✓ <b>Principle met</b> A simple palette of colours and materials have been utilised to ensure that the proposal maintains a simple design, without excess use of certain colours.</p>
<p><b>Domestic services normal</b></p>	<p>Maximise the ongoing affordability and sustainability of residential developments through the selection of low maintenance, resource and energy efficient materials and finishes that can be reasonably expected to endure for the life of the building.</p> <p>In order to minimise the impact of domestic and building services on the streetscape, adjacent properties, public realm and amenity of future residents, new residential development should:</p>	<p>✓ <b>Principle met</b> The materials are durable and typical for residential developments.</p>

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ORDINARY COUNCIL MEETING - AGENDA

**2.3.3 Town Planning Application - No. 56 Stephenson Street, Springvale (Planning Application No. PLN18/0567) (Cont.)**

<p>To a dwelling and Building services</p>	<p>Ensure that all domestic and building services are visually integrated into the design of the building and appropriately positioned or screened so as to not be seen from the street or adjoining properties.</p> <p>Be designed to avoid the location of domestic and building services:</p> <ul style="list-style-type: none"> <li>• Within secluded private open space areas, including balconies; and</li> <li>• Where they may have noise impacts on adjoining habitable rooms and secluded private open space areas.</li> </ul>	<p>✓ <b>Principle met</b> Bin and recycling enclosures, mailboxes, meter boxes, clothes lines and water tanks have all been provided and are easily accessible for each dwelling.</p> <p>✓ <b>Principle met</b> The domestic services would be located in both the rear secluded private open space areas and other private open space areas of the dwellings.  Large secluded private open space areas have been provided, exceeding the requirements of Standard B28, and the location of the domestic services is considered acceptable.</p>
<p>Internal Amenity</p>	<p>Residential development should:</p> <p>Ensure that dwelling layouts have connectivity between the main living area and private open space.</p> <p>Be designed to avoid reliance on borrowed light to habitable rooms.</p> <p>Ensure that balconies and habitable room windows are designed and located to reduce the need for excessive screening.</p> <p>Ensure that dwellings without ground level main living areas meet the Standards of Clauses 55.03-5, 55.04-1, 6 &amp; 7, 55.05-3, 4 &amp; 5.</p>	<p>✓ <b>Principle met</b> There is a direct connectivity between living and private open space areas.</p> <p>✓ <b>Principle met</b> Habitable rooms have been provided with windows and do not rely on borrowed light.</p> <p>✓ <b>Principle met</b> Ground level living is proposed and reduces the need for screening.</p> <p>✓ <b>Principle met</b> Ground level living is proposed.</p>

*If the details of the attachment are unclear please contact Governance on 8571 5309.*

**2.3.3 Town Planning Application - No. 56 Stephenson Street, Springvale (Planning Application No. PLN18/0567) (Cont.)**

<b>Clause 22.09-3.3 Design principles for Incremental Change Areas – General Residential Zone (GRZ)</b> Principle met/Principle not met/NA	
<b>Titles &amp; Objectives</b> Preferred housing type	The preferred housing type for the Incremental Change Area is medium density.  <b>Principle met</b> Medium density proposed. The proposal is consistent with the definition of medium density, as defined in Clause 22.09-4, as it is for two dwellings on a single lot. Each dwelling has its own, separate building footprint on the land. The dwellings share a driveway. The proposal is for two double storey townhouses that are semi-detached.
<b>Building Height</b>	The preferred maximum building height for land within the GRZ1 and GRZZ is up to 2 storeys, including ground level.  <b>Principle met</b> A maximum of two storeys proposed
<b>Landscaping</b>	Residential development should use landscaping to create a landscaped character, particularly canopy trees in front and rear gardens; and to protect the outlook of adjoining properties  <b>Principle met (with permit condition)</b> A landscape plan has not been provided and would be requested as part of permit condition 2.  Permit condition 2.6 and 2.7 would request two canopy trees within each front setback, and one canopy tree to each rear SPOS area. In addition, the proposal would also set aside 7.8% of the front setback for landscaping, which would protect the outlook of adjoining properties.

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ORDINARY COUNCIL MEETING - AGENDA

**2.3.3 Town Planning Application - No. 56 Stephenson Street, Springvale (Planning Application No. PLN18/0567) (Cont.)**

<p><b>Setbacks, front boundary and width</b></p>	<p>Parking, paving and car access within the front boundary setback should be limited in order to maximise the opportunity for soft landscaping and prevent the over dominance of carports and garages in the street.</p>	<p>✓ <b>Principle met</b>                      Parking, paving and car access would not dominate the street.                      No parking would be provided within the front setback. Dwelling 1 would have a double garage located to the rear of the dwelling.                      The accessway would comply with Standard B14 (Access objective).                      In addition, the proposal would also set aside 77.8% of the front setback for landscaping, which would maximise the opportunity for soft landscaping.</p>
<p><b>Private open space</b></p>	<p>Residential development should provide secluded private open space at the side or rear of each dwelling to avoid the need for excessive screening or high front fencing.</p>	<p>✓ <b>Principle met</b>                      The secluded private open space is located at the rear of each dwelling.</p>
<p><b>Bulk &amp; Built Form</b></p>	<p>Residential development should:                      Ensure that the built form respects the scale of existing prevailing built form character and responds to site circumstances and streetscape;</p>	<p>✓ <b>Principle met</b>                      The existing neighbourhood character comprises a mix of single and double storey multi-unit developments.                      The built form responds to the site circumstances and street as there is one dwelling fronting the street, with a garage located to the rear, the proposed materials are comprised of brick at ground floor and lightweight cladding at the upper floor, and the dwelling would incorporate a pitched roof with eaves.                      Overall, the proposal integrates with the existing streetscape and incorporates a variety of elements from neighbouring dwellings.</p> <p>✓ <b>Principle met</b>                      A 9.45 metre separation is provide between the upper levels.</p>

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ORDINARY COUNCIL MEETING - AGENDA

**2.3.3 Town Planning Application - No. 56 Stephenson Street, Springvale (Planning Application No. PLN18/0567) (Cont.)**

	<p>Retain spines of open space at the rear of properties to maximise landscaping opportunities and protect private secluded open space.</p>	<p>✓ <b>Principle met</b> A clear spine of open space has been retained to the rear of dwelling two to maximise landscaping opportunities and protect private secluded private open space.</p>
	<p>Position more intense and higher elements of built form towards the front and centre of a site, transitioning to single storey elements to the rear of the lot.</p>	<p>* <b>Principle not met</b> Double storey at the rear proposed. Double storey to the rear is considered acceptable as the upper floor is substantially setback (a minimum 6.865 metres) from the rear boundary and when viewed from the secluded private open space areas from the east and west boundaries the extent of the first floor width is very narrow (3 to 4 metres). Furthermore, the rear upper storey will be screened by mature vegetation on the southern boundary. The proposal has been well articulated through varied materials and setbacks.</p>

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ORDINARY COUNCIL MEETING - AGENDA

**2.3.3 Town Planning Application - No. 56 Stephenson Street, Springvale (Planning Application No. PLN18/0567) (Cont.)**

	<p>The rearmost dwelling on a lot should be single storey to ensure the identified future character of the area and the amenity of adjoining properties is respected by maximising landscaping opportunities and protecting adjoining private secluded open space.</p> <p>Two storey dwellings to the rear of a lot may be considered where:</p> <ul style="list-style-type: none"> <li>• The visual impact of the building bulk does not adversely affect the identified future character of the area;</li> <li>• Overlooking and/or overshadowing does not adversely affect the amenity of neighbouring properties;</li> <li>• The building bulk does not adversely affect the planting and future growth of canopy trees to maturity;</li> <li>• Sufficient side and rear boundary landscaping can be provided to screen adjoining properties;</li> <li>• Upper storey components are well recessed from adjoining sensitive interfaces.</li> </ul>	<p><b>✓ Principle met</b></p> <p>Double storey dwelling to the rear proposed. The double storey built form at the rear is considered acceptable for the following reasons:</p> <ul style="list-style-type: none"> <li>• The visual impact of the building bulk would not adversely affect the identified future character, or impact on neighbouring secluded private open space areas for the reasons listed in the body of this report;</li> <li>• Subject to permit conditions, the proposal raises no concerns with regard to overlooking or overshadowing in the Clause 55 assessment;</li> <li>• The proposal would be able to accommodate canopy trees within the rear setback, and would not adversely affect the planting and future growth of canopy trees;</li> <li>• Sufficient side and rear setbacks have been provided;</li> <li>• The proposal will be able to accommodate side and rear boundary landscaping to screen adjoining properties;</li> <li>• The dwellings would have a proposed separation of 9.45 metres at the upper floor, and</li> <li>• The upper storey would setback varies and would have a minimum 6.865 metres from the rear (southern) boundary.</li> </ul>
<p>Residential development should be well articulated through the use of contrast, texture, variation in forms, materials and colours.</p>	<p><b>✓ Principle met</b></p> <p>The proposal has been articulated through the variation and contrast of materials. The upper floor is recessed from the ground floor.</p>	

**Note: Other requirements also apply. These can be found at the schedule to the applicable zone.**

*If the details of the attachment are unclear please contact Governance on 8571 5309.*

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**2.3.3 Town Planning Application - No. 56 Stephenson Street, Springvale (Planning Application No. PLN18/0567) (Cont.)**

**STATUTORY PLANNING APPLICATIONS**

**TOWN PLANNING APPLICATION – NO. 56 STEPHENSON STREET,  
SPRINGVALE (PLANNING APPLICATION NO. PLN18/0567)**

**ATTACHMENT 4**

**CLAUSE 55 ASSESSMENT**

**PAGES 39 (including cover)**

*If the details of the attachment are unclear please contact Governance on 8571 5309.*

**2.3.3 Town Planning Application - No. 56 Stephenson Street, Springvale (Planning Application No. PLN18/0567) (Cont.)**

**Assessment Table - Two or More Dwellings on a Lot and Residential Buildings (Clause 55)**

**Clause 55.02-1 Neighbourhood character objectives**

Title & Objective	Standard (Summarised)	Standard Met/Standard Not Met/NA
Standard B1	<p>The design response must be appropriate to the neighbourhood and the site.</p> <p>The proposed design response must respect the existing or preferred neighbourhood character and respond to the features of the site.</p>	<p><b>Standard met</b> Complies. See Clause 22.09 assessment. The design response is appropriate to the neighbourhood and the site, which seeks to respect the preferred future character of the land and minimise any amenity impact to adjoining interfaces.</p> <p><b>Standard met</b> Complies. See Clause 22.09 assessment. The proposed design response respects the preferred neighbourhood character of the incremental change area by providing medium density housing typology in the form of a double storey townhouses. The proposal would be able to incorporate adequate landscaping treatments across the site. This includes a significant canopy tree in each rear secluded private open space area, two canopy trees within the front setback and boundary landscaping within well-proportioned setback areas. The proposal is located within an area subject to incremental change with other multi-unit double storey developments, of a similar scale and massing located within the Stephenson Street.</p>
<b>Decision Guidelines</b>	<p>Any relevant neighbourhood character objective, policy or statement set out in this scheme. The neighbourhood and site description. The design response.</p>	
<b>Objectives</b>	<p>To ensure that the design respects the existing neighbourhood character or contributes to a preferred neighbourhood character. To ensure that development responds to the features of the site and the surrounding area.</p>	

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**2.3.3 Town Planning Application - No. 56 Stephenson Street, Springvale (Planning Application No. PLN18/0567) (Cont.)**

**Clause 55.02-2 Residential policy objectives**

Title & Objective	Standards	Standard Met/Standard Not Met/NA
<b>Standard B2</b>	An application must be accompanied by a written statement to the satisfaction of the responsible authority that describes how the development is consistent with any relevant policy for housing in the SPPF and the LPPF, including the MSS and local planning policies.	<p><b>Standard met</b> Complies. See Clause 22.09 Assessment.</p> <p>The application was accompanied by a written statement describing how the development is consistent with the relevant policies for housing to the satisfaction of Council.</p>
<b>Decision Guidelines</b>	The SPPF and the LPPF including the MSS and local planning policies. The design response.	
<b>Objectives</b>	To ensure that residential development is provided in accordance with any policy for housing in the SPPF and the LPPF, including the MSS and local planning policies. To support medium densities in areas where development can take advantage of public and community infrastructure and services.	

**2.3.3 Town Planning Application - No. 56 Stephenson Street, Springvale (Planning Application No. PLN18/0567) (Cont.)**

**Clause 55.02-3 Dwelling diversity objective**

Title & Objective	Standards	Standard Met/Standard Not Met/NA
<b>Standard B3</b>	Developments of ten or more dwellings should provide a range of dwelling sizes and types, including: <ul style="list-style-type: none"> <li>• Dwellings with a different number of bedrooms.</li> <li>• At least one dwelling that contains a kitchen, bath or shower, and a toilet and wash basin at ground floor level.</li> </ul>	<b>Standard met</b> Only two (2) dwellings proposed
<b>Objective</b>	To encourage a range of dwellings sizes and types in developments of ten or more dwellings.	

**Clause 55.02-4 Infrastructure objectives**

Title & Objective	Standards	Standard Met/Standard Not Met/NA
<b>Standard B4</b>	Development should be connected to reticulated services, including reticulated sewerage, drainage, electricity and gas, if available.  Development should not unreasonably exceed the capacity of utility services and infrastructure, including reticulated services and roads.	<b>Standard met</b> The site is in an established residential area and can be connected to services.  <b>Standard met</b> The site is in an established residential area and can be connected to services. If a permit is to be granted, standard permit conditions to be included on the permit in relation to stormwater discharge.
<b>Decision Guidelines</b>	The capacity of the existing infrastructure. In the absence of reticulated sewerage, the capacity of the development to treat and retain all wastewater in accordance with the SEPP (Waters of Victoria) under the EPA 1970. If the drainage system has little or no spare capacity, the capacity of the development to provide for stormwater drainage mitigation or upgrading of the local drainage system. To ensure development is provided with appropriate utility services and infrastructure.	<b>Standard met</b> The site is in an established residential area and can be connected to services. If a permit is to be granted, standard permit conditions to be included on the permit in relation to stormwater discharge.
<b>Objectives</b>	To ensure development does not unreasonably overload the capacity of utility services and infrastructure.	

ORDINARY COUNCIL MEETING - AGENDA

**2.3.3 Town Planning Application - No. 56 Stephenson Street, Springvale (Planning Application No. PLN18/0567) (Cont.)**

**Clause 55.02-5 Integration with the street objective**

Title & Objective	Standards	Standard Met/Standard Not Met/NA
<b>Standard B5</b>	<p>Developments should provide adequate vehicle and pedestrian links that maintain or enhance local accessibility.</p> <p>Developments should be oriented to front existing and proposed streets.</p> <p>High fencing in front of dwellings should be avoided if practicable.</p> <p>Development next to existing public open space should be laid out to complement the open space.</p> <p>Any relevant urban design objective, policy or statement set out in this scheme.</p> <p>The design response.</p> <p>To integrate the layout of development with the street.</p>	<p><b>Standard met</b></p> <p>The vehicle and pedestrian links provided are appropriate for the site. Dwelling 1 would have a direct pedestrian pathway connecting the porch to the street. Logical vehicular access is provided, both dwellings have access via one shared accessway.</p> <p><b>Standard met</b></p> <p>Dwelling 1 is oriented towards Stephenson Street. Dwelling 2 is oriented towards the shared accessway.</p> <p><b>Standard met</b></p> <p>A 0.9 metre high paling fence is proposed.</p> <p><b>Standard met</b></p> <p>The site is not located next to existing public open space.</p>
<b>Decision Guidelines</b>		
<b>Objective</b>		

ORDINARY COUNCIL MEETING - AGENDA

**2.3.3 Town Planning Application - No. 56 Stephenson Street, Springvale (Planning Application No. PLN18/0567) (Cont.)**

Clause 55.03-1 Street setback objective		Standard Met/Standard Not Met/NA																		
Title & Objective	Standards																			
Standard B6	<p>Walls of buildings should be set back from streets at least the distance specified in a schedule to the zone:</p> <p><b>RGZ:</b> 5 metres or as per Table B1, whichever is the lesser.</p> <p><b>GRZ:</b> 7.5 metres or as per Table B1, whichever is the lesser.</p> <p><b>NRZ:</b> As per Table B1.</p> <p>Table B1 Street setback</p> <table border="1"> <thead> <tr> <th>Development context</th> <th>Minimum setback from front street (metres)</th> <th>Minimum setback from a side street (metres)</th> </tr> </thead> <tbody> <tr> <td>There is an existing building on both the abutting allotments facing the same street, and the site is not on a corner.</td> <td>The average distance of the setbacks of the front walls of the existing buildings on the abutting allotments facing the front street or 9 metres, whichever is the lesser.</td> <td>Not applicable</td> </tr> <tr> <td>There is an existing building on one abutting allotment facing the same street and no existing building on the other abutting allotment facing the same street, and the site is not on a corner.</td> <td>The same distance as the setback of the front wall of the existing building on the abutting allotment facing the front street or 9 metres, whichever is the lesser.</td> <td>Not applicable</td> </tr> <tr> <td>There is no existing building on either of the abutting allotments facing the same street, and the site is not on a corner.</td> <td>6 metres for streets in a Road Zone, Category 1, and 4 metres for other streets.</td> <td>Not applicable</td> </tr> <tr> <td>The site is on a corner.</td> <td>If there is a building on the abutting allotment facing the front street, the same distance as the setback of the front wall of the existing building on the abutting allotment facing the front street or 9 metres, whichever is the lesser.</td> <td>Front walls of new development fronting the side street of a corner site should be setback at least the same distance as the setback of the front wall of any existing building on the abutting allotment facing the side street or 3 metres, whichever is the lesser.</td> </tr> <tr> <td></td> <td>If there is no building on the abutting allotment facing the front street, 6 metres for streets in a Road Zone, Category 1, and 4 metres for other streets.</td> <td>Side walls of new development on a corner site should be setback the same distance as the setback of the front wall of any existing building on the abutting allotment facing the side street or 2 metres, whichever is the lesser.</td> </tr> </tbody> </table>	Development context	Minimum setback from front street (metres)	Minimum setback from a side street (metres)	There is an existing building on both the abutting allotments facing the same street, and the site is not on a corner.	The average distance of the setbacks of the front walls of the existing buildings on the abutting allotments facing the front street or 9 metres, whichever is the lesser.	Not applicable	There is an existing building on one abutting allotment facing the same street and no existing building on the other abutting allotment facing the same street, and the site is not on a corner.	The same distance as the setback of the front wall of the existing building on the abutting allotment facing the front street or 9 metres, whichever is the lesser.	Not applicable	There is no existing building on either of the abutting allotments facing the same street, and the site is not on a corner.	6 metres for streets in a Road Zone, Category 1, and 4 metres for other streets.	Not applicable	The site is on a corner.	If there is a building on the abutting allotment facing the front street, the same distance as the setback of the front wall of the existing building on the abutting allotment facing the front street or 9 metres, whichever is the lesser.	Front walls of new development fronting the side street of a corner site should be setback at least the same distance as the setback of the front wall of any existing building on the abutting allotment facing the side street or 3 metres, whichever is the lesser.		If there is no building on the abutting allotment facing the front street, 6 metres for streets in a Road Zone, Category 1, and 4 metres for other streets.	Side walls of new development on a corner site should be setback the same distance as the setback of the front wall of any existing building on the abutting allotment facing the side street or 2 metres, whichever is the lesser.	<p><b>Standard met</b></p> <p>The proposal is required to be setback a minimum of 7.5 metres from the street.</p> <p>The porch height varies and has a maximum height of 3.4 metres, and is an allowable encroachment into the standard.</p> <p>The ground floor wall to dwelling 1 would be setback 7.6 metres from the street.</p> <p>The upper floor wall to dwelling 1 would be setback 8.11 metres from the street.</p> <p>Complies.</p>
	Development context	Minimum setback from front street (metres)	Minimum setback from a side street (metres)																	
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**2.3.3 Town Planning Application - No. 56 Stephenson Street, Springvale (Planning Application No. PLN18/0567) (Cont.)**

<p><b>Decision Guidelines</b></p>	<p>Any relevant neighbourhood character objective, policy or statement set out in this scheme. The design response. Whether a different setback would be more appropriate taking into account the prevailing setbacks of existing buildings on nearby lots. The visual impact of the building when viewed from the street and from adjoining properties. The value of retaining vegetation within the front setback.</p>	
<p><b>Objective</b></p>	<p>To ensure that the setbacks of buildings from a street respect the existing or preferred neighbourhood character and make efficient use of the site.</p>	
<p><b>Clause 55.03-2 Building height objective</b></p>		
<p><b>Title &amp; Objective</b></p>	<p><b>Standards</b></p>	<p><b>Standard Met/Standard Not Met/NA</b></p>
<p><b>Standard B7</b></p>	<p>The maximum building height should not exceed the maximum height specified in the zone, schedule to the zone or an overlay that applies to the land. <b>RGZ: 13.5 metres discretionary maximum (refer Clause 32.07-8 for details)</b> <b>GRZ: 11 metres / 3 storeys mandatory maximum (refer Clause 32.08-9)</b> <b>NRZ: 9 metres / 2 storeys mandatory maximum (refer Clause 32.09-9)</b> If no maximum height is specified in the zone, schedule to the zone or an overlay, the maximum building height should not exceed 9 metres, unless the slope of the natural ground level at any cross section wider than 8 metres of the site of the building is 2.5 degrees or more, in which case the maximum building height should not exceed 10 metres. Changes of building height between existing buildings and new buildings should be graduated.</p>	<p><b>Standard met</b> The proposal would have a maximum height of 7.684 metres and 2 storeys, and would comply with the 11 metre / 3 storey maximum.  N/A  <b>Standard met</b> Surrounding dwellings are comprised of single storeys. Proposed is double.</p>
<p><b>Decision Guidelines</b></p>	<p>Any relevant neighbourhood character objective, policy or statement set out in this scheme. Any maximum building height specified in the zone, a schedule to the zone or an overlay applying to the land. The design response. The effect of the slope of the site on the height of the building. The relationship between the proposed building height and the height of existing adjacent buildings. The visual impact of the building when viewed from the street and from adjoining properties. To ensure that the height of buildings respects the existing or preferred neighbourhood character</p>	
<p><b>Objective</b></p>		

**2.3.3 Town Planning Application - No. 56 Stephenson Street, Springvale (Planning Application No. PLN18/0567) (Cont.)**

**Clause 55.03-3 Site coverage objective**

Title & Objective	Standards	Standard Met/Standard Not Met/NA
<p><b>Standard B8</b></p>	<p>The site area covered by buildings should not exceed:</p> <ul style="list-style-type: none"> <li>The maximum site coverage specified in a schedule to the zone, or</li> <li>If no maximum site coverage is specified in a schedule to the zone, 60 per cent.</li> </ul> <p><b>RGZ1: 70%</b>  <b>RGZ2: 70%</b>  <b>RGZ3: 70%</b>  <b>GRZ1: 60% (none specified)</b>  <b>GRZ2: 60% (none specified)</b>  <b>NRZ1: 50%</b></p>	<p><b>Standard met</b></p> <p>The proposal would have a site coverage of 228.2 square metres (35% of the site), and would comply with the 60% maximum.</p>
<p><b>Decision Guidelines</b></p>	<p>Any relevant neighbourhood character objective, policy or statement set out in this scheme.</p> <p>The design response.</p> <p>The existing site coverage and any constraints imposed by existing development or the features of the site.</p> <p>The site coverage of adjacent properties</p> <p>The effect of the visual bulk of the building and whether this is acceptable in the neighbourhood.</p>	
<p><b>Objective</b></p>	<p>To ensure that the site coverage respects the existing or preferred neighbourhood character and responds to the features of the site.</p>	

**2.3.3 Town Planning Application - No. 56 Stephenson Street, Springvale (Planning Application No. PLN18/0567) (Cont.)**

**Clause 55.03-4 Permeability objectives**

Title & Objective	Standards	Standard Met/Standard Not Met/NA
<p><b>Standard B9</b></p>	<p>The site area covered by the pervious surfaces should be at least:</p> <ul style="list-style-type: none"> <li>The minimum areas specified in a schedule to the zone, or</li> <li>If no minimum is specified in a schedule to the zone, 20 per cent of the site.</li> </ul> <p><u>RGZ1</u>: 20%  <u>RGZ2</u>: 20% (<i>none specified</i>)  <u>RGZ3</u>: 20% (<i>none specified</i>)  <u>GRZ1</u>: 30%  <u>GRZ2</u>: 20% (<i>none specified</i>)  <u>NRZ1</u>: 40%</p>	<p><b>Standard Met</b></p> <p>✓ <b>Standard met</b>                      The proposal has a permeable area of 258.4 sqm (39.63%) which complies with the GRZ1 minimum of 30%.</p>
<p><b>Decision Guidelines</b></p>	<p>The design response.</p> <p>The existing site coverage and any constraints imposed by existing development.</p> <p>The capacity of the drainage network to accommodate additional stormwater.</p> <p>The capacity of the site to absorb run-off.</p> <p>The practicality of achieving the minimum site coverage of pervious surfaces, particularly on lots of less than 300 square metres.</p>	
<p><b>Objectives</b></p>	<p>To reduce the impact of increased stormwater run-off on the drainage system.</p> <p>To facilitate on-site stormwater infiltration.</p>	

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**2.3.3 Town Planning Application - No. 56 Stephenson Street, Springvale (Planning Application No. PLN18/0567) (Cont.)**

<b>Clause 55.03-5 Energy efficiency objectives</b>	
<b>Title &amp; Objective</b>	<b>Standard Met/Standard Not Met/NA</b>
<p><b>Standard B10</b></p> <p>Buildings should be:</p> <ul style="list-style-type: none"> <li>• Oriented to make appropriate use of solar energy.</li> <li>• Sited and designed to ensure that the energy efficiency of existing dwellings on adjoining lots is not unreasonably reduced.</li> <li>• Sited and designed to ensure that the performance of existing rooftop solar energy facilities on dwellings on adjoining lots in a General Residential Zone, Neighbourhood Residential Zone or Township Zone are not unreasonably reduced. The existing rooftop solar energy facility must exist at the date the application is lodged.</li> </ul>	<p><b>Standard met</b></p> <p>The living areas are located on the north side of the dwellings.</p> <p>Both dwellings would have a number of ground and upper floor north facing windows.</p> <p>Due to the orientation of the allotment the secluded private open space areas of the dwellings are located on the south side of the dwellings.</p> <p>Generally, dwellings have been oriented to make appropriate use of solar energy. The dwellings have been sited and designed to not unreasonably reduce the energy efficiency of adjoining dwellings.</p> <p>Neighbouring dwellings do not feature rooftop solar panels, the energy efficiency of existing dwellings on adjoining lots is not unreasonably reduced.</p>
<p>Living areas and private open space should be located on the north side of the development, if practicable.</p>	<p><b>Standard met</b></p> <p>The orientation of the allotment is a barrier to achieving the secluded private open space on the side or rear of the dwelling, as well as connected to a main living room and located on the north side of the dwelling.</p> <p>The living areas are located on the north side of the dwellings.</p> <p>The secluded private open space is located on the south side of the dwellings. This has been appropriately setback, and the secluded private open space would comply with the objective of Clause 55.05-5 Solar access to open space.</p>
<p>Developments should be designed so that solar access to north-facing windows is maximised.</p>	<p><b>Standard met</b></p> <p>Both dwellings would have a number of ground and upper floor north facing windows.</p>
<p>The design response.</p> <p>The size, orientation and slope of the lot.</p> <p>The existing amount of solar access to abutting properties.</p> <p>The availability of solar access to north-facing windows on the site.</p> <p>To achieve and protect energy efficient dwellings and residential buildings.</p>	
<p><b>Decision Guidelines</b></p>	
<p><b>Objectives</b></p>	

**2.3.3 Town Planning Application - No. 56 Stephenson Street, Springvale (Planning Application No. PLN18/0567) (Cont.)**

	To ensure the orientation and layout of development reduce fossil fuel energy use and make appropriate use of daylight and solar energy.	
<b>Clause 55.03-6 Open space objective</b>		
<b>Title &amp; Objective</b>	<b>Standards</b>	<b>Standard Met/Standard Not Met/NA</b>
<b>Standard B11</b>	<p>If any public or communal open space is provided on site, it should:</p> <ul style="list-style-type: none"> <li>• Be substantially fronted by dwellings, where appropriate.</li> <li>• Provide outlook for as many dwellings as practicable.</li> <li>• Be designed to protect any natural features on the site.</li> <li>• Be accessible and useable.</li> </ul>	<p><b>Not Applicable</b> No communal open space proposed</p>
<b>Decision Guidelines</b>	<p>Any relevant plan or policy for open space in the SPPF and the LPPF, including the MSS and local planning policies. The design response.</p>	
<b>Objective</b>	To integrate the layout of development with any public and communal open space provided in or adjacent to the development.	

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**2.3.3 Town Planning Application - No. 56 Stephenson Street, Springvale (Planning Application No. PLN18/0567) (Cont.)**

**Clause 55.03-7 Safety objective**

Standards		Standard Met/Standard Not Met/NA
<b>Title &amp; Objective</b> Standard B12	Entrances to dwellings and residential buildings should not be obscured or isolated from the street and internal accessways.  Planting which creates unsafe spaces along streets and accessways should be avoided.  Developments should be designed to provide good lighting, visibility and surveillance of car parks and internal accessways.  Private spaces within developments should be protected from inappropriate use as public thoroughfares.	<p><b>Standard met</b> Entries are not obscured or isolated, and are delineated by porches. The entry to dwelling 1 is oriented towards Stephenson Street, and the entry to dwelling 2 is oriented towards the internal accessway.</p> <p><b>Standard met</b> A landscape plan has not been submitted as part of the proposal. Indicative landscaping highlights that planting would not reduce visibility, and unsafe planting has been avoided.</p> <p><b>Standard met</b> Natural surveillance of the car parking areas and internal accessway possible, through a number of ground and upper floor habitable room windows. Motion sensor lighting has been provided to the garages, and lighting has been provided along the internal accessway.</p> <p><b>Standard met</b> Private spaces are fenced or delineated by fencing, built form or landscaping.</p>
<b>Decision Guidelines</b>	The design response.	
<b>Objectives</b>	To ensure the layout of development provides for the safety and security of residents and property.	

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**2.3.3 Town Planning Application - No. 56 Stephenson Street, Springvale (Planning Application No. PLN18/0567) (Cont.)**

**Clause 55.03-6 Landscaping objectives**

Title & Objective	Standards	Standard Met/Standard Not Met/NA
<p><b>Standard B13</b></p>	<p>The landscape layout and design should:</p> <ul style="list-style-type: none"> <li>• Protect any predominant landscape features of the neighbourhood.</li> <li>• Take into account the soil type and drainage patterns of the site.</li> <li>• Allow for intended vegetation growth and structural protection of buildings.</li> <li>• In locations of habitat importance, maintain existing habitat and provide for new habitat for plants and animals.</li> <li>• Provide a safe, attractive and functional environment for residents.</li> </ul> <p>Development should provide for the retention or planting of trees, where these are part of the character of the neighbourhood.</p> <p>Development should provide for the replacement of any significant trees that have been removed in the 12 months prior to the application being made</p> <p>The landscape design should specify landscape themes, vegetation (location and species), paving and lighting.</p>	<p><b>* Standard not met</b> Condition required. A landscape plan has not been provided as part of the application. If a permit were to be granted, permit condition 2 would request this as part of the landscape plan.</p> <p><b>✓ Standard met</b> Vegetation is proposed to be removed and would not form a part of the character of the neighbourhood. An Arboricultural Report was submitted as part of the application, and no significant trees were found within the subject site. No permit is required to remove any of the trees.</p> <p><b>✓ Standard met</b> No known significant trees to have been removed in the last 12 months.</p> <p><b>* Standard not met</b> Condition required. A landscape plan has not been submitted as part of this application. Permit condition 2 would request a landscape plan.</p>



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**2.3.3 Town Planning Application - No. 56 Stephenson Street, Springvale (Planning Application No. PLN18/0567) (Cont.)**

	To encourage the retention of mature vegetation on the site.	<p>address which species will be planted. An assessment is unable to be completed if the design meets the predominant type of the neighbourhood. However, this will be conditioned if a permit is granted;</p> <ul style="list-style-type: none"> <li>• Indicative landscaping highlights the design response is appropriate;</li> <li>• No permit is required to remove any of the trees onsite; if a permit were to be granted, a permit condition 2.6 and 2.7 would be included requesting two canopy trees within the front setback to ensure high quality landscaping and canopy trees which would protect the amenity of the adjoining dwellings; and</li> <li>• The proposal would be capable of providing a landscape character consistent with the Neighbourhood Character Objectives of Schedule 1 to Clause 32.08 General Residential Zone.</li> </ul>
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**Clause 55.03-9 Access objective**

Title & Objective	Standards	Standard Met/Standard Not Met/NA
<b>Standard B14</b>	<p>The width of accessways or car spaces should not exceed:</p> <ul style="list-style-type: none"> <li>• 33 per cent of the street frontage, or</li> <li>• if the width of the street frontage is less than 20 metres, 40 per cent of the street frontage.</li> </ul> <p>No more than one single-width crossover should be provided for each dwelling fronting a street.</p> <p>The location of crossovers should maximise retention of on-street car parking spaces.</p> <p>The number of access points to a road in a Road Zone should be minimised.</p> <p>Developments must provide for access for service, emergency and delivery vehicles.</p>	<p><b>Standard Met/Standard Not Met/NA</b></p> <p>✓ <b>Standard met</b> The street frontage is 16.46 metres. The accessway should not exceed 6.584 metres (40%) of the street frontage. The proposed is 3.1 metres wide.</p> <p>✓ <b>Standard met</b> One dwelling fronting the street, and one single-width crossover proposed.</p> <p>✓ <b>Standard met</b> One single-width crossover fronting the street where one previously existed. No change to on street car parking opportunities.</p> <p>✓ <b>Standard met</b> Stephenson Street is not a road in a Road Zone.</p> <p>✓ <b>Standard met</b> The 3.1 metre accessway would be accessible for emergency and delivery vehicles</p>
<b>Decision Guidelines</b>	<p>The design response. The impact on neighbourhood character.</p>	

**2.3.3 Town Planning Application - No. 56 Stephenson Street, Springvale (Planning Application No. PLN18/0567) (Cont.)**

	<p>The reduction of on-street car parking spaces.</p>
<b>Objectives</b>	<p>The effect on any significant vegetation on the site and footpath.                  To ensure the number and design of vehicle crossovers respects the neighbourhood character.</p>

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**2.3.3 Town Planning Application - No. 56 Stephenson Street, Springvale (Planning Application No. PLN18/0567) (Cont.)**

Clause 55.03-10 Parking location objectives		Standard Met/Standard Not Met/NA
<b>Title &amp; Objective</b>	<p><b>Standard B15</b></p> <p>Car parking facilities should:</p> <ul style="list-style-type: none"> <li>• Be reasonably close and convenient to dwellings and residential buildings.</li> <li>• Be secure.</li> <li>• Be well ventilated if enclosed.</li> </ul> <p>Shared accessways or car parks of other dwellings and residential buildings should be located at least 1.5 metres from the windows of habitable rooms. This setback may be reduced to 1 metre where there is a fence at least 1.5 metres high or where window sills are at least 1.4 metres above the accessway.</p>	<p><b>Standard met</b></p> <p>Car parking is provided in double garages. Proposed garages are well connected and integrated into the design of the dwelling, and will allow safe and efficient movement on and off the site.</p> <p><b>* Standard not met</b></p> <p>Condition required.</p> <p>Dwellings 1 would have a number of east facing windows oriented towards the internal accessway. Dwelling 2 would have a number of both north and east facing habitable room windows oriented towards the shared accessway.</p> <p><u>Dwelling 1</u></p> <p><b>Dining windows</b></p> <p>Setback from accessway: 1.4 metres</p> <p>Sill height: Sill height varies, with a minimum sill height of 1.04 metres</p> <p>Condition required.</p> <p><b>Kitchen window</b></p> <p>Setback from accessway: 0 metres</p> <p>Sill height: 1.05 metres</p> <p>Condition required.</p> <p><u>Dwelling 2</u></p> <p><b>Living and Dining Windows</b></p> <p>Setback from accessway: 1.41 metres</p> <p>Sill height: 0.368 metres</p> <p><b>Kitchen window</b></p> <p>Setback from accessway: The setback varies, with a minimum setback of 0.826 metres</p> <p>Sill height: Sill height varies, with a minimum sill height of 0.47 metres.</p> <p>See assessment below:</p>
<b>Decision Guidelines</b>	The design response.	

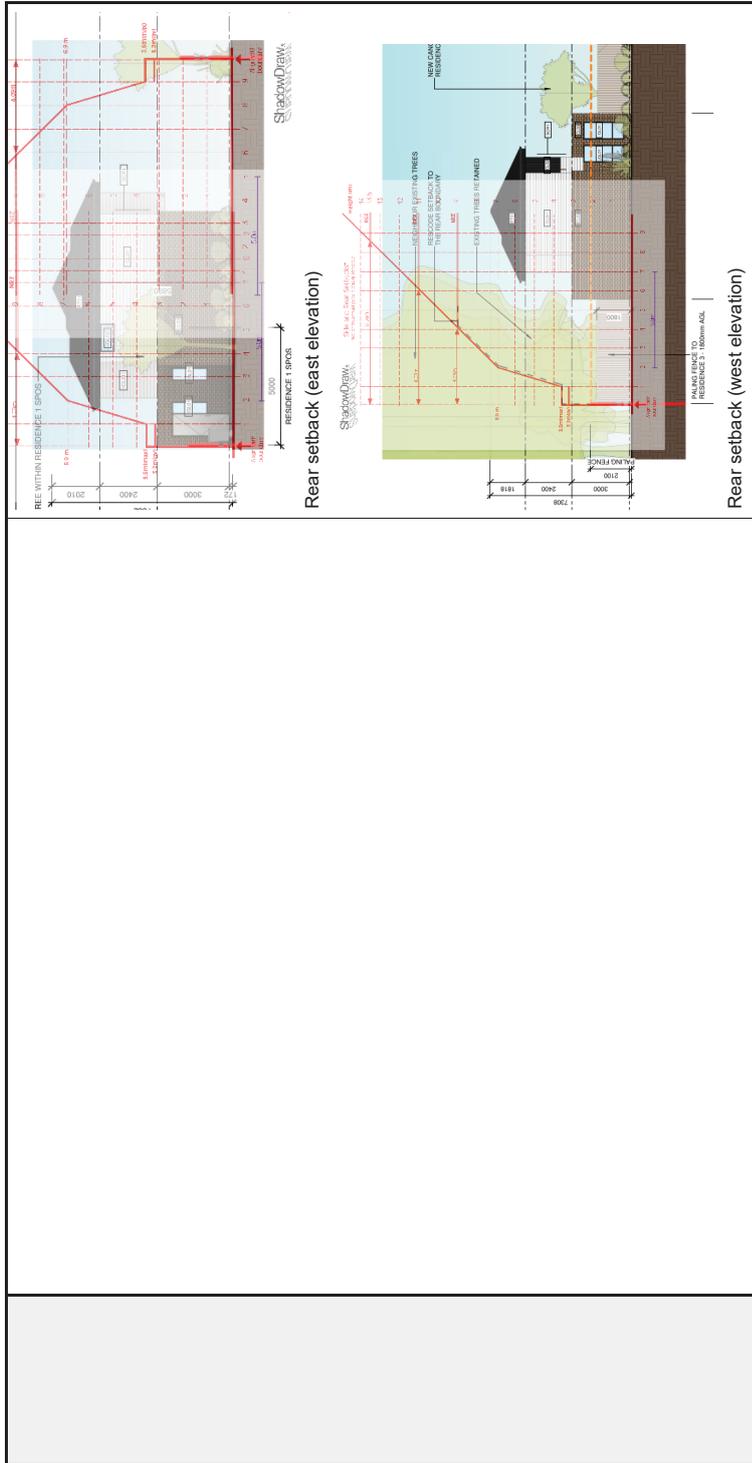
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**2.3.3 Town Planning Application - No. 56 Stephenson Street, Springvale (Planning Application No. PLN18/0567) (Cont.)**

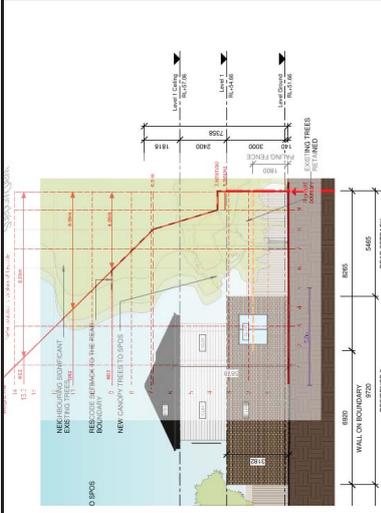
<p><b>Objectives</b></p>	<p>To provide convenient parking for residents and visitors vehicles. To protect residents from vehicular noise within developments.</p>	<p>Subject to the recommended permit conditions listed, when considering the Decision Guidelines above, the objective has been met for the following reasons:</p> <ul style="list-style-type: none"> <li>Permit condition 1.1 would request double glazing of the east facing habitable room windows for dwelling 1. These windows are in a location where the accessway would be used by both dwellings. It is considered that the double glazing would protect future residents of dwelling 1 from vehicular noise generated within the development; and</li> <li>The windows to dwelling 2 would not comply with the standard, however a variation is considered appropriate for both the north and east facing habitable room windows of dwelling 2, as these windows are in a location where vehicular noise is likely to only be generated by future occupants of dwelling 2.</li> </ul>
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**2.3.3 Town Planning Application - No. 56 Stephenson Street, Springvale (Planning Application No. PLN18/0567) (Cont.)**



**2.3.3 Town Planning Application - No. 56 Stephenson Street, Springvale (Planning Application No. PLN18/0567) (Cont.)**

	<p>Sunblinds, verandahs, porches, eaves, fascias, gutters, masonry chimneys, flues, pipes, domestic fuel or water tanks, and heating or cooling equipment or other services may encroach not more than 0.5 metres into the setbacks of this standard.</p> <p>Landings having an area of not more than 2 square metres and less than 1 metre high, stairways, ramps, pergolas, shade sails and carports may encroach into the setbacks of this standard.</p> <p>Any relevant neighbourhood character objective, policy or statement set out in this scheme.</p> <p>The design response.</p> <p>The impact on the amenity of the habitable room windows and secluded private open space of existing dwellings.</p> <p>Whether the wall is opposite an existing or simultaneously constructed wall built to the boundary.</p> <p>Whether the wall abuts a side or rear lane.</p> <p>To ensure that the height and setback of a building from a boundary respects the existing or preferred neighbourhood character and limits the impact on the amenity of existing dwellings.</p>	 <p> <b>Standard met</b>                  No encroachments into the standard.             </p> <p> <b>Standard met</b>                  No encroachments into the standard.             </p>
<p><b>Decision Guidelines</b></p>		
<p><b>Objectives</b></p>		

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**2.3.3 Town Planning Application - No. 56 Stephenson Street, Springvale (Planning Application No. PLN18/0567) (Cont.)**

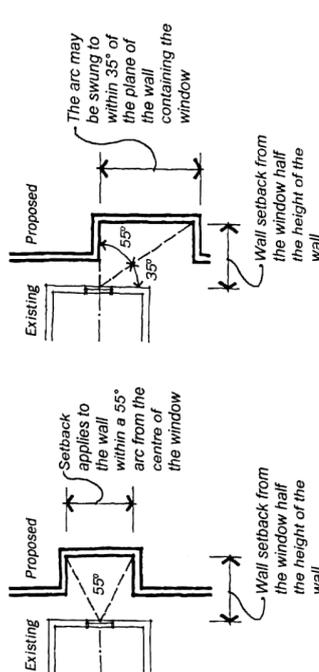
**Clause 55.04-2 Walls on boundaries objective**

Title & Objective	Standards	Standard Met/Standard Not Met/NA
<p><b>Standard B18</b></p> <p>A new wall constructed on or within 200mm of a side or rear boundary of a lot or a carport constructed on or within 1 metre of a side or rear boundary of lot should not abut the boundary:</p> <ul style="list-style-type: none"> <li>• For a length of more than the distance specified in the schedule to the zone; or</li> <li>• If no distance is specified in a schedule to the zone, for a length of more than:                             <ul style="list-style-type: none"> <li>- 10 metres plus 25 per cent of the remaining length of the boundary of an adjoining lot, or</li> <li>- Where there are existing or simultaneously constructed walls or carports abutting the boundary on an abutting lot, the length of the existing or simultaneously constructed walls or carports, whichever is the greater.</li> </ul> </li> </ul> <p>A new wall or carport may fully abut a side or rear boundary where slope and retaining walls or fences would result in the effective height of the wall or carport being less than 2 metres on the abutting property.</p> <p>A building on a boundary includes a building set back up to 200mm from a boundary.</p> <p>The height of a new wall constructed on or within 200 mm of a side or rear boundary or a carport constructed on or within 1 metre of a side or rear boundary should not exceed an average of 3.2 metres with no part higher than 3.6 metres unless abutting a higher existing or simultaneously constructed wall.</p>	<p>✓ <b>Standard met</b></p> <p>Applicable to the west boundary. Two walls on boundary proposed.</p> <p>The length of the boundary wall should not exceed – 17.405 metres</p> <p>Dwelling 1 – proposed length of 7.19 metres</p> <p>Dwelling 2 – proposed length of 6.92 metres</p> <p>Total – 14.11 metres</p> <p>Complies.</p> <p>✓ <b>Standard met</b></p> <p>✓ <b>Standard met</b></p> <p>✓ <b>Standard met</b></p> <p><u>Dwelling 1</u></p> <p>The wall height varies, and would have an average of 3.19 metres</p> <p><u>Dwelling 2</u></p> <p>The wall height varies, and would have an average of 3.17 metres.</p> <p>The average wall heights do not exceed 3.2 metres, and no part of the wall is 3.6 metres high.</p>	
<p><b>Decision Guidelines</b></p>	<p>Any relevant neighbourhood character objective, policy or statement set out in this scheme.</p> <p>The design response.</p> <p>The extent to which walls on boundaries are part of the neighbourhood character.</p> <p>The impact on the amenity of existing dwellings.</p> <p>The opportunity to minimise the length of walls on boundaries by aligning a new wall on a boundary with an existing wall on a lot of an adjoining property.</p> <p>The orientation of the boundary that the wall is being built on.</p> <p>The width of the lot.</p>	

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	The extent to which the slope and retaining walls or fences reduce the effective height of the wall.
	Whether the wall abuts a side or rear lane.
	The need to increase the wall height to screen a box gutter.
<b>Objectives</b>	To ensure that the location, length and height of a wall on a boundary respects the existing or preferred neighbourhood character and limits the impact on the amenity of existing dwellings.

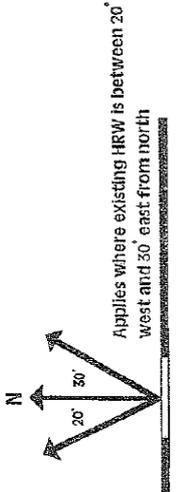
**Clause 55.04-3 Daylight to existing windows objective**

Title & Objective	Standards	Standard Met/Standard Not Met/NA
<b>Standard B19</b>	<p>Buildings opposite an existing habitable room window should provide for a light court to the existing window that has a minimum area of 3 square metres and minimum dimension of 1 metre clear to the sky. The calculation of the area may include land on the abutting lot.</p> <p>Walls or carports more than 3 metres in height opposite an existing habitable room window should be set back from the window at least 50 per cent of the height of the new wall if the wall is within a 55 degree arc from the centre of the existing window. The arc may be swung to within 35 degrees of the plane of the wall containing the existing window.</p>	<p><b>Standard met</b> All shown existing habitable room windows have a light court to the existing window that has a minimum area of 3 square metres and minimum dimension of 1m clear to the sky.</p> <p><b>Standard met</b> Proposed walls are well setback from neighbouring windows, exceeding the minimum 50% requirement.</p>
<b>Decision Guidelines</b>	<p><b>Diagram B2 Daylight to existing windows</b></p>  <p>Where the existing window is above ground floor level, the wall height is measured from the floor level of the room containing the window.</p> <p>The design response.</p> <p>The extent to which the existing dwelling has provided for reasonable daylight access to its habitable rooms through the siting and orientation of its habitable room windows.</p>	

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	<p>The impact on the amenity of existing dwellings. To allow adequate daylight into existing habitable room windows.</p>	
<p><b>Objective</b></p>		
<p><b>Clause 55.04-4 North-facing windows objective</b></p>		
<p><b>Title &amp; Objective</b></p>	<p><b>Standards</b></p>	<p><b>Standard Met/Standard Not Met/NA</b></p>
<p><b>Standard B20</b></p>	<p>If a north-facing habitable room window of an existing dwelling is within 3 metres of a boundary on an abutting lot, a building should be setback from the boundary 1 metre, plus 0.6 metres for every metre of height over 3.6 metres up to 6.9 metres, plus 1 metre for every metre of height over 6.9 metres, for a distance of 3 metres from the edge of each side of the window.</p>	<p>✓ <b>Standard met</b> No north facing habitable room windows within 3 metres of the boundary on an abutting allotment.</p>
	<p><b>Diagram B3 North-facing windows</b></p>	
	<p>A north facing window is a window with an axis perpendicular to its surface orientated north 20 degrees west to north 30 degrees east.</p>	

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	 <p>Applies where existing HRW is between 20° west and 30° east from north</p>	
<b>Decision Guidelines</b>	<p>The design response.</p> <p>Existing sunlight to the north-facing habitable room window of the existing dwelling.</p> <p>The impact on the amenity of existing dwellings.</p>	
<b>Objective</b>	<p>To allow adequate solar access to existing north-facing habitable room windows.</p>	

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**Clause 55.04-5 Overshadowing open space objective**

Title & Objective	Standard Met/Standard Not Met/NA
<p><b>Standards</b></p> <p>Where sunlight to the secluded private open space of an existing dwelling is reduced, at least 75 per cent, or 40 square metres with a minimum dimension of 3 metres, whichever is the lesser area, of the secluded private open space should receive a minimum of five hours of sunlight between 9am and 3pm on 22 Sept.</p>	<p><b>Standard met</b></p> <p>The proposal would have additional overshadowing impacts at 9am and 10am to the adjoining dwelling to the west (No. 58 Stephenson Street) has a large secluded private open space area of 120 square metres.</p> <p>At 9am, the proposal would have an additional overshadowing (cast outside of the boundary fence line) of 60 square metres. The sunlight to the secluded private open space area is reduced by 50%.</p>  <p>At 10am, the additional overshadowing impacts are reduced to 26.8 square metres, and the sunlight to the secluded private open space would be reduced by 22.33%.</p>

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		<p>By 11am, there are no additional overshadowing impacts.</p> <p>The shadow diagrams demonstrate that the development would not unreasonably overshadow the neighbouring property private open space and satisfies the requirement of this standard and objective.</p>
<p><b>Decision Guidelines</b></p>	<p>If existing sunlight to the secluded private open space of an existing dwelling is less than the requirements of this standard, the amount of sunlight should not be further reduced.</p>	<p>✓ <b>Standard met</b></p> <p>Existing dwellings have large secluded private open space areas, exceeding the requirements of this standard.</p>
<p><b>Objective</b></p>	<p>The design response.</p> <p>The impact on the amenity of existing dwellings.</p> <p>Existing sunlight penetration to the secluded private open space of the existing dwelling.</p> <p>The time of day that sunlight will be available to the secluded private open space of the existing dwelling.</p> <p>The effect of a reduction in sunlight on the existing use of the existing secluded private open space.</p> <p>To ensure buildings do not significantly overshadow existing secluded private open space.</p>	

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**Clause 55.04-6 Overlooking objective**

Title & Objective	Standards	Standard Met/Standard Not Met/NA
<p><b>Standard B22</b></p>	<p>A habitable room window, balcony, terrace, deck or patio should be located and designed to avoid direct views into the secluded private open space of an existing dwelling within a horizontal distance of 9 metres (measured at ground level) of the window, balcony, terrace, deck or patio. Views should be measured within a 45 degree angle from the plane of the window or perimeter of the balcony, terrace, deck or patio, and from a height of 1.7 metres above floor level.</p> <p><b>Diagram B4 Overlooking open space</b></p>	<p><b>Standard met</b></p> <p>On the east, south and west elevations, the upper floor habitable room windows have been screened to prevent overlooking into the secluded private open space of an existing dwelling in the following ways:</p> <ul style="list-style-type: none"> <li>• Have sill heights of at least 1.7 metres above floor level; and</li> <li>• Have permanently fixed external screens to at least 1.7 metres above floor level and be no more than 25 per cent transparent.</li> </ul> <p>Standard B22 applies to the ground floor south elevation. The proposal would have a number of habitable room windows oriented towards the adjoining secluded private open space. The 1.6 metre high boundary fence would act as a visual barrier to stop overlooking and screening of the ground floor habitable room windows is not required.</p>
<p>A habitable room window, balcony, terrace, deck or patio with a direct view into a habitable room window of existing dwelling within a horizontal distance of 9 metres (measured at ground level) of the window, balcony, terrace, deck or patio should be either:</p> <ul style="list-style-type: none"> <li>• Offset a minimum of 1.5 metres from the edge of one window to the edge of the other.</li> <li>• Have sill heights of at least 1.7 metres above floor level.</li> </ul>	<p><b>* Standard not met</b></p> <p>Condition required.</p> <p>For dwelling 1, there are two upper floor east facing windows which have not been screened. This room has to the capacity to be used as a habitable room and</p>	<p><b>* Standard not met</b></p> <p>Condition required.</p> <p>For dwelling 1, there are two upper floor east facing windows which have not been screened. This room has to the capacity to be used as a habitable room and</p>

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	<ul style="list-style-type: none"> <li>• Have fixed, obscure glazing in any part of the window below 1.7 metre above floor level.</li> <li>• Have permanently fixed external screens to at least 1.7 metres above floor level and be no more than 25 per cent transparent.</li> </ul>	<p>should be screened in accordance with this standard.</p> <p>Permit condition 1.2 would be included on the permit so that these windows would have fixed, obscure glazing in any part of the window below 1.7 metre above floor level.</p> <p>All other habitable room windows have been screened in the following ways:</p> <ul style="list-style-type: none"> <li>• Have sill heights of at least 1.7 metres above floor level; and</li> <li>• Have external screens.</li> </ul> <p>As the dimension of the screens has not been included on the relevant elevations, it is recommended that permit condition 1.3 be included on the permit, so that a notation is put onto the elevations for the screens to 'have permanently fixed external screens to at least 1.7 metres above floor level and be no more than 25 per cent transparent'.</p>
	<p>Obscure glazing in any part of the window below 1.7 metres above floor level may be operable provided that there are no direct views as specified in this standard.</p> <p>Screens used to obscure a view should be:</p> <ul style="list-style-type: none"> <li>• Perforated panels or trellis with a maximum of 25 per cent openings or solid translucent panels.</li> <li>• Permanent, fixed and durable.</li> <li>• Designed and coloured to blend in with the development.</li> </ul> <p>The standard does not apply to a new habitable room window, balcony, terrace, deck or patio which faces a property boundary where there is a visual barrier at least 1.8 metres high and the floor level of the habitable room, balcony, terrace, deck or patio is less than 0.8 metres above ground level at the boundary.</p>	<p>✓ <b>Standard met (with permit condition)</b></p> <p>✓ <b>Standard met (with permit condition)</b></p> <p>Screens are proposed. Permit condition 1.3 would be included on the permit so that the a notation is put onto all relevant elevations for the screens to be dimensioned to 'have permanently fixed external screens to at least 1.7 metres above floor level and be no more than 25 per cent transparent'.</p> <p>✓ <b>Standard met</b></p> <p>On the ground floor, the east and west boundaries are exempt from Standard B22 as they have boundary fence at least 1.8 metres high, and finish floor level is less than 0.8 metres above ground level at the boundary.</p> <p>Standard B22 applies to the south boundary.</p>
<p><b>Decision Guidelines</b></p>	<p>The design response.</p> <p>The impact on the amenity of the secluded private open space or habitable room window.</p> <p>The existing extent of overlooking into the secluded private open space and habitable room window of existing dwellings.</p> <p>The internal daylight to and amenity of the proposed dwelling or residential building.</p>	
<p><b>Objective</b></p>	<p>To limit views into existing secluded private open space and habitable room windows.</p>	<p>Subject to the recommended permit conditions listed, the proposal would comply with the objective as it would limit views into the existing secluded private open space and</p>

**2.3.3 Town Planning Application - No. 56 Stephenson Street, Springvale (Planning Application No. PLN18/0567) (Cont.)**

	habitable room windows.
<b>Clause 55.04-7 Internal views objective</b>	
<b>Title &amp; Objective</b>	<b>Standard Met/Standard Not Met/NA</b>
<b>Standard B23</b>	<p><b>Standards</b> Windows and balconies should be designed to prevent overlooking of more than 50 per cent of the secluded private open space of a lower-level dwelling or residential building directly below and within the same development.</p> <p><b>Standard met (with permit condition)</b> The upper floor north facing habitable room windows for dwelling 2 are oriented towards the secluded private open space of dwelling 1. These habitable room windows have been screened in accordance with Standard B22, and no internal overlooking opportunities are possible. External screens are proposed for these windows. Permit condition 1.3 would be included on the permit so that the notation is put onto all relevant elevations for the screens to be dimensioned to 'have permanently fixed external screens to at least 1.7 metres above floor level and be no more than 25 per cent transparent'.</p>
<b>Decision Guidelines</b>	The design response.
<b>Objective</b>	To limit views into the secluded private open space and habitable room windows of dwellings and residential buildings within a development.
	Subject to the recommended permit condition listed above, the proposal would comply with the objective as it would limit views into the secluded private open space and habitable room windows of dwelling 1 within the development.

	<p><b>Standard Met/Standard Not Met/NA</b></p> <p><b>Standard met</b> No noise sources apparent.</p> <p><b>Standard met</b> No noise sources immediately adjacent dwellings.</p> <p><b>Standard met</b> No noise sources apparent.</p>
<b>Clause 55.04-8 Noise impacts objectives</b>	
<b>Title &amp; Objective</b>	<b>Standard Met/Standard Not Met/NA</b>
<b>Standard B24</b>	<p><b>Standards</b> Noise sources, such as mechanical plant, should not be located near bedrooms of immediately adjacent existing dwellings. Noise sensitive rooms and secluded private open spaces of new dwellings and residential buildings should take into account of noise sources on immediately adjacent properties. Dwellings and residential buildings close to busy roads, railway lines or industry should be designed to limit noise levels in habitable rooms.</p>
<b>Decision Guidelines</b>	The design response.
<b>Objectives</b>	To contain noise sources within development that may affect existing dwellings. To protect residents from external noise.

**2.3.3 Town Planning Application - No. 56 Stephenson Street, Springvale (Planning Application No. PLN18/0567) (Cont.)**

**Clause 55.05-1 Accessibility objective**

Standards		Standard Met/Standard Not Met/NA
<b>Title &amp; Objective</b>	The dwelling entries of the ground floor of dwellings and residential buildings should be accessible or able to be easily made accessible to people with limited mobility.	<b>Standard met</b> The dwelling entries include a small step, easily accessible for people with limited mobility. Amenities are provided at ground level.
<b>Objective</b>	To encourage the consideration of the needs of people with limited mobility in the design of developments.	

**Clause 55.05-2 Dwelling entry objective**

Standards		Standard Met/Standard Not Met/NA
<b>Title &amp; Objective</b>	Entries to dwellings and residential buildings should:	<b>Standard met</b> Dwelling entries are visible and easily identifiable. Both entries have a porch which provides shelter and a sense of personal address.
<b>Standard B26</b>	<ul style="list-style-type: none"> <li>Be visible and easily identifiable from streets and other public areas.</li> <li>Provide shelter, a sense of personal address and a transitional space around the entry.</li> </ul>	
<b>Objective</b>	To provide each dwelling or residential building with its own sense of identity.	

**Clause 55.05-3 Daylight to new windows objective**

Standards		Standard Met/Standard Not Met/NA
<b>Title &amp; Objective</b>	A window in a habitable room should be located to face:	<b>Standard met</b> All habitable room windows are located to face an outdoor space clear to the sky or a verandah that is open.
<b>Standard B27</b>	<ul style="list-style-type: none"> <li>An outdoor space clear to the sky or a light court with a minimum area of 3 square metres and minimum dimension of 1 metre clear to the sky, not including land on an abutting lot, or</li> <li>A verandah provided it is open for at least on third of its perimeter, or</li> <li>A carport provided it has two or more open sides and is open for at least on third of its perimeter.</li> </ul>	
<b>Decision Guidelines</b>	The design response. Whether there are other windows in the habitable room which have access to daylight.	
<b>Objective</b>	To allow adequate daylight into new habitable room windows.	

**2.3.3 Town Planning Application - No. 56 Stephenson Street, Springvale (Planning Application No. PLN18/0567) (Cont.)**

**Clause 55.05-4 Private open space objective**

Title & Objective	Standards	Standard Met/Standard Not Met/NA
<p><b>Standard B28</b></p> <p>A dwelling or residential building should have private open space of an area and dimensions specified in a schedule to the zone.</p> <p><b>RGZ1:</b> None specified</p> <p><b>RGZ2:</b> "As per B28; or a balcony or rooftop with a minimum area of 10 square metres with a minimum width of 2 metres that is directly accessible from a living room."</p> <p><b>RGZ3:</b> "As per B28; or a balcony or rooftop with a minimum area of 10 square metres with a minimum width of 2 metres that is directly accessible from the main living area."</p> <p><b>GRZ1:</b> "An area of 50 square metres of ground level, private open space, with an area of secluded private open space at the side or rear of the dwelling with a minimum area of 30 square metres and a minimum dimension of 5 metres and convenient access from a living room; or</p> <p>A balcony or rooftop with a minimum area of 10 square metres with a minimum width of 2 metres that is directly accessible from the main living area."</p> <p><b>GRZ2:</b> "As per the B28 40 sq m requirement, with the 25 sq m of secluded private open space at ground level having a minimum dimension of 5 metres; or</p> <p>A balcony or rooftop with a minimum area of 10 square metres with a minimum width of 2 metres that is directly accessible from the main living area."</p> <p><b>NRZ1:</b> "An area of 60 square metres of ground level, private open space, with an area of secluded private open space at the side or rear of the dwelling with a minimum area of 40 square metres with a minimum dimension of 5 metres and convenient access from a living room; or</p> <p>A balcony or rooftop with a minimum area of 10 square metres with a minimum width of 2 metres that is directly accessible from the main living area."</p>		<p><b>Standard met</b></p> <p><u>Dwelling 1</u></p> <p>Total private open space: 139.7 square metres</p> <p>Secluded private open space: 42.8 square metres, with a primary secluded private open space area of 30 square metres with a minimum dimension of 5 metres and convenient access to a main living room.</p> <p><u>Dwelling 2</u></p> <p>Total private open space: 109.8 square metres</p> <p>Secluded private open space: 81.6 square metres, with a primary secluded private open space area of 56 square metres with a minimum dimension of 5.465 metres and convenient access to a main living room.</p>

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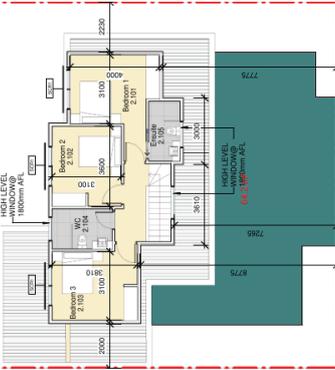
**2.3.3 Town Planning Application - No. 56 Stephenson Street, Springvale (Planning Application No. PLN18/0567) (Cont.)**

	<p>If no area or dimensions are specified in a schedule to the zone, a dwelling or residential building should have private open space consisting of:</p> <ul style="list-style-type: none"> <li>• An area of 40 square metres, with one part of the private open space to consist of secluded private open space at the side or rear of the dwelling or residential building with a minimum area of 25 square metres, a minimum dimension of 3 metres and convenient access from a living room, or</li> <li>• A balcony of 8 square metres with a minimum width of 1.6 metres and convenient access from a living room, or</li> <li>• A roof-top area of 10 square metres with a minimum width of 2 metres and convenient access from a living room.</li> </ul> <p>The balcony requirements in Clause 55.05-4 do not apply to an apartment development.</p>	<p><b>Not applicable – Residential Growth Zone only</b></p>
<p><b>Decision Guidelines</b></p>	<p>The design response.</p> <p>The useability of the private open space, including its size and accessibility.</p> <p>The availability of and access to public or communal open space.</p> <p>The orientation of the lot to the street and the sun.</p>	
<p><b>Objective</b></p>	<p>To provide adequate private open space for the reasonable recreation and service needs of residents.</p>	



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**2.3.3 Town Planning Application - No. 56 Stephenson Street, Springvale (Planning Application No. PLN18/0567) (Cont.)**

<p><u>Dwelling 2</u> The green represents the extent of overshadowing on the secluded private open space below. Of the 81.6 square metres of secluded private open space, 62.4 square metres does not comply with the required setback of Standard B29.</p> 	
	<p>The design response. The useability and amenity of the secluded private open space based on the sunlight it will receive.</p>
<p><b>Decision Guidelines</b></p>	

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**2.3.3 Town Planning Application - No. 56 Stephenson Street, Springvale (Planning Application No. PLN18/0567) (Cont.)**

<b>Objective</b>	To allow solar access into the secluded private open space of new dwellings and residential buildings.
	<p>✓ <b>Objective met</b></p> <p>When considering the above decision guidelines, it is considered that the objective has been met for the following reasons:</p> <ul style="list-style-type: none"> <li>• The secluded private open space is located at the rear of the dwelling, and is considered appropriate with regard to the orientation of the allotment;</li> <li>• The secluded private open space provided would exceed the requirements of Standard B28;</li> <li>• Due to the orientation of the allotment, it would be hard to avoid shading by buildings;</li> <li>• The secluded private open space will receive sufficient sunlight from an easterly and westerly aspect;</li> <li>• Dwelling 1 benefits from a large private open space area to the front of the site that will have uninterrupted sunlight; and</li> <li>• The secluded private open space will still be a highly useable space based on the sunlight it will receive.</li> </ul>

**Clause 55.05-6 Storage objective**

Standards	
<b>Title &amp; Objective</b>	<b>Standard Met/Standard Not Met/NA</b>
<b>Standard B30</b>	<p>Each dwelling should have convenient access to at least 6 cubic metres of externally accessible, secure storage space.</p> <p>✓ <b>Standard met</b></p> <p>Each dwelling has been provided with 6 cubic metres of externally accessible, secure storage space located in the rear secluded private open space area.</p>
<b>Objective</b>	To provide adequate storage facilities for each dwelling.

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**Clause 55.06-1 Design detail objective**

Standards		Standard Met/Standard Not Met/NA
<b>Title &amp; Objective</b> Standard B31	<p>The design of buildings, including:</p> <ul style="list-style-type: none"> <li>• Façade articulation and detailing,</li> <li>• Window and door proportions,</li> <li>• Roof form, and</li> <li>• Verandahs, eaves and parapets,</li> </ul> <p>should respect the existing or preferred neighbourhood character.</p>	<p><b>Standard met</b></p> <p>The design detail responds to the preferred neighbourhood character.</p> <p>The proposed dwelling would incorporate pitched tiled roof form with eaves, which is evident with the surrounding area. Proposed materials include brick at ground floor, and light weight cladding at first floor. Proposed materials are a common feature within the surrounding area.</p> <p>The proposal would integrate with the existing streetscape, and would be consistent with the emerging character of the area.</p>
<b>Decision Guidelines</b>	<p>Garages and carports should be visually compatible with the development and the existing or preferred neighbourhood character.</p>	<p><b>Standard met</b></p> <p>Dwelling 1 will have the double garage located to rear of the dwelling. The double garage to dwelling 2 would be located at the side of the building and would be setback 27.37 metres from the street frontage.</p> <p>The proposed car parking would be consistent with the preferred neighbourhood character.</p>
<b>Objective</b>	<p>Any relevant neighbourhood character objective, policy or statement set out in this scheme.</p> <p>The design response.</p> <p>The effect on the visual bulk of the building and whether this is acceptable in the neighbourhood setting.</p> <p>Whether the design is innovative and of a high architectural standard.</p> <p>To encourage design detail that respects the existing or preferred neighbourhood character.</p>	

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<b>Clause 55.06-2 Front fences objective</b>							
Title & Objective	Standards						
<p><b>Standard B32</b></p>	<p>The design of front fences should complement the design of the dwelling or residential building and any front fences on adjoining properties.</p> <p>A front fence within 3 metres of a street should not exceed:</p> <ul style="list-style-type: none"> <li>The maximum height specified in a schedule to the zone, or</li> </ul> <p><u>All schedules to all residential zones:</u></p> <p><b>"Maximum 1.5 metre height in streets in Road Zone Category 1                  1.2 metre maximum height for other streets"</b></p> <ul style="list-style-type: none"> <li>If no maximum height is specified in a schedule to the zone, the maximum height specified in Table B3.</li> </ul> <p><b>Table B3 Maximum front fence height</b></p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="text-align: center;">Street Context</th> <th style="text-align: center;">Maximum front fence height</th> </tr> </thead> <tbody> <tr> <td style="text-align: center;">Streets in a Road Zone, Category 1</td> <td style="text-align: center;">2 metres</td> </tr> <tr> <td style="text-align: center;">Other streets</td> <td style="text-align: center;">1.5 metres</td> </tr> </tbody> </table>	Street Context	Maximum front fence height	Streets in a Road Zone, Category 1	2 metres	Other streets	1.5 metres
Street Context	Maximum front fence height						
Streets in a Road Zone, Category 1	2 metres						
Other streets	1.5 metres						
<p><b>Decision Guidelines</b></p>	<p>Any relevant neighbourhood character objective, policy or statement set out in this scheme.</p> <p>The design response.</p> <p>The setback, height and appearance of front fences on adjacent properties.</p> <p>The extent to which slope and retaining walls reduce the effective height of the front fence.</p> <p>Whether the fence is needed to minimise noise intrusion.</p>						
<p><b>Objective</b></p>	<p>To encourage front fence design that respects the existing or preferred neighbourhood character.</p>						
	<p><b>Standard Met/Standard Not Met/NA</b></p> <p>✓ <b>Standard met</b>                  A 0.9 metre paling fence is proposed.                  Front fence heights and designs vary throughout the street, and the 0.9 metre high paling fence is considered appropriate.</p> <p>✓ <b>Standard met</b>                  A 0.9m paling fence is proposed, complying with the varied requirements of Schedule 1 to the General Residential Zone of 1.2m high maximum.</p>						

**2.3.3 Town Planning Application - No. 56 Stephenson Street, Springvale (Planning Application No. PLN18/0567) (Cont.)**

**Clause 55.06-3 Common property objectives**

Title & Objective	Standards	Standard Met/Standard Not Met/NA
<b>Standard B33</b>	Developments should clearly delineate public, communal and private areas.	<b>Standard met</b> Common areas and private spaces are delineated by fences, landscaping and buildings.
<b>Objectives</b>	Common property, where provided, should be functional and capable of efficient management.  To ensure that communal open space, car parking, access areas and site facilities are practical, attractive and easily maintained.  To avoid future management difficulties in areas of common ownership.	<b>Standard met</b> No common property proposed.

**Clause 55.06-4 Site services objectives**

Title & Objective	Standards	Standard Met/Standard Not Met/NA
<b>Standard B34</b>	The design and layout of dwellings and residential buildings should provide sufficient space (including easements where required) and facilities for services to be installed and maintained efficiently and economically.  Bin and recycling enclosures, mailboxes and other site facilities should be adequate in size, durable, waterproof and blend in with the development.  Bin and recycling enclosures should be located for convenient access by residents.  Mailboxes should be provided and located for convenient access as required by Australia Post.	<b>Standard met</b> The dwelling has been appropriately designed, and has provided for sufficient space for services to be installed and maintained efficiently and economically.  <b>Standard met</b> Bin and recycling enclosures, mailboxes, meter boxes, gas, water tanks and clotheslines are all provided on the ground floor plan.  <b>Standard met</b> Bin and recycling enclosures located to the secluded private open space to each dwelling.  <b>Standard met</b> Mail boxes located at the front of the site, near the vehicular access point.
<b>Decision Guidelines</b>	The design response.	
<b>Objectives</b>	To ensure that site services can be installed and easily maintained.  To ensure that site facilities are accessible, adequate and attractive.	

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**2.3.3 Town Planning Application - No. 56 Stephenson Street, Springvale (Planning Application No. PLN18/0567) (Cont.)**

**STATUTORY PLANNING APPLICATIONS**

**TOWN PLANNING APPLICATION – NO. 56 STEPHENSON STREET,  
SPRINGVALE (PLANNING APPLICATION NO. PLN18/0567)**

**ATTACHMENT 5**

**CLAUSE 52 ASSESSMENT**

**PAGES 7 (including cover)**

*If the details of the attachment are unclear please contact Governance on 8571 5309.*

**2.3.3 Town Planning Application - No. 56 Stephenson Street, Springvale (Planning Application No. PLN18/0567) (Cont.)**

**Clause 52.06-9 Design standards for car parking**

Plans prepared in accordance with Clause 52.06-8 must meet the design standards of Clause 52.06-9, unless the responsible authority agrees otherwise. Design standards 1, 3, 6 and 7 do not apply to an application to construct one dwelling on a lot.

Design Standards	Assessment	Requirement met/Requirement not met/NA
<p><b>Design standard 1 - Accessways</b></p>	<p>Accessways must:</p> <ul style="list-style-type: none"> <li>• Be at least 3 metres wide.</li> <li>• Have an internal radius of at least 4 metres at changes of direction or intersection or be at least 4.2 metres wide.</li> <li>• Allow vehicles parked in the last space of a dead-end accessway in public car parks to exit in a forward direction with one manoeuvre.</li> <li>• Provide at least 2.1 metres headroom beneath overhead obstructions, calculated for a vehicle with a wheel base of 2.8 metres.</li> </ul>	<p><b>✓ Standard met</b> The shared accessway has a minimum width of 3.1 metres.</p> <p><b>✓ Standard met</b></p> <p><b>Not Applicable</b> Public parking not proposed</p> <p><b>✓ Standard met</b> The upper floor to both dwellings would slightly overhang the accessway, however would exceed the minimum 2.1 metres headroom. <u>Dwelling 1:</u> The upper floor would be 2.858 metres above the accessway. <u>Dwelling 2:</u> The upper floor would be 2.477 metres above the accessway.</p> <p><b>✓ Standard met</b> The accessway serves four cars. The accessway has been designed so that cars are able to exit in a forwards direction. Swept paths were submitted as part of the application and were referred to Councils Transport Department who did not object and raised no concern with the car parking layout.</p> <p><b>✓ Standard met</b> Passing area is not required as the accessway serves a maximum of four cars and does not connect to a road in a Road Zone.</p>

*If the details of the attachment are unclear please contact Governance on 8571 5309.*

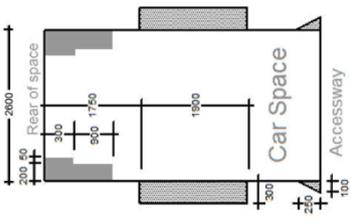
ORDINARY COUNCIL MEETING - AGENDA

**2.3.3 Town Planning Application - No. 56 Stephenson Street, Springvale (Planning Application No. PLN18/0567) (Cont.)**

	<ul style="list-style-type: none"> <li>Have a corner splay or area at least 50 percent clear of visual obstructions extending at least 2 metres along the frontage road from the edge of an exit lane and 2.5 metres along the exit lane from the frontage, to provide a clear view of pedestrians on the footpath of the frontage road. The area clear of visual obstructions may include an adjacent entry or exit lane where more than one lane is provided, or adjacent landscaped areas, provided the landscaping in those areas is less than 900mm in height.</li> </ul> <p>If an accessway to four or more car parking spaces is from land in a Road Zone, the access to the car spaces must be at least 6 metres from the road carriageway.</p> <p>If entry to the car space is from a road, the width of the accessway may include the road.</p>	<p><b>✓ Standard met</b> The splay areas has been included on plans. This would be included as a standard permit condition.</p> <p><b>Not Applicable</b> Stephenson Street is not a road in a Road Zone.</p> <p><b>Not Applicable</b> As above</p> <p><b>✓ Standard met</b> See assessment below</p>																																
<p><b>Design standard 2 – Car parking spaces</b></p>	<p>Car parking spaces and accessways must have the minimum dimensions as outlined in Table 2.</p> <p><b>Table 2: Minimum dimensions of car parking spaces and accessways</b></p> <table border="1"> <thead> <tr> <th>Angle of car parking spaces to access way</th> <th>Accessway width</th> <th>Car space width</th> <th>Car space length</th> </tr> </thead> <tbody> <tr> <td>Parallel</td> <td>3.6 m</td> <td>2.3 m</td> <td>6.7 m</td> </tr> <tr> <td>45°</td> <td>3.5 m</td> <td>2.6 m</td> <td>4.9 m</td> </tr> <tr> <td>60°</td> <td>4.9 m</td> <td>2.6 m</td> <td>4.9 m</td> </tr> <tr> <td>90°</td> <td>6.4 m</td> <td>2.6 m</td> <td>4.9 m</td> </tr> <tr> <td></td> <td>5.8 m</td> <td>2.8 m</td> <td>4.9 m</td> </tr> <tr> <td></td> <td>5.2 m</td> <td>3.0 m</td> <td>4.9 m</td> </tr> <tr> <td></td> <td>4.8 m</td> <td>3.2 m</td> <td>4.9 m</td> </tr> </tbody> </table> <p><i>Note to Table 2: Some dimensions in Table 2 vary from those shown in the Australian Standard AS2890.1-2004 (off street). The dimensions shown in Table 2 allocate more space to aisle widths and less to marked spaces to provide improved operation and access. The dimensions in Table 2 are to be used in preference to the Australian Standard AS2890.1-2004 (off street) except for disabled spaces which must achieve Australian Standard AS2890.6-2009 (disabled).</i></p>	Angle of car parking spaces to access way	Accessway width	Car space width	Car space length	Parallel	3.6 m	2.3 m	6.7 m	45°	3.5 m	2.6 m	4.9 m	60°	4.9 m	2.6 m	4.9 m	90°	6.4 m	2.6 m	4.9 m		5.8 m	2.8 m	4.9 m		5.2 m	3.0 m	4.9 m		4.8 m	3.2 m	4.9 m	
Angle of car parking spaces to access way	Accessway width	Car space width	Car space length																															
Parallel	3.6 m	2.3 m	6.7 m																															
45°	3.5 m	2.6 m	4.9 m																															
60°	4.9 m	2.6 m	4.9 m																															
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ORDINARY COUNCIL MEETING - AGENDA

**2.3.3 Town Planning Application - No. 56 Stephenson Street, Springvale (Planning Application No. PLN18/0567) (Cont.)**

<p>✓ <b>Standard met</b> No apparent structures are encroaching the car spaces</p>	<p>A wall, fence, column, tree, tree guard or any other structure that abuts a car space must not encroach into the area marked 'clearance required' on Diagram 1, other than:</p> <ul style="list-style-type: none"> <li>• A column, tree or tree guard, which may project into a space if it is within the area marked 'tree or column permitted' on Diagram 1.</li> <li>• A structure, which may project into the space if it is at least 2.1 metres above the space.</li> </ul> <p><b>Diagram 1 Clearance to car parking spaces</b></p>  <p>Dimensions in millimetres  <span style="display:inline-block; width:10px; height:10px; border:1px solid black; background-color:white;"></span> Clearance required  <span style="display:inline-block; width:10px; height:10px; border:1px solid black; background-color:grey;"></span> Tree or column permitted</p>
<p>✓ <b>Standard met</b> Double garages proposed: Dwelling 1: 6m x 5.5m Dwelling 2: 6m x 5.5m</p>	<p>Car spaces in garages or carports must be at least 6 metres long and 3.5 metres wide for a single space and 5.5 metres wide for a double space measured inside the garage or carport.</p>
<p>✓ <b>Standard met</b> Tandem spaces not proposed</p>	<p>Where parking spaces are provided in tandem (one space behind the other) an additional 500mm in length must be provided between each space.</p>
<p>✓ <b>Standard met</b> Double garages proposed.</p>	<p>Where two or more car parking spaces are provided for a dwelling, at least one space must be under cover.</p>
<p><b>Not Applicable</b> No disabled spaces proposed</p>	<p>Disabled car parking spaces must be designed in accordance with Australian Standard AS2890.6-2009 (disabled) and the Building Code of Australia. Disabled car parking spaces may encroach into an accessway width specified in Table 2 by 500mm.</p>

ORDINARY COUNCIL MEETING - AGENDA

**2.3.3 Town Planning Application - No. 56 Stephenson Street, Springvale (Planning Application No. PLN18/0567) (Cont.)**

<p><b>Design standard 3: Gradients</b></p>	<p>Accessway grades must not be steeper than 1:10 (10 per cent) within 5 metres of the frontage to ensure safety for pedestrians and vehicles. The design must have regard to the wheelbase of the vehicle being designed for; pedestrian and vehicular traffic volumes; the nature of the car park; and the slope and configuration of the vehicle crossover at the site frontage. This does not apply to accessways serving three dwellings or less.</p> <p>Ramps (except within 5 metres of the frontage) must have the maximum grades as outlined in Table 3 and be designed for vehicles travelling in a forward direction.</p> <p><b>Table 3: Ramp gradients</b></p> <table border="1" data-bbox="403 875 608 1559"> <thead> <tr> <th>Type of car park</th> <th>Length of ramp</th> <th>Maximum grade</th> </tr> </thead> <tbody> <tr> <td rowspan="2">Public car parks</td> <td>20 metres or less</td> <td>1:5 (20%)</td> </tr> <tr> <td>longer than 20 metres</td> <td>1:6 (16.7%)</td> </tr> <tr> <td rowspan="2">Private or residential car parks</td> <td>20 metres or less</td> <td>1:4 (25%)</td> </tr> <tr> <td>longer than 20 metres</td> <td>1:5 (20%)</td> </tr> </tbody> </table> <p>Where the difference in grade between two sections of ramp or floor is greater than 1:8 (12.5 per cent) for a summit grade change, or greater than 1:6.7 (15 per cent) for a sag grade change, the ramp must include a transition section of at least 2 metres to prevent vehicles scraping or bottoming.</p> <p>Plans must include an assessment of grade changes of greater than 1:5.6 (18 per cent) or less than 3 metres apart for clearances, to the satisfaction of the responsible authority.</p>	Type of car park	Length of ramp	Maximum grade	Public car parks	20 metres or less	1:5 (20%)	longer than 20 metres	1:6 (16.7%)	Private or residential car parks	20 metres or less	1:4 (25%)	longer than 20 metres	1:5 (20%)	<p><b>✓ Standard met</b> Subject site is relatively flat, with no accessway grades steeper than 1:10 within 5m of the frontage</p> <p><b>✓ Standard met</b> Subject site is relatively flat.</p> <p><b>✓ Standard met</b> Subject site is relatively flat.</p> <p><b>✓ Standard met</b> No ramps proposed</p>
Type of car park	Length of ramp	Maximum grade													
Public car parks	20 metres or less	1:5 (20%)													
	longer than 20 metres	1:6 (16.7%)													
Private or residential car parks	20 metres or less	1:4 (25%)													
	longer than 20 metres	1:5 (20%)													
<p><b>Design standard 4: Mechanical parking</b></p>	<p>Mechanical parking may be used to meet the car parking requirement provided:</p> <ul style="list-style-type: none"> <li>At least 25 per cent of the mechanical car parking spaces can accommodate a vehicle clearance height of at least 1.8 metres.</li> <li>Car parking spaces the require the operation of the system are not allowed to visitors unless used in a valet parking situation.</li> <li>The design and operation is to the satisfaction of the responsible authority.</li> </ul>	<p><b>Not Applicable</b> No mechanical parking proposed</p> <p><b>Not Applicable</b> No mechanical parking proposed</p> <p><b>Not Applicable</b> No mechanical parking proposed</p>													

ORDINARY COUNCIL MEETING - AGENDA

**2.3.3 Town Planning Application - No. 56 Stephenson Street, Springvale (Planning Application No. PLN18/0567) (Cont.)**

<p><b>Design standard 5: Urban design</b></p>	<p>Ground level car parking, garage doors and accessways must not visually dominate public space.</p>	<p>✓ <b>Standard met</b> Parking, paving, garage doors and accessways would not dominate the street. No parking would be provided within the front setback. Dwelling 1 would have the double garage located to rear of the dwelling, and will not be visible from the streetscape. The double garage to dwelling 2 would be located at the side of the building and would be setback 27.37 metres from the street frontage.</p>
	<p>Car parking within buildings (including visible portions of partly submerged basements) must be screened or obscured where possible, including through the use of occupied tenancies, landscaping, architectural treatments and artworks.</p>	<p>✓ <b>Standard met</b> Proposed parking would not dominate the street view.</p>
	<p>Design of car parks must take into account their use as entry points to the site.</p>	<p>✓ <b>Standard met</b></p>
	<p>Design of new internal streets in developments must maximise on street parking opportunities.</p>	<p><b>Not Applicable</b> No internal streets proposed</p>
	<p>Car parking must be well lit and clearly signed.</p>	<p>✓ <b>Standard met</b> Motion sensor lighting has been provided to the car parking areas and along the internal accessway.</p>
<p><b>Design standard 6: Safety</b></p>	<p>The design of car parks must maximise natural surveillance and pedestrian visibility from adjacent buildings.</p>	<p>✓ <b>Standard met</b> Natural surveillance of the car parking areas provided through habitable room windows at ground and upper floor level oriented towards the internal accessway and car parking areas.</p>
	<p>Pedestrian access to car parking areas from the street must be convenient.</p>	<p>✓ <b>Standard met</b> Can be accessed from the accessway and internally from the dwelling.</p>
	<p>Pedestrian routes through car parking areas and building entries and other destination points must be clearly marked and separated from traffic in high activity parking areas.</p>	<p>✓ <b>Standard met</b> Non-high traffic area</p>
	<p>The layout of car parking areas must provide for water sensitive urban design treatment and landscaping.</p>	<p>✓ <b>Standard met</b> The car parking layout allows for water sensitive urban design.</p>
<p><b>Design standard 7: Landscaping</b></p>	<p>Landscaping and trees must be planted to provide shade and shelter, soften the appearance of ground level car parking and aid in the clear identification of pedestrian paths.</p>	<p>✓ <b>Standard met</b> The proposal would be able to accommodate landscaping which provides shelter and aids in the clear identification of pedestrian paths.</p>

**2.3.3 Town Planning Application - No. 56 Stephenson Street, Springvale (Planning Application No. PLN18/0567) (Cont.)**

	Ground level car parking spaces must include trees planted with flush grilles. Spacing of trees must be determined having regard to the expected size of the selected species at maturity.	✓ Standard met
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## **2.4 POLICY AND STRATEGY**

### **2.4.1 Review of Council Policies – Civic and Cultural Heritage Collection Policy**

File Id:

Responsible Officer:

Director, Community Services

Attachments:

Cultural and Heritage Collections Policy 2007  
Civic and Cultural Heritage Collection Policy

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#### **Report Summary**

Council policies are in place to ensure accordance with relevant legislation, regulations and best practices. They provide a consistent approach to Council's operational requirements and promote accountability and transparency of Council decisions and actions.

Council adopted the Cultural and Heritage Collections Policy in May 2007 with the provision of reviewing the policy biennially.

Council has developed a revised Civic and Cultural Heritage Collection Policy to provide a framework for the sustainable development of the Civic and Cultural Heritage Collection, considering collection development, acquisitions, deaccessions and disposal.

The attached Civic and Cultural Heritage Collection Policy is presented to Council for adoption.

#### **Recommendation Summary**

This report recommends that the Civic and Cultural Heritage Collection Policy be adopted by Council and the Cultural and Heritage Collections Policy 2007 be abolished.

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### **2.4.1 Review of Council Policies – Civic and Cultural Heritage Collection Policy (Cont.)**

#### **Background**

Council is the custodian of the Civic and Cultural Heritage Collection on behalf of the community of the City of Greater Dandenong.

The Civic and Cultural Heritage Collection, and the sum of its parts, reflect and celebrate the City of Greater Dandenong's rich and diverse cultural heritage; its people, events and achievements. The Collection is representative of the natural, cultural and social history of the region that is considered as significant, and of interest to, residents now and in the future.

The Collection is acknowledged as being part of the irreplaceable records that support the understanding of our local history for this and future generations.

#### **Proposal**

Council's Arts and Cultural Heritage Strategy articulates the following strategic directions:

- Recording History and Heritage: Capture and preserve local history and cultural heritage in a sustainable and accessible format.
- Community Engagement: Increase opportunities for the community to engage and connect with Greater Dandenong's history and cultural heritage.
- Indigenous Culture and Heritage: Respect and celebrate local Indigenous culture and heritage.

The Civic and Cultural Heritage Collection Policy sets out Council's strategic direction and parameters for the Civic and Cultural Heritage Collections.

The Policy:

- Provides a framework for the sustainable development of the Civic and Cultural Heritage Collection.
- Provides clarity on the process to formally acquire item/s for inclusion into the Civic and Cultural Heritage Collection (Acquisition).
- Provides clarity on the process of de-registering item/s from the Civic and Cultural Heritage Collection (Deaccession).
- Provides options in order of priority regarding the disposal of items identified for deaccession.
- Provides definitions outlined under this Policy.
- Determines the roles and responsibilities that arise under this Policy.

In the past, Council has been guided by the Cultural Heritage Collections Policy (May 2007).

It is proposed that the attached Civic and Cultural Heritage Collection Policy will supersede the Cultural Heritage Collections Policy 2007 and support Council's Arts and Cultural Heritage Strategy 2016 strategic directions for History and Heritage.

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#### **2.4.1 Review of Council Policies – Civic and Cultural Heritage Collection Policy (Cont.)**

### **Community Plan ‘Imagine 2030’ and Council Plan 2017-21 – Strategic Objectives, Strategies and Plans**

After consultation with the Greater Dandenong community on what kind of future they wanted to see for themselves and the City in 2030, the result was the Greater Dandenong Community Plan ‘Imagine 2030’. This report is consistent with the following community visions:

#### **Community Plan ‘Imagine 2030’**

##### People

- *Pride* – Best place best people
- *Cultural Diversity* – Model multicultural community

##### Place

- *Sense of Place* – One city many neighbourhoods
- *Safety in Streets and Places* – Feeling and being safe
- *Appearance of Places* – Places and buildings

##### Opportunity

- *Education, Learning and Information* – Knowledge
- *Tourism and visitors* – Diverse and interesting experiences
- *Leadership by the Council* – The leading Council

#### **Council Plan 2017-21**

The Council Plan describes the kind of future the Council is working for, and how Council will do this over four years. This report is consistent with the following goals:

##### People

- A vibrant, connected and safe community
- A creative city that respects and embraces diversity

##### Place

- A healthy, liveable and sustainable city
- A city planned for the future

##### Opportunity

- A diverse and growing economy

The strategies and plans that contribute to these outcomes are as follows:

- City of Greater Dandenong Community Plan – Imagine 2030
- City of Greater Dandenong Council Plan 2017-21

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#### **2.4.1 Review of Council Policies – Civic and Cultural Heritage Collection Policy (Cont.)**

- City of Greater Dandenong Council – Arts and Cultural Heritage Strategy 2016
- City of Greater Dandenong Council - Library Strategy 2018-23

#### **Related Council Policies**

- Greater Dandenong Community Development Framework.
- City of Greater Dandenong Public Art Policy 2018.

#### **Victorian Charter of Human Rights and Responsibilities**

The Victorian Charter of Human Rights and Responsibilities has been considered in the preparation of this report but is not relevant to its contents.

#### **Financial Implications**

No financial resources are impacted by this report.

#### **Consultation**

Prior to reporting to Council, the Civic and Cultural Heritage Collection Policy was reviewed and evaluated by the:

- Cultural Heritage Advisory Committee
- Arts and Cultural Development management and staff
- Governance staff
- Engineering Services (Asset Management, City Improvement) staff

#### **Conclusions**

The Civic and Cultural Heritage Collection Policy provides clarity and direction to guide the development of Council heritage collections. The Civic and Cultural Heritage Collection Policy replaces the Cultural and Heritage Collections Policy 2007 and is submitted for Council adoption for a period of four years.

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**2.4.1 Review of Council Policies – Civic and Cultural Heritage Collection Policy (Cont.)**

**Recommendation**

**That Council:**

- 1. abolishes the Cultural and Heritage Collections Policy 2007 as per Attachment 1; and**
- 2. endorses the Civic and Cultural Heritage Collection Policy as per Attachment 2.**

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**2.4.1 Review of Council Policies – Civic and Cultural Heritage Collection Policy (Cont.)**

**POLICY AND STRATEGY**

**REVIEW OF COUNCIL POLICIES – CIVIC AND CULTURAL HERITAGE  
COLLECTIONS POLICY**

**ATTACHMENT 1**

**CULTURAL AND HERITAGE COLLECTION  
POLICY 2007**

**PAGES 3 (including cover)**

*If the details of the attachment are unclear please contact Governance on 8571 5235.*

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**2.4.1 Review of Council Policies – Civic and Cultural Heritage Collection Policy (Cont.)**



## **POLICY**

# **CULTURAL & HERITAGE COLLECTIONS**

\*This policy includes Libraries, Heritage Hill, other facilities and specialty collections.

### **Policy Statement**

The City of Greater Dandenong has a rich and diverse culture and heritage. The Cultural and Heritage Collection is representative of the natural, cultural and social history of the City of Greater Dandenong and of those subjects that are considered as significant, or of interest to, the people of this City.

Council acknowledges that the Collection is an irreplaceable record of the history of the City and commits to continuing to collect, document, preserve, exhibit and interpret this material and associated information for public benefit.

This policy will be reviewed biennially (every 2 years).

### **Context / Rationale**

Heritage and cultural collections are the accumulated storehouse of human achievement and memory. Our local heritage and culture is acknowledged as a representation of the City's cultural wealth and well-being.

The City of Greater Dandenong, in acquiring, interpreting and providing information on its culture and heritage, reflects the influences and cultural diversity of the City.

The City strives to meet the needs of a wide variety of audiences by providing a range of programs and exhibits that inform, interpret and educate.

As custodian of the collection Council will use the allocated resources available to provide the highest standard access to the collection and cultural and heritage facilities for the community and visitors.

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## 2.4.1 Review of Council Policies – Civic and Cultural Heritage Collection Policy (Cont.)

### Objectives

- City of Greater Dandenong will preserve, conserve, manage and make accessible the cultural and heritage objects, archival material or documentary heritage collected on behalf of the community it serves.
- The collection will reflect the values, norms and aspirations of people living in this district from post European settlement to the present.
- The collection will also reflect the diversity of cultures that have helped develop and change the socioeconomic landscape of the City over the past 160 years.
- Council acknowledges the Bunurong people as the traditional custodians of the land on which the City of Greater Dandenong is located and will therefore work with the Indigenous community to preserve their physical and cultural heritage.
- Additions to the collection will be based on quality illustrations of the physical, artistic, cultural, socioeconomic and political history of Greater Dandenong.

### Key Linkages

#### City of Greater Dandenong:

- Council Plan 2002-2007
- Annual Report 2002-2003
- Indigenous Policy
- City of Greater Dandenong Arts Policy Draft 2002
- Diversity Policy

#### Other Policies and Practices

- Burra Charter
- International Council of Museums – Policy and Collecting Guidelines and Code of Ethics
- Codes of Practice Australian Museums Queensland

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<b>Original Date adopted by Council:</b>	<b>11 November 2002</b>
<b>Last endorsed by Council:</b>	<b>14 May 2007</b>
<b>Directorate:</b>	<b>Community Services</b>
<b>Date of Next Review:</b>	<b>May 2009</b>
<b>Review Cycle:</b>	<b>Biennially</b>
<b>File Reference:</b>	<b>03-00077-01</b>

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**2.4.1 Review of Council Policies – Civic and Cultural Heritage Collection Policy (Cont.)**

**POLICY AND STRATEGY**

**REVIEW OF COUNCIL POLICIES – CIVIC AND CULTURAL HERITAGE  
COLLECTION POLICY**

**ATTACHMENT 2**

**CIVIC AND CULTURAL HERITAGE  
COLLECTION POLICY**

**PAGES 10 (including cover)**

*If the details of the attachment are unclear please contact Governance on 8571 5235.*

**2.4.1 Review of Council Policies – Civic and Cultural Heritage Collection Policy (Cont.)**



# Greater Dandenong Policy

## Civic and Cultural Heritage Collection Policy

Policy Endorsement:	Endorsement required by Council		
Policy Superseded by this Policy	Cultural and Heritage Collections Policy 2007		
Directorate:	Community Services		
Responsible Officer:	Manager, Community Arts, Culture and Library Services		
Policy Type:	Discretionary		
File Number:		Version No:	01
1 <sup>st</sup> Adopted by Council	Minute No.	Last Adopted by Council:	Minute No.
Review Period:	Four (4) years	Next Review:	2023

### 1. Purpose

The City of Greater Dandenong is home to rich and diverse cultural heritage.

Council is committed to the protection, management, and celebration of the region's tangible and intangible cultural heritage.

The Civic and Cultural Heritage Collection and the sum of its parts is owned and managed by the City of Greater Dandenong. The Collection documents the evolving history of the City of Greater Dandenong and its predecessors. This includes the former Dandenong and District Roads Board, the former shires of Dandenong, Springvale and Noble Park; former cities of Dandenong and Springvale, as well as parts of the former cities of Cranbourne and Berwick.

This Policy provides a framework for the sustainable development and management of the Civic and Cultural Heritage Collection.

The Policy assists in delivering actions and key themes highlighted in the:

- Greater Dandenong Community Plan – Imagine 2030
- Greater Dandenong Council Plan 2017-21
- Greater Dandenong Council – Create and Connect - Arts and Cultural Heritage Strategy 2016
- Greater Dandenong Council – Library Strategy 2018-23
- City of Greater Dandenong Public Art Policy 2018

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**2.4.1 Review of Council Policies – Civic and Cultural Heritage Collection Policy (Cont.)**



# Greater Dandenong Policy

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- Greater Dandenong Community Development Framework

## 2. Background

### 2.1 Context

Council is the custodian of the Civic and Cultural Heritage Collection on behalf of the community of the City of Greater Dandenong.

The Civic and Cultural Heritage Collection Policy demonstrates Council's support for local cultural heritage, acknowledging the social, health and wellbeing, and economic benefits of heritage in fostering a diverse, culturally engaged and active community.

### 2.2 The Civic and Cultural Heritage Collection

The Civic and Cultural Heritage Collection, and the sum of its parts, reflect and celebrate the City of Greater Dandenong's rich and diverse cultural heritage; its people, events and achievements.

The Collection is acknowledged as being part of the irreplaceable records that support the understanding of our local history for this and future generations.

The Collection is representative of the natural, cultural and social history of the region that is considered as significant, and of interest to, residents now and in the future.

The collection includes tangible and intangible items such as artworks, photographs, sculptures, prints, and mixed media; audio and multimedia items, civic memorabilia, and civic gifts. The Civic and Cultural Heritage Collection Policy does not include sites or buildings or public art.

## 3. Scope

This Policy applies to all items in the Civic and Cultural Heritage Collection owned and managed by City of Greater Dandenong. It does not apply to Public Art Works – see Greater Dandenong Council Public Art Policy or items stored in Council or other facilities that do not form part of the Civic Collection.

Community Arts, Culture and Library staff will be guided by the Civic and Cultural Heritage Collection Management Operational Guidelines to articulate operational processes and procedures for the Collection in relation to its management and development - including acquisition, deaccession and disposal; care and storage; valuation and insurance; exhibition and display; and public access. The National Standards for Australian Museums and Galleries V1.5, September 2016 guides the Policy, and the associated operational guidelines.

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## 2.4.1 Review of Council Policies – Civic and Cultural Heritage Collection Policy (Cont.)



# Greater Dandenong Policy

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Council provides advice and support to local volunteer historical societies and community groups in the management of their collections. Council is committed in working collaboratively to ensure local organisations manage their collections to industry recommended best practice standards. Council does not seek to collect artefacts and materials generated by local community groups and organisations.

#### 4. Human Rights and Responsibilities Charter – Compatibility Statement

All matters relevant to the Victorian Human Rights Charter have been considered in the development of this Policy and are consistent with the standards set by the Charter.

#### 5. References

- City of Greater Dandenong Council - Arts and Cultural Heritage Strategy 2016
- City of Greater Dandenong Community Plan – Imagine 2030
- City of Greater Dandenong Council Plan 2017-21
- City of Greater Dandenong Procurement Policy- current
- City of Greater Dandenong Public Art Policy 2018
- National Standards for Australian Museums and Galleries V1.5, September 2016
- UNESCO Convention for the Safeguarding of Intangible Cultural Heritage (2016 edition)
- International Council of Museums (ICOM) Code of Professional Ethics (2013)

#### 6. Definitions

##### **Acquisition**

The processes by which any item is formally acquired for inclusion to the Civic and Cultural Heritage Collection.

##### **Civic and Cultural Heritage Collection**

11 items which have been formally acquired for / into as being part of the City of Greater Dandenong's Civic and Cultural Heritage Collection. (Public Artworks are excluded from this terminology). The Civic and Cultural Heritage Collection may also be referred to as 'The Collection', 'Collection Items' or 'CC (name of sub collection)'.

##### **City of Greater Dandenong**

City of Greater Dandenong Municipality.

##### **Council**

City of Greater Dandenong Council.

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**2.4.1 Review of Council Policies – Civic and Cultural Heritage Collection Policy (Cont.)**



# Greater Dandenong Policy

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## **Cultural Heritage**

Cultural Heritage refers to the legacy that is inherited from past generations, maintained in the present and bestowed for the benefit of future generations. This includes indigenous and multicultural heritage as well as physical objects and places that we inherit from the past and pass on to future generations to use, learn from and be inspired by. Our cultural heritage invites us to reflect on where we came from and imagine how we would like things to be in the future.

## **Cultural Heritage Advisory Committee (CHAC)**

**CHAC** is comprised of Greater Dandenong Councillor/s and Council officer representatives, representatives from the Dandenong and District Historical Society, Springvale and District Historical Society, Spirit of Enterprise Group and independent and community members. The Committee provides strategic advice to Council regarding Cultural Heritage matters.

## **Civic Collection Acquisition and Deaccession Working Group:**

Is responsible for the review of proposed items based on acquisition and deaccession criteria outlined in this policy and provide recommendations for consideration.

The Working Group is comprised of external independent professional members with a variety of relevant cultural heritage and collection management related professional skills and backgrounds, Presidents of the Dandenong and Springvale Historical Societies, Spirit of Enterprise Group representative and Council Officers. The Civic Collection Acquisition and Deaccession Working Group will meet every 6 months, or more regularly as required.

## **Deaccession**

The process of de-registering an item/s from the Collection, for stated reasons and conforming to clear policy and procedure.

## **Disposal**

The act of permanently removing items from the Civic Collection guided by the National Standards for Australian Museums and Galleries.

## **Intangible Heritage**

Intangible Heritage includes:

- oral and inherited traditions
- performing arts
- social practices
- rituals
- festive events
- knowledge and practices concerning nature and the universe
- traditional craftsmanship (UNESCO, 2016).

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## 2.4.1 Review of Council Policies – Civic and Cultural Heritage Collection Policy (Cont.)



# Greater Dandenong Policy

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### **Provenance**

The documented chain of ownership of an item or collection, or more broadly the life history of an item including previous owners, origin, and context of use.

### **Public Art**

For the purpose of this Policy, the term 'Public Art' is defined as art specifically created to be experienced in the public domain regardless whether it is situated on private or public land or whether it has been commissioned with public or private funds.

Public art can be permanent or temporary, in open space or within buildings or part of functional infrastructure. It can take on any art-form e.g. literary, visual, acoustic, interactive or multi-disciplinary. Public art includes the conceptual contribution of an artist to the design of public spaces and facilities that may be located in or part of a public space or facility provided for public benefit. Public art for the purposes of this Policy may be considered as permanent, integrated or temporary.

### **Tangible Heritage**

Physical artefacts produced, maintained and transmitted intergenerationally in a society.

## **7. Council Policy**

### **7.1 Policy Statement**

The City of Greater of Dandenong is committed to protecting, managing, promoting and celebrating the regions tangible and intangible cultural heritage. By recording and celebrating the history, culture and the achievements of the people of Greater Dandenong we teach understanding and appreciation of our heritage.

Effective conservation and management today will ensure items of Cultural Heritage value and importance to the community are preserved for future generations to enjoy and learn from.

Council acknowledges that the Aboriginal and Torres Strait Islander community is an important part of our community. Council respectfully acknowledges Aboriginal and Torres Strait Islander peoples as the First Australians and the Traditional Owners of the land.

In 2016 Census data, Greater Dandenong is considered Australia's most culturally diverse community. Council acknowledges the importance of collecting and celebrating the stories of the waves of migration that have helped define this City since settlement until today.

The City of Greater Dandenong's Civic and Cultural Heritage Collection Management Operational Guidelines provides a framework for Council to manage the Civic and

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## 2.4.1 Review of Council Policies – Civic and Cultural Heritage Collection Policy (Cont.)



# Greater Dandenong Policy

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Cultural Heritage Collection in relation to access, acquisitions, deaccessions, storage and use, for future needs.

## 7.2 Collection Development

Development of the collection will meet both the immediate and long-term objectives of Greater Dandenong City Council's Arts and Cultural Heritage Strategy, informed by Imagine 2030 and the Council Plan.

Development of the collection will both build on strengths and address weaknesses and will consider current and future priorities and constraints. Strategies will include both planned and opportunistic approaches. Principal objectives of collection development are to acquire and preserve material that relates to the history of the organisation and its predecessors or is highly significant to the Greater Dandenong region and would be otherwise lost to the community.

The Council will endeavour to develop unique collections and collecting strategies, which will take into account the focus of other collecting organisations, particularly within the region, to avoid duplication.

## 7.3 Acquisition and Deaccessions

### Acquisition Criteria

In order to be acquired into the Civic and Cultural Heritage Collection, an item will meet **all** of the following criteria.

An item will:

- Have a distinctive and verifiable connection with the City of Greater Dandenong or its predecessors.
- Be of local, state or national significance.
- Enhance the current scope of the Civic Collection, for example filling an important thematic or geographical gap, or representing a unique voice, event or experience.
- Be an unconditional bequest, donation or purchase with a valid and clearly verifiable legal title, unless an acceptable argument can be made for the special exemption of an item from this criterion.
- Have been ethically and lawfully collected, sold or otherwise transferred in compliance with national and international guidelines.
- Have clearly established and verifiable provenance.
- Be safe and pose no threat to people or other collection items.
- Have sufficient resources allocated by Council for its care and conservation.

Proposals for acquisitions will be prepared by relevant officers and experts (where necessary) with a report provided to the Civic Collection Acquisition and Deaccession

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## 2.4.1 Review of Council Policies – Civic and Cultural Heritage Collection Policy (Cont.)



# Greater Dandenong Policy

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Working Group for review. Items reviewed and recommended by the working group for acquisition will be submitted to Director Community Services for approval.

### **Deaccession Criteria**

There is recognition that there may be reasons to review the retention of Civic and Cultural Heritage Collection items.

The City of Greater Dandenong reserves the right to deaccession and dispose Civic and Cultural Heritage Collection items as a necessary part of the development and management of the Collection.

Council will always approach the deaccessioning of items with caution, with appropriate delay and review mechanisms in its procedures.

The nomination for deaccessioning may occur only where the item/s meets one or more of the following criteria:

- The item does not meet the current acquisition eligibility criteria for the Civic and Cultural Heritage Collection.
- It is in poor condition and is considered of insufficient merit for allocation of conservation resources.
- The item is damaged beyond repair or destroyed.
- The retention of the item may put people and/or other items at risk.
- The conservation and storage requirements of the item are beyond the means of Council.
- The item is a lesser quality duplicate of an item already in the Civic Collection and serves no specific function.
- The item lacks any supporting information to enable proper identification to establish its significance to the Collection.
- The item is lost, stolen or mislaid with no likelihood of return.

Proposals for Deaccessions will be prepared by relevant officers and experts (where necessary) with a report provided to the Civic Collection Acquisition and Deaccession Working Group for review. Items reviewed and recommended by the working group for deaccession will be submitted to Director Community Services for approval.

### **Methods of Disposal**

The disposal procedure for an item identified for deaccession will adhere to the following order of options, in accordance with the ICOM Code of Professional Ethics (2013), Section 4.3: Deaccessioning Policies and Procedures. The options for disposal in order of priority are that the item may be:

- returned to the original donor or artist
- offered to an appropriate collecting institution

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## 2.4.1 Review of Council Policies – Civic and Cultural Heritage Collection Policy (Cont.)



# Greater Dandenong Policy

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- sold on the public market
- destroyed where no other options are appropriate.

With regards to heritage collection artwork items, the artist or practitioner should be contacted if it is proposed that the work be relocated or deaccessioned. If it is not possible to contact the practitioner, then consideration needs to be given as to who should be consulted on the practitioner's behalf e.g. the estate and current copyright holder.

The potential deaccession of any item acquired with assistance (financial or otherwise) under the Cultural Gifts Program, or similar, must be considered within the requirements of that Scheme.

Councillors, Council staff, volunteers, and their families are prohibited from acquiring an item deaccessioned from the collection unless they purchase the item according to its market value. Such a purchase must be approved by the Director Community Services in accordance with Greater Dandenong City Council's Procurement Policy.

Council Cultural Heritage staff must maintain records of items deaccessioned including their method of disposal.

Any monies received by Greater Dandenong City Council from the disposal of an item should be applied solely to collection conservation or collection development (i.e. purchase of collection items), in accordance with ICOM Code of Professional Ethics (2013). Section 4.5: Income from Disposal of Collections.

### **Roles and Responsibilities**

**The responsibilities that arise under this policy are:**

**Councillors:** Are responsible for strategic direction and policy approval.

**Directors of Community/Engineering Services/City Planning, Design and Amenity/CEO:** are responsible for Civic and Cultural Heritage Policy development.

**Managers:** Are responsible for monitoring staff under their supervision to ensure that they understand and comply with the policy and the requirements within it.

**Community Arts, Culture and Library Staff:** Are responsible for the compilation of items for acquisition and deaccession, based on criteria outlined in this Policy along with relevant information to assist informed recommendations.

Communicate and consult with City of Greater Dandenong management and other relevant committees and working groups regarding acquisitions or deaccessions as required.

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## 2.4.1 Review of Council Policies – Civic and Cultural Heritage Collection Policy (Cont.)



# Greater Dandenong Policy

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**Cultural Heritage Advisory Committee:** Provides strategic advice to Council regarding Cultural Heritage.

**Civic Collection Acquisition and Deaccession Working Group:** Nominated representatives comprised of external independent professional members with a variety of relevant cultural heritage and collection management related professional skills and backgrounds, Presidents of the Dandenong and Springvale Historical Societies, Spirit of Enterprise Group representative and Council Officers.

It will review proposed items based on acquisition and deaccession criteria outlined in this Policy and provide recommendations for consideration.

The Civic Collection Acquisition and Deaccession Working Group will meet every 6 months or more regularly as required.

**All Staff:** are responsible for compliance with the Policy and the requirements within it.

### 8. Related Documents

- City of Greater Dandenong Council Plan 2017-21
- City of Greater Dandenong Council – Arts and Cultural Heritage Strategy 2016
- City of Greater Dandenong Council Library Strategy 2018-23
- City of Greater Dandenong Community Development Framework 2015
- City of Greater Dandenong Public Art Policy 2018
- City of Greater Dandenong Community Plan – Imagine 2030
- Memorandum of Understanding – Shared Archive signed 1 April 2015
- Diversity, Access and Equity Policy 2015
- Indigenous Policy – 2012
- Plaques, Memorials and Interpretive Signage Policy 2015
- Cultural Heritage Advisory Committee Terms of Reference, 2017
- National Standards for Australian Museums and Galleries V1.5, September 2016
- Supersedes Cultural and Heritage Collections Policy adopted by Council 14 May 2007 Policy no **03-00077-01** 2016
- Australian Bureau of Statistics – Census, Greater Dandenong  
[https://quickstats.censusdata.abs.gov.au/census\\_services/getproduct/census/2016/quickstat/LGA22670?opendocument#cultural](https://quickstats.censusdata.abs.gov.au/census_services/getproduct/census/2016/quickstat/LGA22670?opendocument#cultural)

#### **2.4.2 Planning Scheme Amendment C213 - Consideration of Submissions and Request for the Minister for Planning to Appoint a Planning Panel**

File Id:	A5855609
Responsible Officer:	Director City Planning, Design and Amenity
Attachments:	Greater Dandenong Planning Scheme Amendment C213 Explanatory Report Clause 32.08 General Residential Zone Schedule 3 Planning Scheme Maps 1, 4, 5 and 6 Summary of Submissions Submission Themes and Officer Responses.

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#### **Report Summary**

Amendment C213 seeks to implement the objectives of the remaining components of Amendment C182 by finalising the fundamental recommendations of the *Greater Dandenong Residential Planning Policy and Controls Project 2015*.

More specifically, the Amendment applies to residential land surrounding the Dandenong, Springvale and Noble Park Activity Centres which was generally proposed to be rezoned to Schedule 3 to the Residential Growth Zone by Amendment C182. These areas are now proposed to be rezoned to Schedule 3 to the General Residential Zone by Amendment C213.

This report includes an officer response to the 173 submissions received during the statutory exhibition of Amendment C213 and seeks a Council resolution to note the above and refer the unresolved submissions to an independent Planning Panel Hearing.

#### **Recommendation Summary**

This report recommends that Council receives the submissions in relation to Amendment C213 and resolves to continue the statutory process of the amendment by requesting the Minister for Planning appoint an independent Planning Panel and refer the unresolved submissions to a Planning Panel Hearing.

**2.4.2 Planning Scheme Amendment C213 - Consideration of Submissions and Request for the Minister for Planning to Appoint a Planning Panel (Cont.)****Background**

In 2015, Council sought to make changes to the planning rules relating to residential development in the Residential Growth Zone and General Residential Zone. These changes were known as Amendment C182. In December 2017, the Minister for Planning approved part of Amendment C182 and requested Council do further work in regards to the proposed introduction of the Residential Growth Zone Schedule 3 (RGZ3).

In the interim, the Minister approved VC110 which amended Clause 72 of all planning schemes across Victoria to introduce a new general term, minimum garden area requirement and specified a default maximum building height of 11 metres and 3 storeys for a dwelling or residential building in the General Residential Zone.

Subsequent to these events, Amendment C213 (the Amendment, as exhibited) proposes to implement the objectives of the remaining components of Amendment C182 for those areas originally proposed to be RGZ3 (by Amendment C182), around the core activity centres, and rezone these areas to be General Residential Zone – Schedule 3 (GRZ3). The GRZ3 seeks to achieve the same built form outcomes as previously proposed by the RGZ3 through the application of a mandatory maximum building height instead of a discretionary control.

As detailed in the Explanatory Report (at **Attachment 1**) Amendment C213 proposes to:

- introduce a new Schedule 3 to the Clause 32.08 (General Residential Zone) for land in the 'Incremental Change – Residential Transition Area';
- rezone identified areas around the core activity centres to General Residential Zone Schedule 3 (GRZ3);
- remove the Minimum Garden Area requirement in the GRZ3;
- apply the default maximum building height of 11 metres and 3 storeys in the GRZ3;
- increase the minimum size of balconies from 8m<sup>2</sup> to 10m<sup>2</sup> and increase the minimum width from 1.6m to 2m for those areas being rezoned from RGZ1 to GRZ3;
- reduce the minimum size of private open space from 50m<sup>2</sup> to 40m<sup>2</sup> with the secluded part reduced from 30m<sup>2</sup> to 25m<sup>2</sup> (with the minimum dimension reduced from 5m to 3m) for those areas being rezoned from GRZ1 to GRZ3.
- making consequential changes to Clauses 21.03, 21.04 and 22.09 in the Local Planning Policy Framework; and
- amend Planning Scheme Maps 1, 4, 5 and 6.

**2.4.2 Planning Scheme Amendment C213 - Consideration of Submissions and Request for the Minister for Planning to Appoint a Planning Panel (Cont.)**

The table below (Table 1) shows the proposed planning controls to be included in Clause 32.08 General Residential Zone Schedule 3 (GRZ3).

<b>General Residential Zone Schedule 3 (GRZ3)</b> <b>'Residential Transition Areas'</b> <i>(Amendment C213 Proposed)</i>	
<b>Change Classification</b>	Incremental Change Area
<b>Building Height (Maximum building height requirement for a dwelling or residential building)</b>	11m (mandatory)
<b>Minimum Garden Area</b>	Exempt
<b>Minimum Street Setback</b>	As per ResCode or 5 metres, whichever is lesser
<b>Site Coverage</b>	Up to 70%
<b>Permeability</b>	As per ResCode
<b>Landscaping</b>	Multiple Dwellings – 70% of ground level front setback, and side and rear setbacks, to be planted with substantial landscaping and canopy trees.
<b>Side and Rear Setback</b>	As per ResCode
<b>Walls on boundaries</b>	As per ResCode
<b>Private Open Space</b>	Multiple dwellings open space min. of 40m <sup>2</sup> with secluded part min. 25m <sup>2</sup> , min. dimensions of 3m
	Balconies: minimum area 10m <sup>2</sup> , minimum width 2m
	Rooftop Area of 10m <sup>2</sup> , min. dimensions of 2m
<b>Front Fence Height</b>	No change proposed (as per ResCode)

**Table 1: Proposed planning controls for General Residential Zone Schedule 3**

Table 1: Proposed planning controls for General Residential Zone Schedule 3

Planning Scheme Amendment C213 (as exhibited) seeks to implement the objectives originally proposed in 2015 by Amendment C182 which were reviewed and endorsed by the C182 Planning Panel, and those recommended in the *Greater Dandenong Residential Planning Policy and Controls Project 2015*.

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### 2.4.2 Planning Scheme Amendment C213 - Consideration of Submissions and Request for the Minister for Planning to Appoint a Planning Panel (Cont.)

Amendment C213 gave notification in accordance with the requirements of the *Planning and Environment Act 1987*, and was placed on public exhibition for a period of four weeks from 16 May to 14 June 2019.

Letters were sent to owners, occupiers and Prescribed Ministers. In addition, the Amendment was advertised to the broader community through:

- Formal notice in the local newspapers (Dandenong Journal and Dandenong Leader) and Government Gazette;
- Notice on Council's website; and
- Explanatory folders at all Council Customer Service Centres.

Materials available during the exhibition included a Frequently Asked Questions and Fact Sheet along with the standard documents required.

#### Submissions

A total of 173 submissions were received in response to the exhibition period for Amendment C213, seven of which were received after the exhibition period had closed, but have been included in the final analysis.

From the officers' analysis, 61 submissions supported the amendment without changes, 101 submissions supported the amendment with changes, 10 objected to the amendment and 1 response was unclear.

The 101 submissions requested the following specific changes, however supported the overall intent of the amendment:

- Building height in the General Residential Zone 3 (GRZ3) should be limited to two storeys to avoid overshadowing and adverse amenity impacts
- Minimum Garden Area requirement should be retained
- Concerns regarding car parking and traffic congestion
- South side of Herbert St Dandenong should also be rezoned to General Residential Zone Schedule 3 (GRZ3)
- Wording of Clause 32.08 General Residential Zone Schedule 3 (GRZ3)
- Wording of Clause 22.09 Residential Development and Neighbourhood Character.

Ten submissions objected to the proposed three storey height limit. Eight considered this building height is too high due to concerns about overshadowing, loss of amenity and neighbourhood character. The remaining two objections considered the proposed building height is too low and should remain unchanged to enable higher development.

**Attachment 4** summarises each submission and **Attachment 5** details the recommended Council approach and response. Given the significant strategic work undertaken by Council since 2015 to ensure that medium to high density housing is built in the right locations and to achieve a transition

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### **2.4.2 Planning Scheme Amendment C213 - Consideration of Submissions and Request for the Minister for Planning to Appoint a Planning Panel (Cont.)**

of built form surrounding each activity centre, the submissions requesting changes to the amendment are not supported by Officers. Furthermore, some of the submissions are in direct contrast to each other so cannot be resolved.

**Subsequently, a total of 111 submissions are recommended to be referred to a Planning Panel Hearing (101 supported with changes and 10 objections). It is anticipated that not all submitters will request to be heard by a future Planning Panel.**

#### **Proposal**

Section 23 of the *Planning and Environment Act 1987* governs the process for a planning authority to progress a planning scheme amendment.

After considering submissions which request a change to the Amendment, the planning authority (Council) has the following options:

1. Ask the Minister for Planning to appoint an independent panel to review the submissions, conduct a public hearing, consider the Amendment, and prepare an independent report with recommendations about the Amendment for Council to consider;
2. Change the Amendment as requested in the submissions and proceed to ask the Minister for Planning to approve it in a modified form; or
3. Abandon the Amendment.

Officers are recommending that no changes be made to Amendment C213 (as exhibited) as a result of the submissions, therefore Option 2 is not considered appropriate. Further, it is not recommended that Council abandon the Amendment as a great deal of strategic work has been undertaken and the Amendment aims to implement the final objectives of Amendment C182.

It is considered appropriate for Council to refer the unresolved submissions to a Planning Panel. The process also provides further opportunity for submitters to be heard on the matter. Therefore, Option 1 is recommended.

### **Community Plan 'Imagine 2030' and Council Plan 2017-21 – Strategic Objectives, Strategies and Plans**

After consultation with the Greater Dandenong community on what kind of future they wanted to see for themselves and the City in 2030, the result was the Greater Dandenong Community Plan 'Imagine 2030'. This report is consistent with the following community visions:

#### **Community Plan 'Imagine 2030'**

##### People

- *Pride* – Best place best people

##### Place

- *Sense of Place* – One city many neighbourhoods
- *Safety in Streets and Places* – Feeling and being safe

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### **2.4.2 Planning Scheme Amendment C213 - Consideration of Submissions and Request for the Minister for Planning to Appoint a Planning Panel (Cont.)**

- *Appearance of Places* – Places and buildings
- *Travel and Transport* – Easy to get around

#### Opportunity

- *Leadership by the Council* – The leading Council

### **Council Plan 2017-21**

The Council Plan describes the kind of future the Council is working for, and how Council will do this over four years. This report is consistent with the following goals:

#### Place

- A healthy, liveable and sustainable city
- A city planned for the future

#### Opportunity

- An open and effective Council

The strategies and plans that contribute to these outcomes are as follows:

- Greater Dandenong Housing Strategy 2014-2024 (2014)

### **Related Council Policies**

- Community Engagement Policy and Framework

### **Victorian Charter of Human Rights and Responsibilities**

All matters relevant to the Victorian Human Rights Charter have been considered in the preparation of this report and are consistent with the standards set by the Charter.

### **Financial Implications**

Planning Scheme Amendment C213 has been budgeted for in this financial year and considered as part of the Long Term Financial Strategy.

### **Consultation**

Notification of the Amendment was given in accordance with the requirements of the *Planning and Environment Act, 1987*.

Should Council determine to refer the unresolved submissions to a Planning Panel, submitters will be invited to participate in the Panel Hearing process.

**2.4.2 Planning Scheme Amendment C213 - Consideration of Submissions and Request for the Minister for Planning to Appoint a Planning Panel (Cont.)****Conclusion**

Planning Scheme Amendment C213 was publicly exhibited from 16 May to 14 June 2019. As a result 173 submissions were received, with 111 submissions unable to be resolved

It is now considered appropriate to request the Minister for Planning to appoint an independent Planning Panel and refer the unresolved submissions to a Planning Panel Hearing.

**Recommendation****That Council:**

1. **receives all submissions made in response to the statutory exhibition of Planning Scheme Amendment C213 to the Greater Dandenong Planning Scheme;**
2. **adopts the position on the submissions, as set out in this report, with no change to the amendment;**
3. **requests the Minister for Planning appoint a Panel pursuant to Section 153 of the Planning and Environment Act 1987 to consider the submissions received in response to exhibition of Amendment C213; and**
4. **advises all submitters accordingly.**

**2.4.2 Planning Scheme Amendment C213 - Consideration of Submissions and Request for the Minister for Planning to Appoint a Planning Panel (Cont.)**

**POLICY AND STRATEGY**

**PLANNING SCHEME AMENDMENT C213 - CONSIDERATION OF  
SUBMISSIONS AND REQUEST FOR THE MINISTER FOR PLANNING TO  
APPOINT A PLANNING PANEL**

**ATTACHMENT 1**

**EXPLANATORY REPORT**

**PAGES 7 (including cover)**

*If the details of the attachment are unclear please contact Governance on 8571 5235.*

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## 2.4.2 Planning Scheme Amendment C213 - Consideration of Submissions and Request for the Minister for Planning to Appoint a Planning Panel (Cont.)

*Planning and Environment Act 1987*

### GREATER DANDENONG PLANNING SCHEME

#### AMENDMENT C213

#### EXPLANATORY REPORT

##### Who is the planning authority?

This amendment has been prepared by the Greater Dandenong City Council, which is the planning authority for this amendment.

The amendment has been made at the request of the Greater Dandenong City Council.

##### Land affected by the Amendment

The Amendment applies to residential land surrounding the Dandenong, Springvale and Noble Park Activity Centres which was generally proposed to be rezoned to Schedule 3 to the Residential Growth Zone by Amendment C182; except for land currently zoned Schedule 2 to the Residential Growth Zone surrounding Noble Park Activity Centre.

##### What the amendment does

The Amendment finalises the implementation of the fundamental recommendations of the *Greater Dandenong Residential Planning Policy and Controls Project 2015*.

More specifically, the Amendment:

- Amends *Clause 21.03 A Vision for Greater Dandenong and Clause 21.04 Land Use*, by replacing the Strategic Residential Framework Maps to reflect the refined Residential Framework Plans.
- Amends *Clause 22.09 Residential Development and Neighbourhood Character Policy* to reflect the refined Residential Framework Plans and provide improved future character statements and stronger design principles for the incremental change area.
- Inserts a new Schedule 3 to Clause 32.08 (General Residential Zone) for land in the Incremental Change – Transition Area.
- Rezones the following land from Schedule 1 to Clause 32.07 (Residential Growth Zone 1) to Schedule 3 to Clause 32.08 (General Residential Zone 3):
  - Area generally bounded by Hemmings Street, Railway Parade, Jones Road, Potter Street, 7 & 8 Keppel Court and 71B Scott Street, Dandenong;
  - Area generally bounded by Osborne Street, Gwenda Street, 8 James Street, and David Street, Dandenong.
  - 2 – 14 Day Street, Dandenong.
  - Area generally bounded by 14 - 40 Stud Road, 96 – 106 Herbert Street, Sunnyside Avenue, Clement Street, 75 – 81 Clow Street, Foster Street East, Ronald Street, Power Street, 55 - 69 Pultney Street, 62 & 63 Langhorne Street, 80 and 77- 91 McCrae Street, 25 New Street, 1 – 7 & 8 Masters Street, Dandenong;
  - Area generally bounded by Corrigan Road, Heatherton Road, 2 – 12 Joy

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## ORDINARY COUNCIL MEETING - AGENDA

**2.4.2 Planning Scheme Amendment C213 - Consideration of Submissions and Request for the Minister for Planning to Appoint a Planning Panel (Cont.)**

- Parade, Frank Street, Noble Street, Leonard Avenue, Stuart Street, Douglas Street, 2 – 20 Thomas Street, 21 & 22 Stuart Street, 25A Leonard Avenue, 54 - 60 Buckley Street, and Noble Street, Noble Park;
- Area generally bounded by Princess Avenue, Queens Avenue, Victoria Avenue, St James Avenue, Albert Avenue and Balmoral Avenue, Springvale;
  - Area generally bounded by Watt Street, Parsons Avenue, Whitworth Avenue, and Springvale Road, Springvale;
  - Area generally bounded by Lucian Avenue, Mary Street, Lascelles Street, Rosalie Street, Wales Street, Virginia Street and Edmond Street, Springvale; and
  - Area generally bounded by Springvale Road, Springvale Rise Primary School, Elm Grove, Lightwood Road, View Road, Hillcrest Grove and Grace Park Avenue, Springvale.
- Rezones the following land from Schedule 1 to Clause 32.08 (General Residential Zone 1) to Schedule 3 to Clause 32.08 (General Residential Zone 3):
    - Area bounded by Regent Avenue, Queens Avenue, Princess Avenue and Osborne Avenue, Springvale; and
    - Area bounded by Virginia Street, Merton Street, Sandown Road and the Springvale Park Special Development School, Springvale.
  - Rezones part of the land at Mills Reserve 1162-1170 Heatherton Road, Noble Park from Schedule 1 to Clause 32.07 (Residential Growth Zone 1) to Clause 36.02 (Public Park & Recreation Zone).
  - Amends the Planning Scheme Maps accordingly.

**Strategic assessment of the Amendment****Why is the Amendment required?**

Amendment C182 (Part 1) (gazetted on 21 December 2017) implemented recommendations of the *Greater Dandenong Residential Planning Policy and Controls Project 2015*, except for all parts associated with the proposed Residential Growth Zone Schedule 3.

This amendment makes changes to Clause 22.09 *Residential Development and Neighbourhood Character Policy*, to reflect the introduction of the new Schedule 3 to Clause 32.08 General Residential Zone.

The changes to the Residential Zones implemented by Amendment VC110 (gazetted 27 March 2017) and Amendment VC143 (gazetted 15 May 2018) required the Residential Framework Plans to be revisited to ensure the proposed controls achieve the intended transition of built form. As a result, areas of land currently within the Substantial Change Area have now been identified as more appropriate to support the built form outcomes associated with the Incremental Change Area for the following reasons:

**Dandenong:**

- to provide a transition in built form between the Substantial Change and Incremental Change areas;
- to support housing growth and change;
- limited redevelopment potential due to small lot sizes and/or multi-unit development; and

## ORDINARY COUNCIL MEETING - AGENDA

**2.4.2 Planning Scheme Amendment C213 - Consideration of Submissions and Request for the Minister for Planning to Appoint a Planning Panel (Cont.)**

- to encourage more intensive development both within and in close proximity to the Dandenong MAC.

*Springvale:*

- to provide a transition in built form between the Substantial Change and Incremental Change areas;
- limited redevelopment potential due to small lot sizes, narrow road widths, cul-de-sacs and/or existing multi-unit development; and
- to encourage more intensive development both within and in close proximity to the Springvale activity centre.

*Noble Park:*

- to provide a transition in built form between the Substantial Change and Incremental Change areas;
- to ensure future residential developments consider and respond to a distinct and intact neighbourhood character ; and
- to encourage more intensive development in the Noble Park Activity Centre.

The amendment is required to reflect this revised assessment and Council's desired built form outcomes by rezoning some land in Dandenong, Springvale and Noble Park from Residential Growth Zone to General Residential Zone as appropriate. As such, the Amendment introduces a new Schedule 3 to the General Residential Zone.

The introduction of General Residential Zone Schedule 3 is required to enable the minimum garden area requirement to be switched off in order to enable a transition of built form from the Residential Growth Zone to the General Residential Zone Schedule 1. The variations to ResCode requirements remain the same as those previously sought via Residential Growth Zone Schedule 3. In addition, the application of the General Residential Zone allows for the intended three storey height limit making it possible to implement the revised Residential Framework.

The rezoning of some General Residential Zone Schedule 1 land in Springvale to General Residential Zone Schedule 3 is required to take advantage of the improved accessibility of the land to the Springvale Activity Centre and Springvale Railway Station and connectivity of the local road network as a result of the Springvale Road Grade Separation. The rezoning of these areas also responds to the diversity of the existing built form.

The rezoning of identified land near the Dandenong, Noble Park and Springvale activity centres will not compromise Council's ability to accommodate the forecast growth for the municipality.

The rezoning of part of the land at Mills Reserve, Noble Park to the Public Park & Recreation Zone corrects a mapping anomaly.

**How does the Amendment implement the objectives of planning in Victoria?**

The amendment implements the objectives in section 4 of the *Planning and Environment Act 1987* by providing fair, orderly, economic and sustainable use and development of land and by balancing the present and future interests of all Victorians.

**How does the Amendment address any environmental, social and economic effects?**

The amendment will ensure the continued provision of a variety of housing types that meet high design and amenity standards, in appropriate locations to accommodate expected

ORDINARY COUNCIL MEETING - AGENDA

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**2.4.2 Planning Scheme Amendment C213 - Consideration of Submissions and Request for the Minister for Planning to Appoint a Planning Panel (Cont.)**

population growth.

The amendment will generate positive environmental, social and economic effects by providing more certainty to the community and development industry about expected and desired outcomes for specific areas in order to achieve a transition of built form.

The amendment will facilitate appropriate zoning of land around the three main activity centres, in accordance with the revised Residential Framework, which will protect areas with a valued neighbourhood character and enable Council to better manage residential development throughout the municipality while ensuring sufficient capacity for future housing growth.

**Does the Amendment address relevant bushfire risk?**

The amendment does not affect land in a bushfire prone area.

**Does the Amendment comply with the requirements of any Minister's Direction applicable to the amendment?**

The Amendment complies with all Ministerial Directions issued under section 12 of the Act and the *Ministerial Direction on the Form and Content of Planning Schemes* issued under section 7(5) of the Act.

**How does the Amendment support or implement the Planning Policy Framework and any adopted State policy?**

The amendment is consistent with, and gives effect to, the following clauses forming part of the Planning Policy Framework:

- Clause 11 - Settlement
- Clause 15 - Built Environment and Heritage
- Clause 16 - Housing
- Clause 17 - Economic Development; and
- Clause 18 - Transport

In particular, the refinement of detailed design principles in Clause 22.09 supports Clause 15.01-2s -Building Design which seeks:

*To achieve building design outcomes that contribute positively to local context and enhance the public realm.*

The amendment also gives effect to *Plan Melbourne*, the Victorian Government's metropolitan planning strategy, by:

- Ensuring new housing is in the right locations to meet population growth and create a sustainable city.
- Delivering more housing closer to jobs and public transport.
- Facilitating decision-making processes for housing in the right locations.
- Providing greater choice and diversity of housing.

The amendment ensures that Greater Dandenong will continue to facilitate sustainable development in line with the identified future character and level of change, with opportunities for higher density development in areas that can accommodate growth.

ORDINARY COUNCIL MEETING - AGENDA

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**2.4.2 Planning Scheme Amendment C213 - Consideration of Submissions and Request for the Minister for Planning to Appoint a Planning Panel (Cont.)****How does the Amendment support or implement the Local Planning Policy Framework, and specifically the Municipal Strategic Statement?**

The amendment is consistent with and gives effect to the Local Planning Policy Framework of the Greater Dandenong Planning Scheme.

The amendment will ensure residential development is consistent with the identified future character and preferred built form outcomes for each Future Change Area as identified in the Strategic Residential Framework of the Municipal Strategic Statement.

The Local Planning Policy at *Clause 22.09 Residential Development and Neighbourhood Character* provides guidance on the Future Change Areas and on improving the quality of residential development which has regard for the surrounding environment and better built form.

**Does the Amendment make proper use of the Victoria Planning Provisions?**

The amendment makes proper use of the Victoria Planning Provisions by applying controls consistent with the form and content of the VPPs to facilitate appropriate residential zoning and policy.

**How does the Amendment address the views of any relevant agency?**

The views of relevant agencies were incorporated following the exhibition of Amendment C182.

**Does the Amendment address relevant requirements of the Transport Integration Act 2010?**

The amendment supports the principles of integrated land use and transport planning by recognising that transport plays an important role in developing social and economic inclusion. The amendment seeks to continue to encourage medium and higher density housing in areas close to activity centres where people have good access to public transport and services.

**Resource and administrative costs****What impact will the new planning provisions have on the resource and administrative costs of the responsible authority?**

The amendment will provide a more efficient use of existing resources as it will enable residential development issues to be addressed in a consistent manner, providing clearer guidance and greater certainty for the community, developers, regulators and decision makers regarding the desired built form outcomes sought.

**Where you may inspect this Amendment**

The Amendment is available for public inspection, free of charge, during office hours at the following places:

- City of Greater Dandenong Customer Service located at 225 Lonsdale Street, Dandenong,
- City of Greater Dandenong Springvale Customer Service located at 397-405 Springvale Road, Springvale,

ORDINARY COUNCIL MEETING - AGENDA

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**2.4.2 Planning Scheme Amendment C213 - Consideration of Submissions and Request for the Minister for Planning to Appoint a Planning Panel (Cont.)**

- City of Greater Dandenong, Paddy O'Donoghue Centre, 18-32 Buckley Street, Noble Park,
- Keysborough Customer Service Centre, Shop A7 Parkmore Shopping Centre, Cheltenham Rd, Keysborough.

The Amendment can also be inspected free of charge at:

- City of Greater Dandenong website at [www.greaterdandenong.com](http://www.greaterdandenong.com)
- Department of Environment, Land, Water and Planning website at [www.planning.vic.gov.au/public-inspection](http://www.planning.vic.gov.au/public-inspection).

**Submissions**

Any person who may be affected by the Amendment may make a submission to the planning authority. Submissions about the Amendment must be received by 14 June 2019.

A submission must be sent to:

**Preferred method:** Email submission sent to: [council@cgd.vic.gov.au](mailto:council@cgd.vic.gov.au)

Or

Strategic Planning Amendment C213  
City of Greater Dandenong  
PO Box 200  
DANDENONG VIC 3175

**Panel hearing dates**

In accordance with clause 4(2) of Ministerial Direction No.15 the following panel hearing dates have been set for this amendment:

- directions hearing: week of 2 September 2019
- panel hearing: week of 30 September 2019

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**2.4.2 Planning Scheme Amendment C213 - Consideration of Submissions and Request for the Minister for Planning to Appoint a Planning Panel (Cont.)**

**POLICY AND STRATEGY**

**PLANNING SCHEME AMENDMENT C213 - CONSIDERATION OF  
SUBMISSIONS AND REQUEST FOR THE MINISTER FOR PLANNING TO  
APPOINT A PLANNING PANEL**

**ATTACHMENT 2**

**CLAUSE 32.08 GENERAL RESIDENTIAL ZONE SCHEDULE 3**

**PAGES 3 (including cover)**

*If the details of the attachment are unclear please contact Governance on 8571 5235.*

**2.4.2 Planning Scheme Amendment C213 - Consideration of Submissions and Request for the Minister for Planning to Appoint a Planning Panel (Cont.)**

GREATER DANDENONG PLANNING SCHEME

--/20--  
 Proposed  
 C213

**SCHEDULE 3 TO CLAUSE 32.08 GENERAL RESIDENTIAL ZONE**

Shown on the planning scheme map as **GRZ3**.

**RESIDENTIAL TRANSITION AREAS**

**1.0 Neighbourhood character objectives**

--/20--  
 Proposed  
 C213

To ensure the scale, built form and setbacks of residential developments respond to the existing site circumstances by respecting the predominant built form, façade and street patterns.

To provide appropriate front, side and rear setbacks to allow for substantial high quality landscaping and canopy trees.

To maximise the opportunities to create high quality landscaping, through minimal paving and hard surfaces within front setbacks.

To ensure vehicle accessways and storage facilities do not visually dominate the streetscape.

To ensure that residential development achieves high quality useable private open space outcomes for future residents.

**2.0 Construction or extension of a dwelling or residential building - minimum garden area requirement**

--/20--  
 Proposed  
 C213

**Is the construction or extension of a dwelling or residential building exempt from the minimum garden area requirement?**  
 Yes

**3.0 Permit requirement for the construction or extension of one dwelling or a fence associated with a dwelling on a lot**

--/20--  
 Proposed  
 C213

**Is a permit required to construct or extend one dwelling on a lot of between 300 and 500 square metres?**  
 No

**Is a permit required to construct or extend a front fence within 3 metres of a street associated with a dwelling on a lot of between 300 and 500 square metres?**  
 No

**4.0 Requirements of Clause 54 and Clause 55**

--/20--  
 Proposed  
 C213

	Standard	Requirement
<b>Minimum street setback</b>	A3 and B6	As per A3 (where appropriate) As per B6 or 5 metres, whichever is lesser
<b>Site coverage</b>	A5 and B8	Maximum of 70%
<b>Permeability</b>	A6 and B9	None specified
<b>Landscaping</b>	B13	70% of ground level front setback, and side and rear setbacks, planted with substantial landscaping and canopy trees
<b>Side and rear setbacks</b>	A10 and B17	None specified

## ORDINARY COUNCIL MEETING - AGENDA

**2.4.2 Planning Scheme Amendment C213 - Consideration of Submissions and Request for the Minister for Planning to Appoint a Planning Panel (Cont.)**

## GREATER DANDENONG PLANNING SCHEME

	Standard	Requirement
<b>Walls on boundaries</b>	A11 and B18	None specified
<b>Private open space</b>	A17	None specified
	B28	An area of 40 square metres, with one part of the private open space to consist of secluded private open space at the side or rear of the dwelling with a minimum area of 25 square metres, a minimum dimension of 3 metres and convenient access from a living room; or A balcony with a minimum area of 10 square metres with a minimum width of 2 metres and convenient access from a living room; or A roof-top area of 10 square metres with a minimum width of 2 metres and convenient access from a living room.
<b>Front fence height</b>	A20 and B32	Maximum 1.5 metre height in streets in Road Zone Category 1. Maximum 1.2 metre height for other streets.

**5.0 Maximum building height requirement for a dwelling or residential building**

--/20--  
Proposed C213

None specified.

**6.0 Application requirements**

--/20--  
Proposed  
C213

The following application requirements apply to an application for a permit under Clause 32.08, in addition to those specified in Clause 32.08 and elsewhere in the scheme and must accompany an application, as appropriate, to the satisfaction of the responsible authority:

- A Traffic and Transport Report detailing, but not limited to:
  - An assessment of the traffic generation and potential effects that the proposed development may have on the surrounding road network;
  - A plan showing existing traffic and junction conditions; mitigation treatments; pedestrian network including access routes to public transport.
- A Waste and Recycling Site Assessment and Plan showing, but not limited to:
  - On-site waste and recycling storage location and dimensions;
  - Waste and recycling collection location and dimensions; and
  - Details of waste and recycling maintenance and management.
- A Landscape Plan showing, but not limited to:
  - vegetation to be retained, both on-site and adjacent to the site;
  - location of new planting and proposed species, and
  - details of landscape maintenance and management, including water sensitive design principles.
- A schedule of all building materials and finishes, including colours, to the satisfaction of the responsible authority.

**7.0 Decision guidelines**

--/20--  
Proposed  
C213

The following decision guidelines apply to an application for a permit under Clause 32.08, in addition to those specified in Clause 32.08 and elsewhere in the scheme which must be considered, as appropriate, by the responsible authority:

- Whether the development might adversely impact on an item of heritage significance; and
- Whether the development respects the neighbourhood character of the area.

**2.4.2 Planning Scheme Amendment C213 - Consideration of Submissions and Request for the Minister for Planning to Appoint a Planning Panel (Cont.)**

**POLICY AND STRATEGY**

**PLANNING SCHEME AMENDMENT C213 – CONSIDERATION OF  
SUBMISSIONS AND REQUEST FOR THE MINISTER FOR PLANNING TO  
APPOINT A PLANNING PANEL**

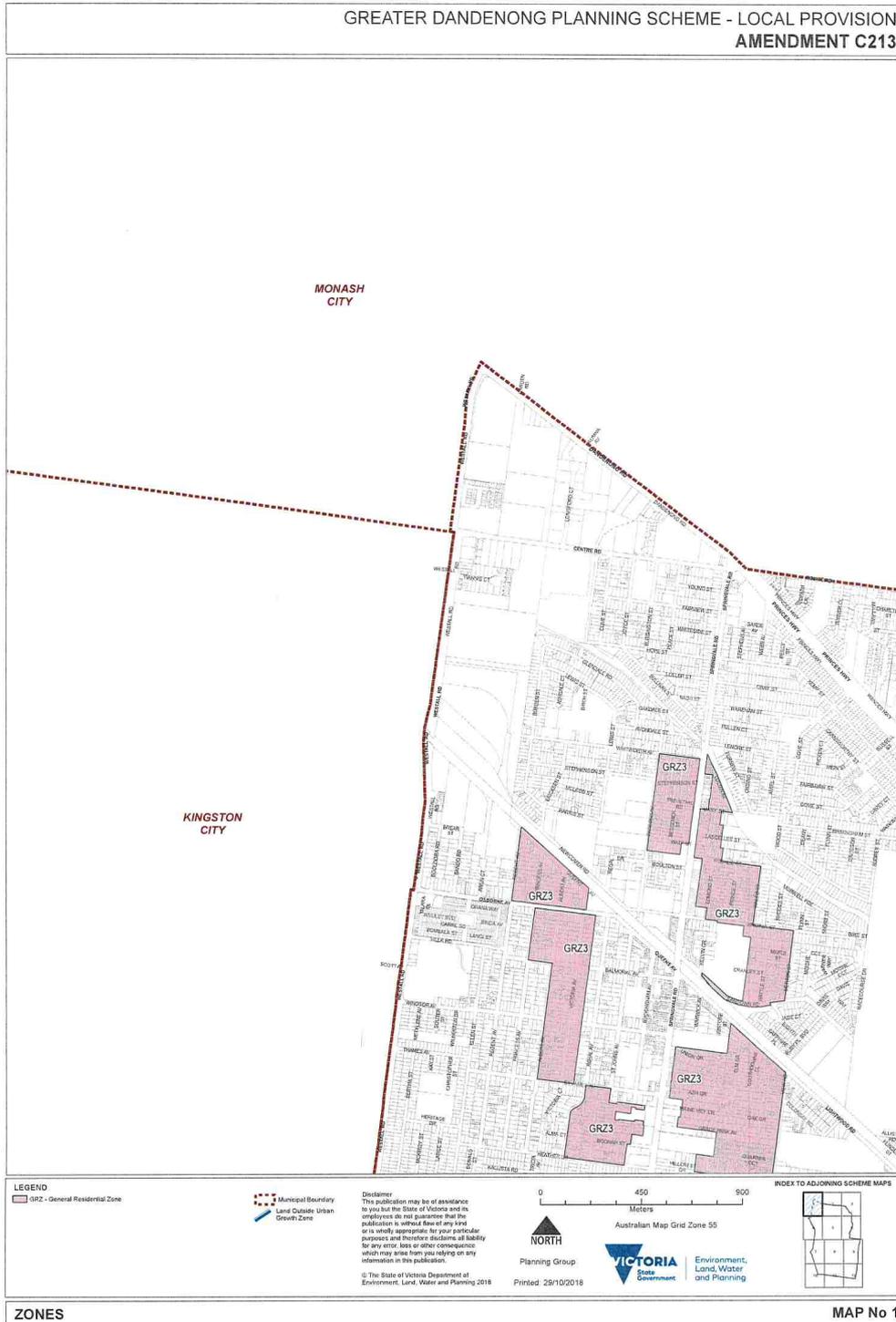
**ATTACHMENT 3**

**PLANNING SCHEME MAPS 1, 4, 5 AND 6**

**PAGES 5 (including cover)**

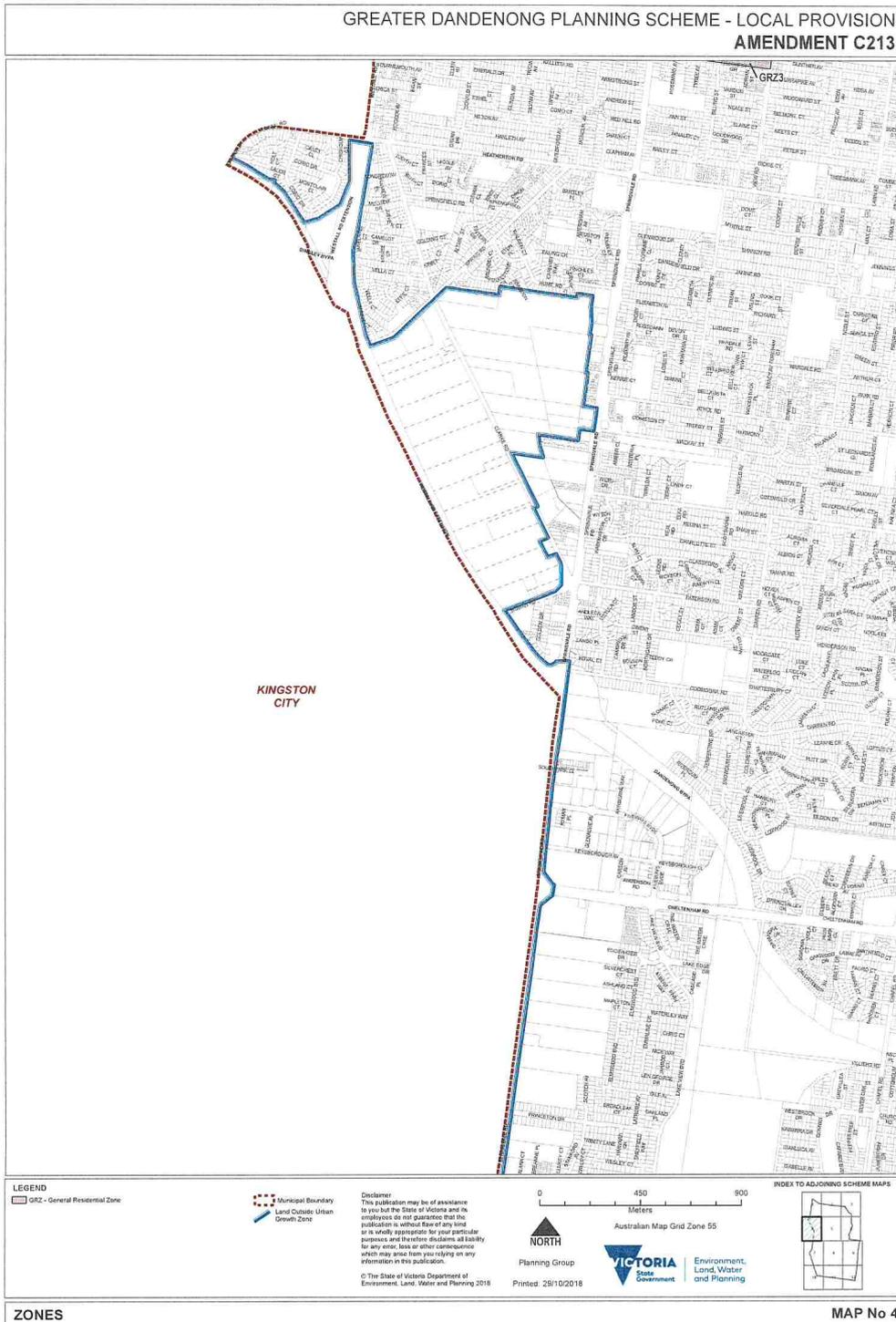
*If the details of the attachment are unclear please contact Governance on 8571 5235.*

**2.4.2 Planning Scheme Amendment C213 - Consideration of Submissions and Request for the Minister for Planning to Appoint a Planning Panel (Cont.)**



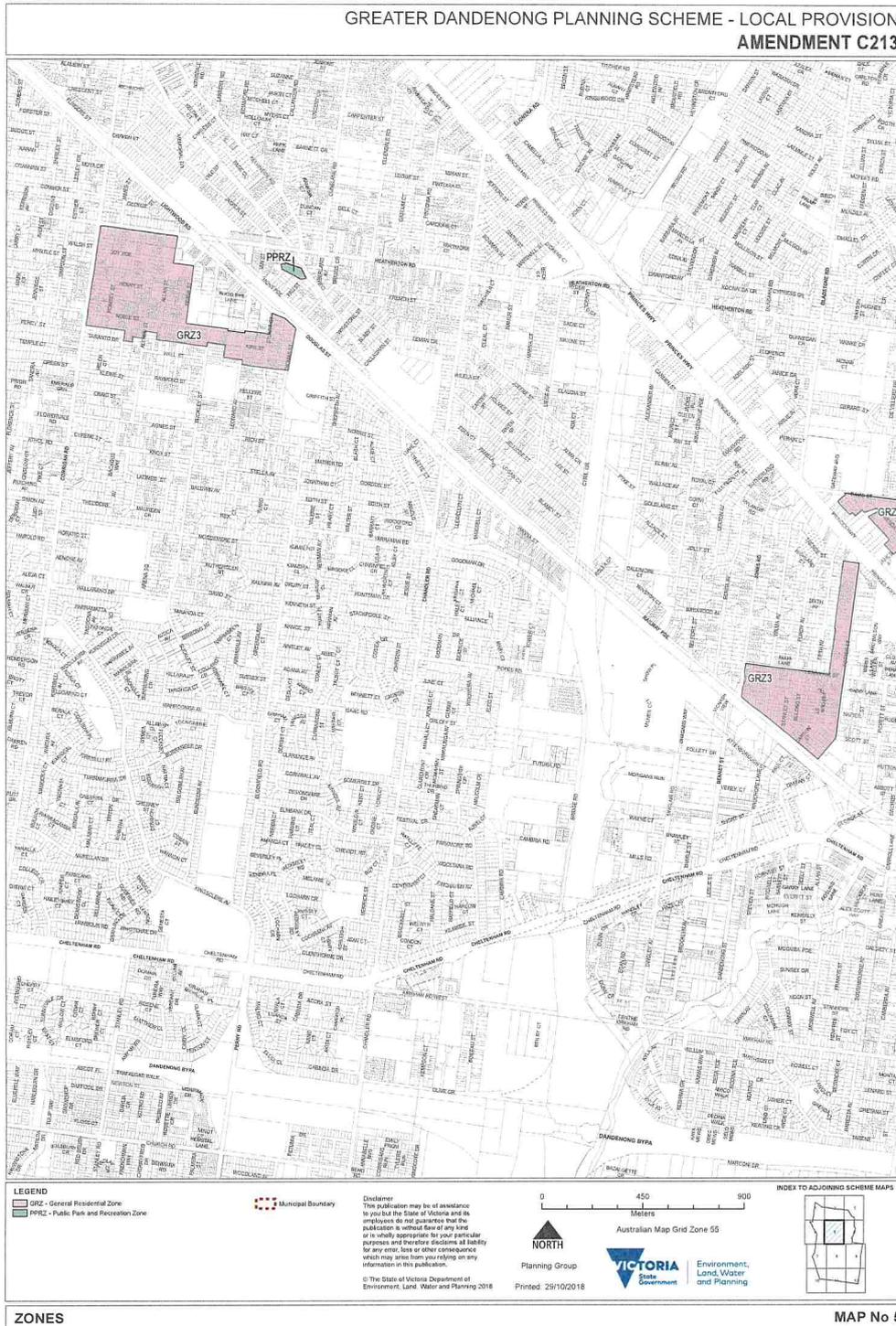
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2.4.2 Planning Scheme Amendment C213 - Consideration of Submissions and Request for the Minister for Planning to Appoint a Planning Panel (Cont.)



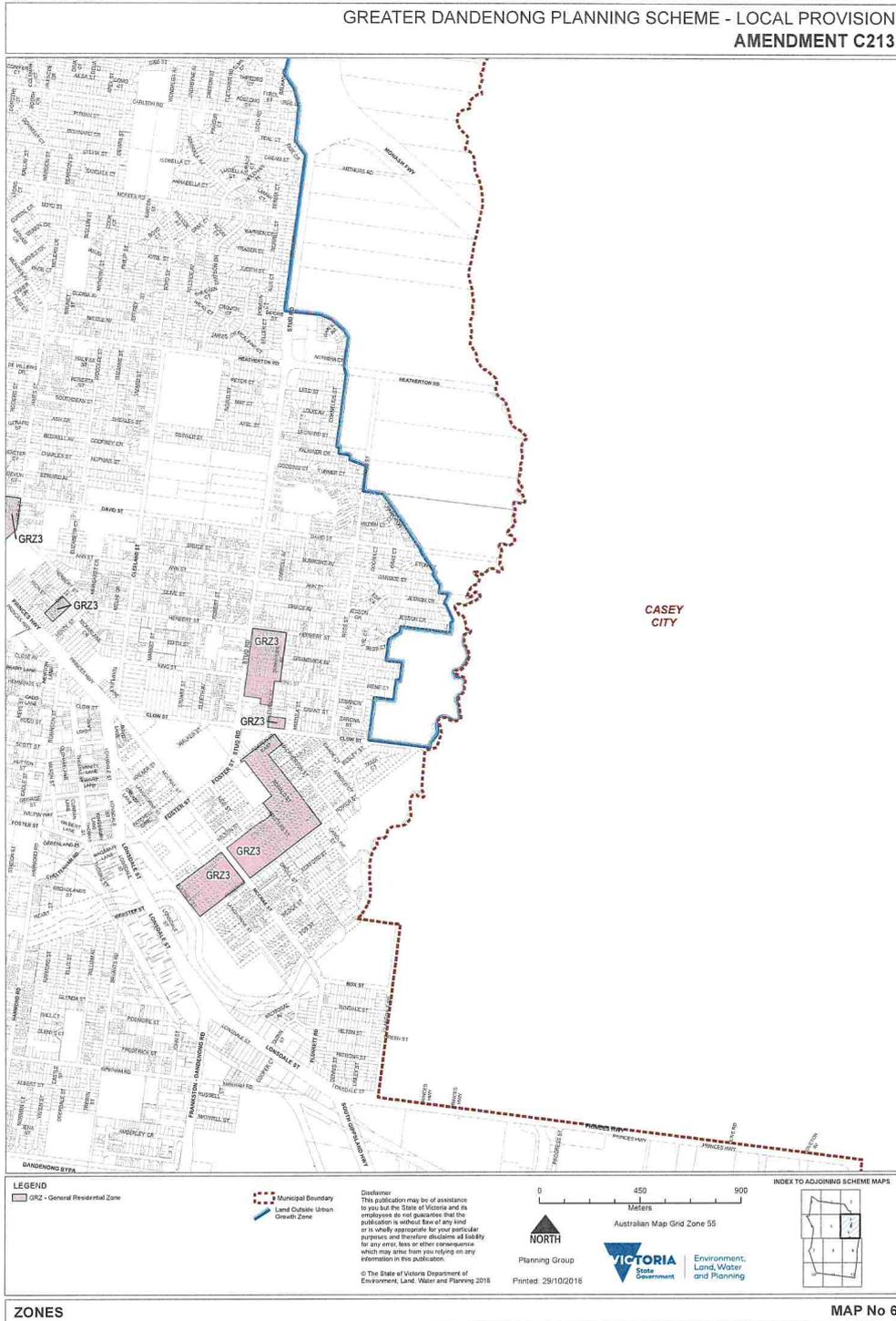
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2.4.2 Planning Scheme Amendment C213 - Consideration of Submissions and Request for the Minister for Planning to Appoint a Planning Panel (Cont.)



ORDINARY COUNCIL MEETING - AGENDA

2.4.2 Planning Scheme Amendment C213 - Consideration of Submissions and Request for the Minister for Planning to Appoint a Planning Panel (Cont.)



**2.4.2 Planning Scheme Amendment C213 - Consideration of Submissions and Request for the Minister for Planning to Appoint a Planning Panel (Cont.)**

**POLICY AND STRATEGY**

**PLANNING SCHEME AMENDMENT C213 – CONSIDERATION OF  
SUBMISSIONS AND REQUEST FOR THE MINISTER FOR PLANNING TO  
APPOINT A PLANNING PANEL**

**ATTACHMENT 4**

**SUMMARY OF SUBMISSIONS**

**PAGES 3 (including cover)**

*If the details of the attachment are unclear please contact Governance on 8571 5235.*

ORDINARY COUNCIL MEETING - AGENDA

**2.4.2 Planning Scheme Amendment C213 - Consideration of Submissions and Request for the Minister for Planning to Appoint a Planning Panel (Cont.)**

Attachment 4 - Summary of Submissions (Refer to Attachment 5 for Officer Responses against each Identified Theme)				
Submitter No.	Supports	Changes Requested	Objection	Theme
1, 55	Support lower building heights			Building height in General Residential Zone 3
2, 3	Supports lower building heights	Request 2 storeys instead of 3 storeys due to significant traffic management issues along Clement Street. Submission queried the qualitative wording of a Design Principle under Clause 22.09-3-3 regarding separation at upper levels. This can be managed under the ResCode requirements. Opportunity to revisit the proposed Neighbourhood Character objectives included in the GRZ3, to make clear the difference between GRZ1 and GRZ2. This could be in the form of a new objective acknowledging the preferred transitional nature of the zone (i.e. encouraging developments up to 3 storeys or the like). Is the variation to Standard B28 (balcony area) necessary? Submits the outcome is delivered through Clause 55.07 and existing wording. Submission queries the inclusion of the decision guidelines to GRZ3 'Whether the development might adversely impact on an item of heritage significance'. This appears vague as could refer to a heritage building on the site, or on surrounding sites. Suggests to clarify or leave this to be managed under a Heritage Overlay.	Car parking and traffic congestion Query regarding the design principles for Clause 22.09 Residential Development and Neighbourhood Character Request changes to the Neighbourhood Character Objectives for GRZ3	
4	Supports the use of Schedule 3 to General Residential Zone. The height controls, minimum garden area exemption, and variations to standards are considered appropriate.			Balcony Area Standard
5				Query regarding the inclusion of heritage as a decision guideline
6			Object to any dwelling being higher than 2 storeys in General Residential Zone. This will result in overshadowing and loss of amenity.	Building height in General Residential Zone 3
7, 8, 9			Object to any dwelling being higher than 2 storeys in General Residential Zone. This will result in overshadowing and loss of amenity, specifically a loss of privacy. Object to the reduced building height and the preference for single storey to the rear of lots. Submit that an intensified development would meet the transition requirements of C213.	Building height in General Residential Zone 3
10, 11, 45	Support the amendment to reduce the height limit of properties along Clow and Clement Street, Dandenong.	Request 2 storeys instead of 3 storeys along Clement Street and Clow Street, in response to the significant traffic management issues along Clement Street, and impact of overshadowing and a loss of privacy.		Clement Street, Dandenong Building height in GRZ3
46			Subject site should be identified for 'Substantial Change' as depicted in Amendment C182. GRZ3 is considered an inappropriate tool as it does not reflect the true position or potential of the site. Surrounding major arterial roads act as natural buffers between substantial and incremental change areas. GRZ3 would deliver appropriate built form outcomes to shape future, preferred neighbourhood character.	Object to the introduction of a transitional zone to Clause 22.09 Residential Development and Neighbourhood Character
47			Concern relates to impact of overshadowing, loss of street character and amenity, and traffic management.	Overshadowing and amenity
48			Object to the amendment due to loss of amenity from developments.	Car parking and traffic congestion Overshadowing and amenity
49			Concern relates to impact of overshadowing and development of townhouses.	Building height in General Residential Zone 3

ORDINARY COUNCIL MEETING - AGENDA

**2.4.2 Planning Scheme Amendment C213 - Consideration of Submissions and Request for the Minister for Planning to Appoint a Planning Panel (Cont.)**

Attachment 4 - Summary of Submissions (Refer to Attachment 5 for Officer Responses against each Identified Theme)					
Submitter No.	Supports	Changes Requested	Objection	Theme	
50	Support the amendment with changes	No changes listed		NA	
51, 57, 63, 67, 72, 73, 75, 78-85, 87, 93, 94, 97, 99-101, 104, 106, 109, 111-114, 117, 121-124, 127, 131-134, 143, 144, 151-158, 160-162, 164-172	Support the amendment				
52, 53	Support the amendment	To encourage landscaping. Include land currently zoned as RG22 on the south side of Herbert Street, Dandenong.		Request that garden area is included and landscaping is encouraged. Herbert Street, Dandenong	
54			Object to 3 storeys due to concerns of privacy, overshadowing, and significant traffic management issues. Concern that inappropriate design is not complementing the area.	Building height in General Residential Zone 3	
56	Support the amendment.	Request 4 storeys to the GR23, and an increase to 6 storeys for the RGZ. Requested Amendment C213 include a new parking overlay which introduces a maximum parking rate of 0.5 spaces per dwelling.		Building height in General Residential and Residential Growth should be higher Parking Overlay	
57, 92, 119, 120, 129, 130	I agree with the proposal C213 Planning Scheme Amendment.			Herbert Street, Dandenong	
58, 59, 61, 62, 91, 98, 102, 118, 125, 128, 135-142, 145-150	I agree with the proposal C213 Planning Scheme Amendment.	I believe the proposal should be extended to include the land currently zoned as Residential Growth Zone 2 on the south side of Herbert St, Dandenong. I believe the proposal should be extended to include the land currently zoned as Residential Growth Zone 2 on the south side of Herbert St, Dandenong. There should be garden area requirements.		Herbert Street, Dandenong	
60, 65, 68, 76, 77, 86, 89, 103, 110, 115, 116, 126	Support the amendment	Preference for 2 storeys in the GR23. There should be garden area requirements.		Request that garden area is included and landscaping is encouraged. Building height in General Residential Zone 3	
64, 66, 69, 71, 74, 88, 96, 105, 107, 108, 174	Support the amendment	There should be garden area requirements.		Request that garden area is included and landscaping is encouraged.	
70, 90, 159, 163	Support the amendment	Request 2 storeys instead of 3 storeys. Provide 2 car spaces for every apartment		Building height in General Residential Zone 3 Car parking and traffic congestion	
95	Support the amendment	I believe the proposal should be extended to include the land currently zoned as Residential Growth Zone 2 on the south side of Herbert St, Dandenong.		Herbert Street, Dandenong	
173	I support the amendment.	Amendment should encourage basement level car parking for lots with a 15m frontage to deliver better design outcomes.		Design Outcomes	

**2.4.2 Planning Scheme Amendment C213 - Consideration of Submissions and Request for the Minister for Planning to Appoint a Planning Panel (Cont.)**

**POLICY AND STRATEGY**

**PLANNING SCHEME AMENDMENT C213 – CONSIDERATION OF  
SUBMISSIONS AND REQUEST FOR THE MINISTER FOR PLANNING TO  
APPOINT A PLANNING PANEL**

**ATTACHMENT 5**

**SUMMARY OF SUBMISSION THEMES AND  
OFFICERS' RESPONSES**

**PAGES 4 (including cover)**

*If the details of the attachment are unclear please contact Governance on 8571 5235.*

ORDINARY COUNCIL MEETING - AGENDA

**2.4.2 Planning Scheme Amendment C213 - Consideration of Submissions and Request for the Minister for Planning to Appoint a Planning Panel (Cont.)**

Attachment 5 - Submission Themes and Officer Responses		
Submission Theme #	Submission Themes	Officer Response
		<b>Officer Recommended position for Panel Hearing</b> Submission noted. No change to amendment. Refer submission to Panel.
1	Building height in General Residential Zone 3	The dwelling or residential building height proposed by Amendment C213 reinforces the built form outcomes expressed in the MSS to achieve a transition of built form (the height of residential buildings get lower as they get further away from the major activity centres) as recommended by the <i>Greater Dandenong Planning Policy and Controls Final Report (2015)</i> , and as part of Amendment C182.  The General Residential Zone (GRZ) provides a maximum building height for dwellings or residential buildings of 11 metres and 3 storeys. This is determined by the State Government and cannot be changed by Council.  Majority of the land identified to be rezoned to GRZ Schedule 3 is currently zoned Residential Growth Zone 1 which provides a maximum building height for dwellings or residential buildings of 13.5m (3 to 4 storeys). Thus, Amendment C213 is proposing a decrease in the allowable maximum building height.  Council has chosen to introduce Schedule 3 to the GRZ to achieve a 'stepping down' in heights and intensity of development as walking distances from the core of each centre increases. Council considers that the proposed height controls are consistent with State and Local policy and will not encumber residential development opportunities.
		<b>Officer Recommended position for Panel Hearing</b> Submission noted. No change to amendment. Refer submission to Panel.
2	Car parking and traffic congestion	All applications will continue to be required to satisfy the minimum car parking and traffic management requirements in accordance with the Victorian Planning Provisions, as set out in the Greater Dandenong Planning Scheme. Such planning rules, including minimum car parking requirements are determined by the State Government and cannot be changed by Council.  Council officers will continue to negotiate the best possible design outcomes with planning permit applicants and implement traffic management measures as appropriate.
		<b>Officer Recommended position for Panel Hearing</b> Submission noted. No change to amendment. Refer submission to Panel.
3	Request changes to the Neighbourhood Character Objectives for GRZ3	The rezoning of residential areas from the RGZ to the GRZ will mean less land can be developed with higher density housing, which may reduce car parking and traffic concerns in these areas.  Residents are encouraged to report any hazards or issues to Council such as parking issues by either downloading an online form, phoning Council or filling in a 'Tell Us' form.  Clause 22.09 Residential Development and Neighbourhood Character Policy provides guidance on the transitional nature of the GRZ3 by detailing the differing preferences for GRZ1, GRZ2, GRZ3 and GRZ3.  Council considers the specific design outcomes in Clause 22.09 and the proposed neighbourhood character objectives in the GRZ3 appropriate to deliver the preferred character in the identified areas.
		<b>Officer Recommended position for Panel Hearing</b> Submission noted. No change to amendment. Refer submission to Panel.
4	Query regarding the inclusion of heritage as a decision guideline	The decision guideline to consider 'whether the development might adversely impact on an item of heritage significance' is a standard inclusion for the General Residential Zone schedules under the Greater Dandenong Planning Scheme. This is to ensure any application has considered any adverse impact the development may have on an impact of heritage significance on the property or adjoining the site.
		<b>Officer Recommended position for Panel Hearing</b> Submission noted. No change to amendment. Refer submission to Panel.

## ORDINARY COUNCIL MEETING - AGENDA

**2.4.2 Planning Scheme Amendment C213 - Consideration of Submissions and Request for the Minister for Planning to Appoint a Planning Panel (Cont.)**

5	Overshadowing and amenity	As part of a planning application for two or more dwellings on a lot, Council officers must assess the proposal against Clause 55.04 Amenity impacts and associated urban design principles for its affect on neighbouring properties, such as amenity, privacy and overshadowing. Clause 55.04 specifically aims to ensure buildings do not significantly overshadow existing secluded private open space and to limit views into existing secluded private open space and habitable room windows.	Submission noted. No change to amendment. Refer submission to Panel.
6	Query regarding the design principles for Clause 22.09 Residential Development and Neighbourhood Character	The inclusion of the design principle 'separation between upper levels of dwellings on a site in the GRZ3 is not generally needed, provided the building portrays a high standard of design and does not result in unreasonable amenity impacts', demonstrates a point of difference between the GRZ3 and the GRZ1/2 and encourages a different built form to be achieved.	Submission noted. No change to amendment. Refer submission to Panel.
7	Clement Street, Dandenong	Council acknowledges the concerns expressed regarding traffic congestion and parking along Clement Street, Dandenong. The rezoning of residential areas from the RGZ to the GRZ will mean less land can be developed with higher density housing, which may reduce car parking and traffic concerns in these areas.	Submission noted. No change to amendment. Refer submission to Panel.
8	Object to the introduction of a transitional zone to Clause 22.09 Residential Development and Neighbourhood Character	Amendment C182 originally proposed to rezone majority of the areas identified in Amendment C213 for inclusion in the RGZ3. Substantial Change Area. However, in November 2011 the Minister for Planning advised this part of the Amendment was not approved and required further work.  Following the approval of VC110 and VC143, Council has chosen to deliver the outcomes intended for RGZ3 by using a schedule to the GRZ.  Subject to changes to the Victorian Planning Provisions implemented the Minister for Planning, Council is now proposing to implement the 'leftover' objectives of Amendment C182 by introducing GRZ3. The amendment will also identify GRZ3 as an incremental Change Area - Residential Transition Area, acknowledging the differences between GRZ3 and the existing GRZ1 and GRZ2, and encouraging a transition in building forms between RGZ and GRZ.	Submission noted. No change to amendment. Refer submission to Panel.
9	Request that garden area is included and landscaping is encouraged.	In March 2017, the Minister for Planning approved VC110 which made changes to all Victorian Planning Schemes, including the introduction of the Minimum Garden Area requirement to the Neighbourhood Residential Zone and the General Residential Zone.  In May 2018 the Minister for Planning approved VC143 which amended the GRZ to enable an area to be exempt from the Minimum Garden Area requirement through a schedule to the zone.  To achieve a transition in heights and built form Amendment C213 is proposing to switch off the Minimum Garden Area requirement.  This is separate from the requirements for private open space and landscaping. Planning applications for residential development will still be required to deliver private open space and landscaping as per Schedule 3 to Clause 32.08 (GRZ3).	Submission noted. No change to amendment. Refer submission to Panel.
10	Herbert Street, Dandenong	Properties to the south of Herbert Street, Dandenong are currently zoned Residential Growth Zone 2 (RGZ2). As per Amendment C182 the original RGZ2 area (bordered by Herbert Street, Stud Road, David Street, Princes Highway and Day St) was significantly reduced with appropriate boundaries being determined at that stage.  The area south of Herbert Street, Dandenong was retained as there are a significant number of large development sites within the RGZ2. It also provides a transition in built form from the Dandenong Declared Area. Retaining this area as RGZ2 responds to the housing growth outcomes set out in the Greater Dandenong Housing Strategy 2014-2028.	Submission noted. No change to amendment. Refer submission to Panel.
11	Parking Overlay	The development of a parking overlay is not within the scope of this Amendment.	Submission noted. No change to amendment. Refer submission to Panel.

ORDINARY COUNCIL MEETING - AGENDA

**2.4.2 Planning Scheme Amendment C213 - Consideration of Submissions and Request for the Minister for Planning to Appoint a Planning Panel (Cont.)**

12	Design outcomes	<p>Clause 22.09-3.1 (Residential Development and Neighbourhood Character Policy) provides specific design principles for residential development. Under this clause second crossovers should be avoided on lots with frontage less than 17 metres wide and encourages parking, paving and car access within the front setback to be limited in order to maximise opportunities for soft landscaping and prevent the dominance of carports and garages in the street.</p> <p>The GRZ3 also aims to ensure vehicle access ways do not visually dominate the streetscape.</p> <p>Through these mechanisms Council will continue to advocate and encourage good quality design which enhances the streetscape.</p>	Submission noted. No change to amendment. Refer submission to Panel.
13	Building height in General Residential and Residential Growth should be higher	<p>The proposed residential building height reinforces the built form outcomes expressed in the MSS to achieve a transition of built form (the height of residential buildings get lower as they get further away from the major activity centres) as recommended by the <i>Greater Dandenong Planning Policy and Controls Final Report (2015)</i> produced as part of Amendment C182.</p> <p>The GRZ provides a maximum building height for dwellings or residential buildings of 11 metres and 3 storeys. This is determined by the State Government and cannot be changed by Council.</p> <p>Council has chosen to introduce Schedule 3 to the GRZ to achieve a 'stepping down' of heights and intensity of development as walking distances from the activity centres increase. Council considers that the proposed height controls are consistent with State and Local policy and will not encumber residential development opportunities.</p> <p>The variation is an increase on the standard for balconies in B28 from 8m<sup>2</sup> to 10m<sup>2</sup> with the minimum width increasing from 1.6m to 2m. The type of development preferred in the GRZ3 is medium density housing where each dwelling has its own, separate building footprint on the land. This could include units or townhouses up to 3 storeys.</p> <p>The inclusion of the variation to standard B28 aids in delivering a transition in built form between the GRZ1/2 and RGZ1/2.</p>	Submission noted. No change to amendment. Refer submission to Panel.
14	Balcony Area Standard		Submission noted. No change to amendment. Refer submission to Panel.

## **2.5 OTHER**

### **2.5.1 Report on Matters Discussed at Councillor Briefing Sessions & Pre-Council Meetings, 24 June - 22 July 2019**

File Id: fA25545  
Responsible Officer: Director Corporate Services

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#### **Report Summary**

As part of Council's ongoing efforts to improve transparency in Council processes, matters discussed at Councillor Briefing Sessions & Pre-Council Meetings (other than those matters designated to be of a confidential nature) are reported on at ordinary Council meetings.

The matters listed in this report were presented to Councillor Briefing Sessions & Pre-Council Meetings in June and July 2019.

#### **Recommendation Summary**

This report recommends that the information contained within it be received and noted.

**2.5.1 Report on Matters Discussed at Councillor Briefing Sessions & Pre-Council Meetings, 24 June - 22 July 2019 (Cont.)****Matters Presented for Discussion**

Item		Councillor Briefing Session/Pre-Council Meeting
1	<p><b>General Discussion</b></p> <p>Councillors and Council officers briefly discussed the following topics:</p> <p>a) Status of Council's planned website upgrade.  b) Council's policy regarding neighbourhood disputes.  c) Agenda items for Council Meeting of 24 June 2019.</p>	24 June 2019
2	<p><b>Development Victoria Revitalisation of Central Dandenong CBD Update (Confidential)</b></p>	1 July 2019
3	<p><b>Greaves Reserve Events Master Plan</b></p> <p>Councillor feedback was sought prior to recommendations being incorporated into the review and update of the Greaves Reserve Master Plan.</p>	1 July 2019
4	<p><b>Cycling in the South East Region</b></p> <p>Councillor approval was sought to proceed with discussions with councils in the region regarding a South-east Regional Cycling Strategy for competition or criterium track facilities, partly funded by Sport and Recreation Victoria.</p>	1 July 2019
5	<p><b>Solar Farm Planning Application</b></p> <p>Councillors were provided with an overview of a proposed planning application for a solar farm in Springvale South. Councillors were informed of the upcoming community engagement process the applicant is proposing.</p>	1 July 2019
6	<p><b>Local Government Bill 2019 – Submission</b></p> <p>Councillor views were sought in response to the Minister for Local Government's announcement of his intention to re-table the Local Government Bill which lapsed in 2018 prior to the recent State</p>	1 July 2019

## ORDINARY COUNCIL MEETING - AGENDA

**2.5.1 Report on Matters Discussed at Councillor Briefing Sessions & Pre-Council Meetings, 24 June - 22 July 2019 (Cont.)**

	Elections. The Local Government Bill 2019 has several changes to the 2018 version for Council to consider. Council has until 17 July 2019 to lodge a submission.	
<b>7</b>	<p><b><i>Service Review Action Plans</i></b></p> <p>Council has undergone a lengthy process in undertaking Service Reviews which commenced in January/February 2019. The outcomes of this process were presented to Council in the form of an action plan. Councillors will have the opportunity for comment and input before the review process is finalised.</p>	<b>1 July 2019</b>
<b>8</b>	<p><b><i>General Discussion</i></b></p> <p>Councillors and Council officers briefly discussed the following topics:</p> <p>a) Victorian Electoral Commission's representation review submission from Council.  b) Recent line marking in Corrigan Road, Noble Park and its impacts on residents.  c) Requests for memorials on Council land and consistent treatment of these requests going forward.  c) Agenda items for Council Meeting of 8 July 2019.</p>	<b>1 July 2019</b>
<b>9</b>	<p><b><i>General Discussion</i></b></p> <p>Councillors and Council officers briefly discussed the following topics:</p> <p>a) Municipal Association of Victoria's (MAV) stance on the proposed Local Government Bill 2019.  b) Agenda items for Council Meeting of 8 July 2019.</p>	<b>8 July 2019</b>
<b>10</b>	<p><b><i>Community Satisfaction Survey Results Summary</i></b></p> <p>Councillors were presented with a summary and comparison of the 2019 results which continue to be positive for Greater Dandenong.</p>	<b>15 July 2019</b>

## ORDINARY COUNCIL MEETING - AGENDA

**2.5.1 Report on Matters Discussed at Councillor Briefing Sessions & Pre-Council Meetings, 24 June - 22 July 2019 (Cont.)**

<b>11</b>	<p><b><i>Cultural Heritage Advisory Committee Update</i></b></p> <p>Members of this Committee provided Councillors with an update on the Committee's activities to date including its membership, objectives, outcomes, achievements and future projects and priorities.</p>	<b>15 July 2019</b>
<b>12</b>	<p><b><i>Development Victoria Land Swap (Confidential)</i></b></p>	<b>15 July 2019</b>
<b>13</b>	<p><b><i>General Discussion</i></b></p> <p>Councillors and Council officers briefly discussed the following topics:</p> <ul style="list-style-type: none"> <li>a) Update on future land acquisitions in relation to public open space.</li> <li>b) Update on recent activities related to line-marking along Corrigan Road, Noble Park.</li> <li>c) Emails received in relation to consultation on aquatic facilities in Dandenong.</li> <li>d) MAV response to Herald Sun article about Local Government Victoria's Know Your Council reporting figures.</li> <li>e) Agenda items for Council Meeting of 22 July 2019.</li> </ul>	<b>15 July 2019</b>
<b>14</b>	<p><b><i>General Discussion</i></b></p> <p>Councillors and Council officers briefly discussed the following topics:</p> <ul style="list-style-type: none"> <li>a) National Homelessness Week being held from 4-10 August 2019 and Council holding an event in Harmony Square on 9 August.</li> <li>b) Update on future land acquisitions in relation to public open space.</li> <li>c) Proposed town planning application that the Minister will be considering in relation to land adjacent to the Dandenong Plaza.</li> <li>d) Proposed announcement by DHHS regarding a business in Springvale.</li> <li>e) Update on recent activities related to line-marking along Corrigan Road, Noble Park</li> <li>f) Update on development in Coomoora Road, Noble Park.</li> <li>g) Agenda items for Council Meeting of 22 July 2019.</li> </ul>	<b>22 July 2019</b>

**2.5.1 Report on Matters Discussed at Councillor Briefing Sessions & Pre-Council Meetings, 24 June - 22 July 2019 (Cont.)**

**Apologies**

- Councillors Jim Memeti and Sophie Tan submitted apologies for the Pre-Council Meeting on 24 June 2019.
- Councillors Angela Long and Jim Memeti submitted apologies for the Councillor Briefing Session on 1 July 2019.
- Councillors Angela Long, Zaynoun Melhem and Jim Memeti submitted apologies for the Pre-Council Meeting on 8 July 2019.
- Councillors Angela Long, Zaynoun Melhem and Jim Memeti submitted apologies for the Councillor Briefing Session on 15 July 2019.
- Councillors Angela Long, Jim Memeti and Sophie Tan submitted apologies for the Pre-Council Meeting on 22 July 2019.

**Recommendation**

**That:**

1. **the information contained in this report be received and noted; and**
2. **the information discussed at the above listed Councillor Briefing Sessions/Pre-Council Meetings that was declared confidential in Items 2 and 12 by the Chief Executive Officer under Sections 77 and 89 of the *Local Government Act 1989* remains confidential until further advisement unless that information formed the subject of a subsequent Council report.**

## **2.5.2 Cycling in the South East Region**

File Id:

Responsible Officer:

Director Community Services

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### **Report Summary**

This report provides an overview of work undertaken in relation to the development of cycling infrastructure to accommodate the needs of sports cycling in Greater Dandenong, as well as the South East region of Melbourne.

Following Council's decision to remove the Parkfield Reserve cycling track, investigation and planning has been undertaken to identify the need for additional cycling infrastructure to facilitate the sport.

### **Recommendation Summary**

This report recommends that Council continue discussions around future planning and development of cycling, both in Greater Dandenong Council and in a regional capacity. Council will partner with neighbouring councils and Cycling Victoria (CV), given the unique focus cycling has across Victoria and Australia as a sport, whilst supporting the Noble Park Cycling Club (NPCC).

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## 2.5.2 Cycling in the South East Region (Cont.)

### Background

Council, at its meeting on 10 December 2018 resolved in part as follows:

#### Part B

1. Engage with neighbouring councils and other agencies to investigate and advocate for the development of a regional velodrome or appropriately designed cycle track to accommodate the needs of sports cycling in the south-east region.
2. Report back to Council by 30 June 2019 on their investigations and advocacy as detailed in No.1 above.

Based on the 2019 Sport and Active Recreation participation survey, cycling participation rates have shown a significant decline since 2015 from a 15% participation rate to 8%. 13% of cycling participants in City of Greater Dandenong (CGD) do so in an organised activity compared to 87% of cycling participants engaging in a non-organised activity/casual purpose.

Investigations and meetings have occurred with Cycling Victoria, Bicycle Network (BN), NPCC, Parks and Leisure Australia (PLA), neighbouring municipalities, Sport and Recreation Victoria (SRV) and residents, seeking evidence and data to determine if there is a need to invest in a new regional or community cycling facility.

Council conducted a Regional Cycling forum on Tuesday 21 May 2019 with neighbouring councils (Kingston, Frankston, Casey and Whitehorse City Councils), CV and BN to discuss current and future needs of cycling as a sport, as a recreational activity and as a transport method in the South East.

The CGD forum identified low interest in cycling as a sport, as well as minimal evidence from CV to plan for future development and needs of the sport, both in this region and across Victoria.

Subsequently, PLA (Victoria/Tasmania) in partnership with Casey City Council coordinated an additional regional forum which was attended by a number of Shires and Councils from across Victoria. Discussion was again around the future planning of sports cycling.

The agenda for the forum included PLA (Victoria/Tasmania), CV (presenting the same information as per the CGD forum in May), the City of Greater Geelong, the City of Ballarat, the Southern Masters Cycling Club and additional contractors speaking on recent projects specific to cyclocross, pump BMX and criterium tracks built across Australia.

### Proposal

From the consultation to date, and from the two forums Council proposes to:

- Continue discussions with neighbouring councils and SRV for a South East Regional Cycling Strategy for competition or criterium track facilities. A meeting with neighbouring Councils will occur again in September 2019.
- Continue working with NPCC to facilitate short-term opportunities whilst the regional working group undertakes additional investigations into the long-term options for CGD.

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## 2.5.2 Cycling in the South East Region (Cont.)

### **Community Plan 'Imagine 2030' and Council Plan 2017-2021 – Strategic Objectives, Strategies and Plans**

After consultation with the Greater Dandenong community on what kind of future they wanted to see for themselves and the City in 2030, the result was the Greater Dandenong Community Plan 'Imagine 2030'. This report is consistent with the following community visions:

#### **Community Plan 'Imagine 2030'**

##### People

- *Pride* – Best place best people
- *Outdoor Activity and Sports* – Recreation for everyone

##### Place

- *Safety in Streets and Places* – Feeling and being safe
- *Travel and Transport* – Easy to get around

##### Opportunity

- *Tourism and visitors* – Diverse and interesting experiences
- *Leadership by the Council* – The leading Council

#### **Council Plan 2017-2021**

The Council Plan describes the kind of future the Council is working for, and how Council will do this over four years. This report is consistent with the following goals:

##### People

- A vibrant, connected and safe community

##### Place

- A healthy, liveable and sustainable city
- A city planned for the future

##### Opportunity

- A diverse and growing economy

The strategies and plans that contribute to these outcomes are as follows:

- Greater Dandenong Cycling Strategy 2017-24
- Community Wellbeing Plan 2017-21
- Greater Dandenong Community Safety Plan 2015-22
- Activate Sport and Active Recreation Strategy 2014-19

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## 2.5.2 Cycling in the South East Region (Cont.)

### Related Council Policies

Greater Dandenong Cycling Strategy 2017-24

### Victorian Charter of Human Rights and Responsibilities

The Victorian Charter of Human Rights and Responsibilities has been considered in the preparation of this report but is not relevant to its contents.

### Financial Implications

Should a proposed Regional Cycling Strategy in partnership with neighbouring councils and SRV proceed, this is likely to cost \$60,000, with 50% funding from SRV and the remaining 50% from neighbouring Councils.

Subject to a successful application, funding from SRV would be available in the 2020-21 financial year, and the project would be completed by April 2021.

### Consultation

Through investigating the need for the development of a regional velodrome or appropriately designed cycle track to accommodate the needs of sports cycling in the South East region, Council has undertaken consultation activities including the Greater Dandenong regional forum and subsequent to this, participated in a PLA (Victoria/Tasmania members) coordinated forum. Council has also conducted meetings with community groups, neighbouring councils and external stakeholders including:

- Cycling Victoria
- Bicycle Network
- Parks and Leisure Australia
- Kingston City Council
- Frankston City Council
- Casey City Council
- Whitehorse City Council
- Yarra Ranges Shire Council
- Noble Park Cycling Club
- Sport and Recreation Victoria

### Conclusion

A Regional working group will be established to develop a Regional Cycling Strategy to assist in identifying the cycling infrastructure required to facilitate the future needs of sports cycling. This will also aim to create greater opportunities between councils and their communities in the South East region of Melbourne, at a competition or social level for cycling. Council will support the NPCC with their establishment and short-term options.

**2.5.2 Cycling in the South East Region (Cont.)**

**Recommendation**

**That:**

- 1. Council grants approval to proceed with discussions in September 2019 with neighbouring Councils in the region for a South East Regional Cycling Strategy for competition or criterium track facilities; and**
- 2. based on the outcome of discussions with neighbouring Councils, funding will be sought from SRV to undertake a Strategy. Noting this funding would be available in the 2020-21 financial year; and, the project would be completed by April 2021.**

### **2.5.3 Minutes of Sustainability Reference Committee Meeting - 8 November 2018, 6 March 2019, 1 May 2019 and 3 July 2019**

File Id:

Responsible Officer:

Director City Planning, Design and Amenity

Attachments:

Minutes of SRC Meeting on 8 Nov 2018  
Minutes of SRC Meeting on 6 Mar 2019  
Minutes of SRC Meeting on 1 May 2019  
Minutes of SRC Meeting on 3 July 2019

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### **Report Summary**

At the Council meeting held on 23 April 2018, Council resolved in part to *invite Advisory Committees and Reference Groups to submit meeting minutes for Council endorsement*. This resolution was in relation to allowing interested Councillors (and those that attend these Committees and Reference Groups) to speak to the meeting about items discussed at these meetings.

### **Recommendation Summary**

This report recommends that the Minutes of the Sustainability Reference Committee meeting provided in Attachments to this report be noted and endorsed by Council.

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**2.5.3 Minutes of Sustainability Reference Committee Meeting - 8 November 2018, 6 March 2019, 1 May 2019 and 3 July 2019 (Cont.)**

## **Background**

Greater Dandenong Council is represented on a wide range of Committees, Reference Groups and Advisory Groups which frequently reflect the interests of individual Councillors in serving the broader community in their role. A full listing of these appointments is confirmed each November at Council's Statutory Meeting and is available via Council's website.

The resolution of Council made on 23 April 2018 provides for Minutes of meetings held by Advisory Committees and Reference Groups to be submitted to Council for noting and endorsing.

As such, the Minutes are provided as Attachments 1 - 4 to this report.

## **Proposal**

### **Community Plan 'Imagine 2030' and Council Plan 2017-2021 – Strategic Objectives, Strategies and Plans**

After consultation with the Greater Dandenong community on what kind of future they wanted to see for themselves and the City in 2030, the result was the Greater Dandenong Community Plan 'Imagine 2030'. This report is consistent with the following community visions:

#### **Community Plan 'Imagine 2030'**

##### People

- *Pride* – Best place best people
- *Cultural Diversity* – Model multicultural community
- *Lifecycle and Social Support* – The generations supported

##### Opportunity

- *Education, Learning and Information* – Knowledge
- *Leadership by the Council* – The leading Council

#### **Council Plan 2017-2021**

The Council Plan describes the kind of future the Council is working for, and how Council will do this over four years. This report is consistent with the following goals:

##### People

- A creative city that respects and embraces diversity

##### Opportunity

- An open and effective Council

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**2.5.3 Minutes of Sustainability Reference Committee Meeting - 8 November 2018, 6 March 2019, 1 May 2019 and 3 July 2019 (Cont.)**

**Victorian Charter of Human Rights and Responsibilities**

The Victorian Charter of Human Rights and Responsibilities has been considered in the preparation of this report but is not relevant to its contents.

**Financial Implications**

There are no financial implications associated with this report.

**Consultation**

Advisory Committees and Reference Groups have been advised of the need to submit minutes of meetings to Council for noting and endorsement.

**Recommendation**

**That Council notes and endorses the Minutes of meetings for the (Sustainability Reference Committee as provided in Attachment No. 1, Attachment No. 2, Attachment No. 3 and Attachment No. 4 to this report.**

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**2.5.3 Minutes of Sustainability Reference Committee Meeting - 8 November 2018, 6 March 2019, 1 May 2019 and 3 July 2019 (Cont.)**

**OTHER**

**MINUTES OF SUSTAINABILITY REFERENCE COMMITTEE  
MEETING**

**ATTACHMENT 1**

**SUSTAINABILITY REFERENCE  
COMMITTEE MEETING  
HELD ON 8 NOVEMBER 2018**

**PAGES 4 (including cover)**

*If the details of the attachment are unclear please contact Governance on 8571 5235.*

## ORDINARY COUNCIL MEETING - AGENDA

**2.5.3 Minutes of Sustainability Reference Committee Meeting - 8 November 2018, 6 March 2019, 1 May 2019 and 3 July 2019 (Cont.)**

<b>Advisory Committee or Reference Group Name:</b>	Sustainability Reference Committee Meeting
<b>Date of Meeting:</b>	Thursday 8 November 2018
<b>Time of Meeting:</b>	5:30pm – 7:30pm
<b>Meeting Location:</b>	Meeting Room 2NW Level 2 Dandenong Civic Centre 225 Lonsdale Street, Dandenong

**Attendees:**

Jacques Espers, Jenny Frieden, Judith Sise, Aishwarya Pokkuluri, Ward Petherbridge, Graeme Pearman, Ed Cotter and Jody Bosman

**Guests:**

Josh Martin and Jane Farago – Ernst & Young

**Apologies:**

Cr. Matthew Kirwan

**Minutes:**

Item No.	Item	Action	Action By
1. Welcome	Welcome by the Chairperson and guest speakers were introduced.		
2. Climate Strategy	<p>A Presentation to the committee on Council's proposed Climate Change (CC) Strategy and Engagement Plan was undertaken by Consultants Ernst and Young (EY). The following items are for noting from the presentation:</p> <ul style="list-style-type: none"> <li>EY provided SRC members an outline on the project brief for the development of a Climate Change Strategy for the City of Greater Dandenong.</li> <li>Council had engaged a member of the SRC to conduct a peer review on the draft versions of each of the Background Reports prepared for the CC Strategy.</li> <li>SRC members will receive a final version of each of the Background Reports to review.</li> <li>Council Officers will put EY in contact with each of the Committee members for one-on-one interviews.</li> <li>EY provided context on the Engagement Plan and what they are hoping to get from the SRC members.</li> </ul> <p>SRC members raised the following items during the presentation:</p> <ul style="list-style-type: none"> <li>Highlighted the challenges of engaging on climate change – everyone has a different opinion on what the biggest risk is. Process is right – using the evidence base to then engage with the community.</li> <li>Important to identify what target audience</li> </ul>		

*If the details of the attachment are unclear please contact Governance on 8571 5235.*

ORDINARY COUNCIL MEETING - AGENDA

**2.5.3 Minutes of Sustainability Reference Committee Meeting - 8 November 2018, 6 March 2019, 1 May 2019 and 3 July 2019 (Cont.)**

	<p>know and what they think before informing them on the issues of climate change and raising their awareness.</p> <ul style="list-style-type: none"> <li>• Queried the intent of The City of Greater Dandenong's (corporate and community) emissions and will this be part of the initial consultation?</li> <li>• Whether work being conducted on the CC strategy can be linked to work conducted on open space and urban food gardens by Council.</li> <li>• Will Primary/Secondary schools be engaged on key issued related to the CC strategy?</li> <li>• Will Council hold consultation sessions at non-sustainability related events and will this consultation be deep/broad?</li> </ul> <p>Council Officers provided responses to the abovementioned queries including:</p> <ul style="list-style-type: none"> <li>• Consultation regarding emissions will occur but the process requires more work.</li> <li>• Consultation will occur with various sectors of the community with a combination of deep/broad consultation. This includes non-climate related events and engagement with primary/secondary schools.</li> <li>• Links to the development of the Open Space Strategy and alignment with the initial consultation period being conducted for the CC strategy will occur. Other links include urban forest strategy.</li> </ul> <p>Council Officers sought feedback from the SRC members on how to engage the business community and other sectors. SRC members provided the following suggestions:</p> <ul style="list-style-type: none"> <li>• Recommended engagement through networks (e.g. SEMMMA/SEBN).</li> <li>• Identify bigger businesses in CGD to get them to act as a champion for engagement.</li> <li>• Engage the Monash NEC to contribute to the engagement plan.</li> <li>• Engage representatives from the Young Leaders program and other support initiatives within CGD.</li> </ul>		
<p>3. Community Environment Centre</p>	<p>Discussion on establishment of a Community Environment Centre was undertaken.</p> <p>The recommended option is for a Mobile trailer and not a fixed centre location. In addition, it is recommended to develop a series of key messages and objectives, which could align with a sponsor or partners.</p> <p>The following items are for noting, in particular, SRC members responses on the recommended options (Mobile Trailer and not a fixed centre location):</p> <ul style="list-style-type: none"> <li>• Most important thing is to have an employee dedicated to the space.</li> <li>• Could help with driving interest within the business community and broader</li> </ul>	<p>SRC members to come up with a couple of key messages for the trailer.</p>	<p>SRC members</p>

*If the details of the attachment are unclear please contact Governance on 8571 5235.*

## ORDINARY COUNCIL MEETING - AGENDA

**2.5.3 Minutes of Sustainability Reference Committee Meeting - 8 November 2018, 6 March 2019, 1 May 2019 and 3 July 2019 (Cont.)**

	<p>community.</p> <ul style="list-style-type: none"> <li>Clarify how this would be utilised. If this can be achieved then it could find corporate partners.</li> </ul>		
4. Annual Review	<p><b>For Noting:</b> Proposed discussion on performance of Sustainability Reference Committee over last 12 months and review of Terms of Reference.</p> <p>Item – carried over to the next Committee meeting.</p>	Carry over to item to next meeting	Director City Planning Design and Amenity
5. Working Groups	<p>Update provided by SRC members that are part of the Climate Business and Energy Working Group.</p> <p>The following items are for noting:</p> <ul style="list-style-type: none"> <li>Update provided on what group has done over the last 12 months. Uptake of solar has been huge, especially in CGD. Therefore, the group is looking to refocus its efforts possibly around transport and emissions.</li> <li>Council Sustainability Planning Officers suggested that we use the Climate Change Strategy Background Reports to help identify new priorities.</li> </ul>		
	<p>Update provided by SRC members that are part of the Food, Biodiversity and Open Space Working Group. The following items is noted from the group update:</p> <ul style="list-style-type: none"> <li>Suggested catching up to revisit focus on the group.</li> </ul>		
6. Other Business			

<b>NEXT MEETING:</b>	
<b>PROPOSED DATE:</b>	February 2019
<b>PROPOSED TIME:</b>	5.30pm to 7.00pm
<b>PROPOSED VENUE:</b>	Dandenong Civic Centre – 225 Lonsdale Street, Dandenong
<b>FUTURE MEETINGS:</b>	May 2019   August 2019   November 2019

*If the details of the attachment are unclear please contact Governance on 8571 5235.*

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**2.5.3 Minutes of Sustainability Reference Committee Meeting - 8 November 2018, 6 March 2019, 1 May 2019 and 3 July 2019 (Cont.)**

**OTHER**

**MINUTES OF SUSTAINABILITY REFERENCE COMMITTEE  
MEETING**

**ATTACHMENT 2**

**SUSTAINABILITY REFERENCE  
COMMITTEE MEETING  
HELD ON 6 MARCH 2019**

**PAGES 3 (including cover)**

*If the details of the attachment are unclear please contact Governance on 8571 5235.*

## ORDINARY COUNCIL MEETING - AGENDA

**2.5.3 Minutes of Sustainability Reference Committee Meeting - 8 November 2018, 6 March 2019, 1 May 2019 and 3 July 2019 (Cont.)**

<b>Advisory Committee or Reference Group Name:</b>	Sustainability Reference Committee Meeting
<b>Date of Meeting:</b>	Wednesday 6 March 2019
<b>Time of Meeting:</b>	5:30pm – 7:30pm
<b>Meeting Location:</b>	Meeting Room Formal Meeting Room - Level 2 Dandenong Civic Centre 225 Lonsdale Street, Dandenong

**Attendees:**

Cr. Matthew Kirwan, Jacques Espers, Jenny Frieden, Judith Sise, Aishwarya Pokkuluri, Ward Petherbridge, Graeme Pearman and Ed Cotter

**Minutes:**

Item no.	Item	Action	Action By
1. Welcome	Welcome by the Chairperson		
2. Annual Review of Committee	<p><b>For noting:</b></p> <ul style="list-style-type: none"> <li>Annual Review of Sustainability Reference Committee undertaken.</li> <li>Discussion on performance of Sustainability Reference Committee over last 12 months and review of Terms of Reference (ToR).</li> <li>The SRC raised the following items to be reflected in the review of the ToR: <ul style="list-style-type: none"> <li>An increase in the number of meetings to 5 per year for the Committee.</li> <li>Disband current working groups and only establish working groups when and if required.</li> <li>Working groups to be established in response to key issues identified by the Committee and agreed to by Council.</li> <li>Working groups formed for as long as each individual group is required and then disbanded.</li> <li>Review title of the Committee with view to call it the 'Sustainability Advisory Committee'.</li> </ul> </li> <li>Members agreed that the review and update on ToR to be completed by Sep 2019 in time for end of 2<sup>nd</sup> year. Change to take effect from this point onwards.</li> <li>Potential focus areas for the Committee include: <ol style="list-style-type: none"> <li>Waste – Recycling   Waste to Energy</li> <li>Education and Engagement – Sustainable Living, Community Panel / Group</li> <li>Transport   Walking and Cycling (Movement) – Sandown – Electric Vehicles (Garbage Trucks + Council Policy work). This includes SRC engagement with Council's Transport Team on EV work being completed by Council.</li> <li>Climate Change Strategy   Macedon Shire (Pilot) – Community Climate Strategy &amp; Action Plan  </li> </ol> </li> </ul>	<p>Schedule SRC meetings every 1<sup>st</sup> Wednesday of every 2<sup>nd</sup> month (expect Dec and Jan)</p> <p>SRC title to be completed as part of review of Committee and its ToR.</p> <p>Inform Transport team of request to engage with SRC members on EV work</p>	<p>TL Sustainability Planning</p> <p>SRC members</p> <p>TL Sustainability Planning</p>

*If the details of the attachment are unclear please contact Governance on 8571 5235.*

## ORDINARY COUNCIL MEETING - AGENDA

**2.5.3 Minutes of Sustainability Reference Committee Meeting - 8 November 2018, 6 March 2019, 1 May 2019 and 3 July 2019 (Cont.)**

<b>5. Biodiversity   Urban Forest Strategy</b>			
3. Climate Change Strategy	<p>TL Sustainability Planning provided SRC members with an update on the Climate Change Strategy and discussion on Initial Public Consultation. The following is for noting:</p> <ul style="list-style-type: none"> <li>• SRC members asked question about Background Reports distribution (i.e. internal/external).</li> <li>• Public Distribution of Background reports not planned. If planned it would require development of a separate public report.</li> <li>• Discussion on Background Reports and outcomes from Consultation not included in this meeting – to be rolled over to next meeting.</li> </ul>	Next SRC meeting agenda to include presentation on CC Strategy Background Reports and outcomes from public consultation.	TL Sustainability Planning
4. Community Environment Centre	<p>Discussion on establishment of a Community Environment Centre (mobile) was undertaken. The following items are for noting, in particular, ideas on key messages from Committee members:</p> <ul style="list-style-type: none"> <li>• Towed by electric vehicle. Zero carbon future and electric transport.</li> <li>• Biodiversity   Recycling (More with Less) Waste Hierarchy</li> <li>• Recycling   Kids to walk to school (simple but very effective - range of benefits – health, social and emission reduction)</li> <li>• Communication - Link to other Council events and activities, aside from Sustainability Festival.</li> <li>• Display of Council Bins (e.g. City of Casey) i.e. sliding scale of bins sizing linked to recycling, composting, etc...   Reusable nappies  </li> <li>• Solar - how do we cut through the problematic operators   Have a solar panel powering something   Simple environmental footprint calculator linked to actions   set up display with solar panel, batteries, hot water, etc... off grid...</li> <li>• Mobile and can be used inside library or community centre   Follow up options for support (e.g. vending sustainable merchandise).</li> </ul> <p>Example sites include Council parks and reserves (e.g. Alex Wilkie) and Council Community Buildings (e.g. Dandenong/Springvale Library).</p>	Information in key messages to be incorporated into display boards for installation at key sites.	TL Sustainability Planning  SRC Members
5. Other Business	<p>The following items were raised by the SRC noting:</p> <ul style="list-style-type: none"> <li>• Large scale solar farm being developed in Greater Dandenong.</li> <li>• Greater Dandenong Sustainability Festival (7 April 2019). SRC members invited to participate.</li> </ul>	Invite SRC members to festival and provide feedback on the event.	TL Sustainability Planning

<b>NEXT MEETING:</b>	
<b>PROPOSED DATE:</b>	May 2019
<b>PROPOSED TIME:</b>	5.30pm to 7.00pm
<b>PROPOSED VENUE:</b>	Dandenong Civic Centre – 225 Lonsdale Street, Dandenong
<b>FUTURE MEETINGS:</b>	August 2019   November 2019

*If the details of the attachment are unclear please contact Governance on 8571 5235.*

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**2.5.3 Minutes of Sustainability Reference Committee Meeting - 8 November 2018, 6 March 2019, 1 May 2019 and 3 July 2019 (Cont.)**

**OTHER**

**MINUTES OF SUSTAINABILITY REFERENCE COMMITTEE  
MEETING**

**ATTACHMENT 3**

**SUSTAINABILITY REFERENCE  
COMMITTEE MEETING  
HELD ON 1 MAY 2019**

**PAGES 3 (including cover)**

*If the details of the attachment are unclear please contact Governance on 8571 5235.*

## ORDINARY COUNCIL MEETING - AGENDA

**2.5.3 Minutes of Sustainability Reference Committee Meeting - 8 November 2018, 6 March 2019, 1 May 2019 and 3 July 2019 (Cont.)**

**Advisory Committee or Reference Group Name:** Sustainability Reference Committee

**Date of Meeting:** Wednesday 1 May 2019

**Time of Meeting:** 5:30pm – 7:00pm

**Meeting Location:** Community Meeting Room 2NW  
Dandenong Civic Centre  
225 Lonsdale Street, Dandenong

**Attendees:**

Cr. Matthew Kirwan, Jody Bosman, Jacques Espers, Jenny Frieden, Judith Sise, Graeme Pearman and Ed Cotter

**Guests:**

Darren Wilson

**Apologies:**

Aishwarya Pokkuluri and Ward Petherbridge

**Minutes:**

Item No.	Item	Action	Action By
1. Welcome	Welcome by the Chairperson and guest speakers were introduced.		
2. Previous Minutes	Previous minutes agreed on and adopted		
3. Climate Change Strategy	<p>Council's Senior Environmental Planner presented to the committee on the progress of and information in the Background Reports that support the development of Council's Climate Change Strategy and Action Plan.</p> <p>The following items are for noting from each report:</p> <p><b>Literature Review Report</b></p> <ul style="list-style-type: none"> <li>Investigates the context of climate change and the potential impacts for Council and the community.</li> </ul> <p><b>Gap Analysis Report</b></p> <ul style="list-style-type: none"> <li>Evaluates what Council is doing to prepare for climate change through the implementation of existing policies, plans and strategies.</li> <li>SRC members questioned who else is using the C40 Framework other than Banyule and Melbourne Councils.</li> </ul> <p><b>Mitigation Report</b></p> <ul style="list-style-type: none"> <li>Prepares a corporate inventory and community emissions profile for the municipality and identifies emissions abatement actions and pathways.</li> <li>SRC members questioned why the variation in the results (between the</li> </ul>	<p>Update the project timeline to reflect the key dates and milestones for the Climate Change Strategy.</p> <p>Confirm other Councils using the C40 Framework.</p>	<p>Sen. Env. Planner</p> <p>Sen. Env. Planner</p>

*If the details of the attachment are unclear please contact Governance on 8571 5235.*

## ORDINARY COUNCIL MEETING - AGENDA

**2.5.3 Minutes of Sustainability Reference Committee Meeting - 8 November 2018, 6 March 2019, 1 May 2019 and 3 July 2019 (Cont.)**

	<p>Greater Melbourne Community Emissions Profile work completed by consultants Ironbark and the work completed by Ernst &amp; Young (EY) for Greater Dandenong?</p> <p><b>Adaptation Report</b></p> <ul style="list-style-type: none"> <li>• Explores climate risks that affect the municipality and presents an adaptation framework to manage and respond to the associated economic, environmental and social risks</li> <li>• SRC members questioned when will the risk and adaptation work be presented to Council?</li> <li>• Team Leader Sustainability Planning confirmed Council Executives are being briefed on Climate Risk and the updated Risk Register on 12 June 2019 by Minter Ellison and EY.</li> </ul>	<p>Follow up with Ironbark and EY to ensure consistency in data, methods, and minimise anomalies.</p> <p>Ensure updated work is included in scheduled Council- for engagement as part of the development of the Draft Climate Strategy.</p>	<p>Sen. Env. Planner</p> <p>TL Sustainability Planning</p>
4. Terms of Reference	<p>The SRC Terms of Reference (ToR) is scheduled for renewal and update in 2019. The following items are for noting:</p> <ul style="list-style-type: none"> <li>• Discussion was had on the updated ToR on how the function of the theme Working Groups, should be reflected in the document.</li> <li>• SRC members recommended reviewing other committee ToR as examples.</li> </ul>	<p>Review ToR for the Multicultural Committee to see how 'Working Groups' could be accommodated</p> <p>Update and circulate Terms of Reference for adoption at the next SRC meeting.</p>	<p>TL Sustainability Planning</p> <p>Director City Planning, Design and Amenity</p>
5. Other Business	<p>Sustainability Festival outcomes highlighted to members. Feedback was sought from stallholders present through a survey.</p> <p>Some SRC members participated at festival and should provide feedback on festival via survey.</p>	<p>Circulate post Sustainability Festival survey to SRC for their feedback.</p>	<p>TL Sustainability planning SRC members</p>

**NEXT MEETING:**

<b>DATE:</b>	Wed 3 July 2019
<b>TIME:</b>	5.30pm to 7.00pm
<b>VENUE:</b>	Dandenong Civic Centre – 225 Lonsdale Street, Dandenong
<b>FUTURE MEETINGS:</b>	4 September 2019   6 November 2019

*If the details of the attachment are unclear please contact Governance on 8571 5235.*

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**2.5.3 Minutes of Sustainability Reference Committee Meeting - 8 November 2018, 6 March 2019, 1 May 2019 and 3 July 2019 (Cont.)**

**OTHER**

**MINUTES OF SUSTAINABILITY REFERENCE COMMITTEE  
MEETING**

**ATTACHMENT 4**

**SUSTAINABILITY REFERENCE  
COMMITTEE MEETING  
HELD ON 3 JULY 2019**

**PAGES 4 (including cover)**

*If the details of the attachment are unclear please contact Governance on 8571 5235.*

## ORDINARY COUNCIL MEETING - AGENDA

**2.5.3 Minutes of Sustainability Reference Committee Meeting - 8 November 2018, 6 March 2019, 1 May 2019 and 3 July 2019 (Cont.)**

**Advisory Committee or Reference Group Name:** Sustainability Reference Committee

**Date of Meeting:** Wednesday 3 July 2019

**Time of Meeting:** 5:30pm – 7:00pm

**Meeting Location:** Community Meeting Room 2NW  
Dandenong Civic Centre  
225 Lonsdale Street, Dandenong

**Attendees:**

Cr. Matthew Kirwan, Jody Bosman, Jacques Espers, Jenny Frieden, Aishwarya Pokkuluri, and James Mitchell

**Guests:**

Martin Halden, Darren Wilson

**Apologies:**

Ed Cotter, Judith Sise, Graeme Pearman, Ward Petherbridge

**Minutes:**

Item No.	Item	Action	Action By
1. Welcome	Welcome by the Chairperson and guest speakers were introduced.		
2. Previous Minutes	Previous minutes agreed on and adopted	Circulate post Sustainability Festival survey sent to stallholders to SRC members.	TL Sustainability Planning
3. Electric Vehicles Policy	Council's Senior Transport Engineer presented to the committee Council's Draft Car Share Policy and Draft Electric Vehicle (EV) Policy. The following items are for noting: <ul style="list-style-type: none"> <li>Strong likelihood of CGD being prominent users of EV's, requiring need for wide scale EV infrastructure made available in the future.</li> <li>Increase in EV charging infrastructure likely from year 2022 with wide use of fast charging infrastructure by 2025.</li> </ul>	Circulate copy of presentation to committee members.  Committee members invited to provide feedback on both policies.	TL Transport  SRC members
4. Climate Change Strategy	Council's Senior Environmental Planner presented to the committee the outcomes of public consultation undertaken on Council's proposed Climate Change Strategy. The following items are for noting from the presentation: <ul style="list-style-type: none"> <li>Significant amount of consultation was undertaken across the community through a variety of methods.</li> <li>One of the most successful survey</li> </ul>	Circulate copy of presentation to committee members.	TL Sustainability Planning

*If the details of the attachment are unclear please contact Governance on 8571 5235.*

ORDINARY COUNCIL MEETING - AGENDA

**2.5.3 Minutes of Sustainability Reference Committee Meeting - 8 November 2018, 6 March 2019, 1 May 2019 and 3 July 2019 (Cont.)**

	<p>results for Council with over 1,000 responses received across various sectors of the municipality.</p> <ul style="list-style-type: none"> <li>• Responses demonstrate that community is concerned about climate change and it is important that Greater Dandenong Council and the community take action.</li> </ul> <p>SRC members made the following comments based on the presentation:</p> <ul style="list-style-type: none"> <li>• Highlighted geographic outcomes with majority of consultation responses from Dandenong area.</li> <li>• Commended efforts of Sustainability Planning team on obtaining extensive results.</li> <li>• Confirmed the formation of the Youth Sustainability Group was a direct outcome of CC strategy Youth Forum.</li> <li>• Recommends promotion of consultation outcomes to both councillors and community (taking different formats).</li> <li>• Need for tangible messages to business community and broader residents for relevance of CC.</li> <li>• Importance of communicating to councillors the survey catchment, relevance of climate change to the community and the ambition of council that the community would like to see.</li> </ul> <p>Other items related to the draft Climate Change Strategy are for noting:</p> <ul style="list-style-type: none"> <li>• Update given on the development of the Draft Climate Change Strategy and completion of the background reports.</li> <li>• Format of Draft Strategy related to target audience (e.g. brevity, accessible to general public, theme/issue based rather than sectors, inclusion of actions).</li> <li>• SRC members discussed timelines of targets and actions in strategy including interim targets and actions (i.e. 2025, 2030 etc.). These would align with the approach taken by Council's Sustainability Strategy and other state government. actions.</li> </ul>	<p>Develop simplified community consultation report</p> <p>Investigate opportunity to present to councillors on consultation outcomes in near future.</p> <p>Committee members invited to suggest high level items they would like to see in the draft strategy.</p>	<p>Senior Enviro. Planner</p> <p>Senior Enviro. Planner</p> <p>SRC members</p>
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*If the details of the attachment are unclear please contact Governance on 8571 5235.*

## ORDINARY COUNCIL MEETING - AGENDA

**2.5.3 Minutes of Sustainability Reference Committee Meeting - 8 November 2018, 6 March 2019, 1 May 2019 and 3 July 2019 (Cont.)**

5. Terms of Reference	<p>The SRC Terms of Reference (ToR) are scheduled for revision and sign-off.</p> <p>The following items are for noting:</p> <ul style="list-style-type: none"> <li>• ToR was not discussed during this meeting.</li> <li>• One committee member provided comments on pre-circulated ToR.</li> <li>• Agreed to table ToR via email for SRC members to review and provide consent via email.</li> </ul>	<p>Review comments from committee members and circulate revised version for signoff via email</p> <p>Revised Terms of Reference to be finalised.</p>	<p>Director City Planning, Design and Amenity</p> <p>SRC members</p>
5. Other Business	<p>For noting:</p> <p>Potential SRC Theme Working Groups:</p> <ul style="list-style-type: none"> <li>• SRC members discussed defining the objectives of the working groups before confirming members.</li> </ul>	<p>Committee members to be assigned to working groups at next committee meeting.</p>	<p>SRC members</p>

*If the details of the attachment are unclear please contact Governance on 8571 5235.*

#### **2.5.4 List of Registered Correspondence to Mayor and Councillors**

File Id:	qA283304
Responsible Officer:	Director Corporate Services
Attachments:	Correspondence Received 1 July - 2 August 2019

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#### **Report Summary**

Subsequent to resolutions made by Council on 11 November 2013 and 25 February 2014 in relation to a listing of incoming correspondence addressed to the Mayor and Councillors, Attachment 1 provides a list of this correspondence for the period 1 July – 2 August 2019.

#### **Recommendation**

**That the listed items provided in Attachment 1 for the period 1 July – 2 August 2019 be received and noted.**

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**2.5.4 List of Registered Correspondence to Mayor and Councillors (Cont.)**

**OTHER**

**LIST OF REGISTERED CORRESPONDENCE TO  
MAYOR AND COUNCILLORS**

**ATTACHMENT 1**

**CORRESPONDENCE RECEIVED  
1 JULY – 2 AUGUST 2019**

**PAGES 3 (including cover)**

*If the details of the attachment are unclear please contact Governance on 8571 5235.*

ORDINARY COUNCIL MEETING - AGENDA

2.5.4 List of Registered Correspondence to Mayor and Councillors (Cont.)

**Objective**

CONNECTED. COLLABORATIVE. COMMUNITY.

**Correspondences addressed to the Mayor and Councillors received between 01/07/19 & 02/08/19 - for officer action - total = 27**

Correspondence Name	Correspondence Dated	Date Record Created	Objective ID	User Assigned
A letter from the Koala Gymnastics Club advising it will cease operating from the Paddy O'Donoghue Centre as of 03/07/2019.	01-Jul-19	04-Jul-19	FA168624	Mayor & Councillors EA
A complaint received from a Springvale resident regarding trees planted on the nature strip in Pullen Court, Springvale.	02-Jul-19	08-Jul-19	FA168806	Mayor & Councillors EA
A complaint from a Keysborough resident regarding the continued dumping of rubbish in the vicinity of Chapel Road and Keys Rd Keysborough.	19-Jul-19	19-Jul-19	FA169713	Mayor & Councillors EA
23 x objections from residents and pool users in response to the Dandenong Oasis Feasibility Study which suggested a proposal to replace the existing 50m pool at Dandenong Oasis with a 25m pool. (These objections were received by Councillors directly and will be considered with all survey responses received online and by Council officers directly.)		01 Jul-2 Aug-19		Community & Social Infrastructure
A complaint from a Metung resident regarding the manner in which the Rates Unit has been pursuing outstanding rates debts for a property in Dandenong.		02-Aug-19	FA170403	Mayor & Councillors EA

NB: Users assigned may have changed by the time of the Council Meeting. Correct at time of report production only.

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**2.5.4 List of Registered Correspondence to Mayor and Councillors (Cont.)**



**Correspondences addressed to the Mayor and Councillors received between 01/07/19 & 02/08/19 - for information only - total = 1**

Correspondence Name	Correspondence Dated	Date Record Created	Objective ID	User Assigned
Letter from the Mayor of Frankston City Council requesting Council to advocate to the Victorian Government regarding a container deposit scheme for Victoria.	26-Jun-19	02-Jul-19	A5886249	Infrastructure Services & Planning

NB: Users assigned may have changed by the time of the Council Meeting. Correct at time of report production only.

### **3 NOTICES OF MOTION**

A notice of motion is a notice setting out the text of a motion proposed to be moved at the next relevant meeting. It must be in writing, signed by a Councillor, and be lodged with the Chief Executive Officer in sufficient time for him or her to give each Councillor at least 72 hours notice of such notice.

The guidelines for submitting a notice of motion to a Council meeting are included in the current Meeting Procedure Local Law.

#### **4 REPORTS FROM COUNCILLORS/DELEGATES AND COUNCILLORS' QUESTIONS**

At each Ordinary Meeting of Council all Councillors will have the opportunity to speak for exactly four (4) minutes on any meetings, conferences or events they have recently attended.

If a Councillor chooses to speak, the name of the conference/event and the Councillor will be noted in the Minutes for that meeting. If a Councillor requires additional information on the conference/event to be listed in the Minutes, they must submit it in writing to a Member of Governance by 9am the day following the meeting.

Question time is provided to enable Councillors to address questions to the Administration. The guidelines for asking questions at a Council meeting are included in the current Meeting Procedure Local Law.

## 5 QUESTION TIME - PUBLIC

**Question Time at Council meetings provides an opportunity for members of the public in the gallery to address questions to the councillors and/or officers of the City of Greater Dandenong.**

### Questions from the Gallery

1. Members of the public may submit questions from the gallery by completing a '*Ask a Question at a Council meeting*' form available at Council meetings and at [www.greaterdandenong.com](http://www.greaterdandenong.com) under Council - Council Meetings. Questions are limited to a maximum of three (3) questions per individual and a maximum of 300 words per question including the preamble.

2. Questions will be read aloud and in most cases an answer will be given on the spot. However, sometimes a councillor/officer may indicate that they require further time to research an answer. In this case the answer will be made in writing to the person who asked the question and may also appear in the Question Time Responses section at [www.greaterdandenong.com](http://www.greaterdandenong.com) under Council - Council Meetings.

3. Questions will be answered unless the Chairperson and/or Chief Executive Officer has determined that the relevant question relates to:

- personnel matters,
- the personal hardship of any resident or ratepayers,
- industrial matters,
- contractual matters,
- proposed developments,
- legal advice,
- matters affecting the security of Council property,
- any other matter which Council considers would prejudice the Council or any person,
- a matter which may disadvantage Council or any person,
- a matter in respect of which Council has no power to act,
- a question that is defamatory, indecent, abusive or objectionable in language or substance and is asked to embarrass a Councillor or Council officer,
- a question that is repetitive of a question already answered (whether at the same or an earlier meeting).

No debate or discussion of a question or an answer shall be permitted other than for the purposes of clarification.

Every question will receive a written reply, even if it is answered at the meeting.

## **6 URGENT BUSINESS**

No business may be admitted as urgent business unless it:

- a. Relates to or arises out of a matter which has arisen since distribution of the Agenda.
- b. Cannot safely or conveniently be deferred until the next ordinary meeting and unless agreed to by a majority of those Councillors present at the meeting.